



Union Township

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ZONING COMMISSION AGENDA

Wednesday, February 22nd, 2023

7:00 P.M.

***Location:** *Trustee Meeting Hall; Union Township Civic Center*

A. CALL TO ORDER

B. PLEDGE OF ALLEGIANCE

C. ROLL CALL

D. ELECTION OF OFFICERS

E. ACTION ON MINUTES

F. OLD BUSINESS – NONE TO BE RE-OPENED

G. NEW BUSINESS

Request:

CASE# 1-23-Z

A Zone Map Amendment from B-1 and R-1 to PD to allow the expansion of an existing automobile sales and service use

Owner:

Applicant:

Site Location:

Parcel #s

Existing Zoning:

Size:

Schumacher Dugan Construction Inc.

529 State Route 125, 4011 Austin Dr., 4007 Austin Dr.,
4004 Hopper Hill Rd., 4000 Hopper Hill Rd.

413216B007., 413216B005., 414215.001., 414215.002.,
413216B064., 413216B132.

Business (B-1) & SF Detached Structure Residential (R-1)

9.859 Acres

H. ADMINISTRATIVE

- To discuss potential special projects and potential ordinance amendments to the Union Township Zoning Resolution



UNION TOWNSHIP BOARD OF TRUSTEES
FEBRUARY 22ND, 2023 MEETING

ZONE MAP AMENDMENT

WOESTE INVESTMENTS LTD, Applicant

529 STATE ROUTE 125, 4011 AUSTIN DR., 4007 AUSTIN DR.,
4004 HOPPER HILL RD., 4000 HOPPER HILL RD.



Staff Report, Case# 1-23-Z:

NATURE OF REQUEST

The Applicant has applied for a Zoning Map Amendment, requesting that six (6) parcels (PIN #s referenced below) totaling 9.859 acres be rezoned from Business (B-1) and Single-Family Detached Structure Residential (R-2) to PD Planned Development to allow the expansion of an existing automobile sales and service use.

LOCATION

The subject property, owned by Woeste Investments LTD, is located on the south side of State Route 125 between the intersections of Austin Drive (to the east) and Hopper Hill Road (to the west). PIN #s 413216B007., 413216B005., 414215.001., 414215.002., 413216B064., 413216B132.

ZONING

The two (2) properties along State Route 125 with the existing Honda automobile sales and service use are zoned Business (B-1). The four (4) properties that were more recently acquired by the owners of Honda are all zoned Single-Family Detached Structure Residential (R-2). The affected property is bordered to the north, northeast, and northwest with Business (B-1) zoning. To the southeast, south, and southwest the adjoining property is zoned Single-Family Detached Structure Residential (R-2)—primarily consisting of both the Galbraith Subdivision (to the southeast) and the various Maple Leaf Condo phases / sections (to the northwest).

RELATIONSHIP TO THE UNION TOWNSHIP COMPREHENSIVE PLAN

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the the main portion of the proposal is located within the Ohio Pike (SR 125) Corridor. Currently, the corridor contains a variety of commercial, multi-family, institutional, and public uses and facilities. Since the adoption of the last land use plan, significant changes have occurred in this area of the community, and placement and utilization of the Focus Area Overlay District is evident. *Although the existing Honda site at 529 State Route 125 is located along the southern edge of the Corridor, the four (4) existing residential use properties are located outside of the Corridor (but are contiguous and all affected properties are within 100 feet or so of the Corridor).*

State Route 125, a.k.a. Ohio Pike, is a Principal Arterial 4-lane roadway with a left-turn lane (in the center), and with a right-turn lane (on the north side of the roadway) with a traffic volume of approximately 27,000 average daily trips (ADT) in the area of the proposed project—and with levels of service approaching “F” at certain times of the day. Hopper Hill Road is a County-maintained local road with a traffic volume of approximately 5,000 average daily trips (ADT) in the area of the proposed project. Austin Drive is a Township-maintained local road with no known traffic counts. Significant residential populations are located in or near this area, and the lack of sidewalks results in a safety issue for those seeking alternative modes of transportation.

Among other things, the Plan calls for sidewalks in this area, shared driveway configurations whenever practical, and for site development to be conducted in a manner that focuses on maximizing land use efficiency with infill development, reinvestment, and / or redevelopment initiatives. For commercial redevelopment, or in the instance of residential to commercial conversions (as in this particular case), the use of traditional building materials, adequate vegetative buffering, landscaping strategies along shared property lines, and landscaping enhancements along the corridor frontage is also required, in accordance with the Plan. The utilization of Planned Development (PD) District zoning is the preferred mechanism to accomplish development goals as stated in the Ohio Pike Corridor / Focus Area.

BACKGROUND

As indicated in the project narrative submitted by the Applicant, the Woeste Group has been operating an automobile sales and service facility at 529 State Route 125 for approximately 30 years—with several remodels in that time to add service bays, a showroom, sales office space, and to otherwise update the facility, etc. Between 2011-2012, the Woeste Group began purchasing some of the residential property adjacent to the aforementioned main commercial property area. In January of 2023, an additional 3-acre tract was acquired and transferred to the Woeste Group—all with the objective to allow for the expansion of the automobile sales and service facility use. **Please refer to the Applicant’s statements, plans, and other application enclosures for more information regarding this application / request.*

RELATIONSHIP TO THE UNION TOWNSHIP ZONING RESOLUTION

Please refer to Article 6, Sections 680-684 and Section 687 of the Union Township Zoning Resolution with respect to “PD” Planned Development District regulations:

680. “PD” Planned Development District.

The “PD” District’s purpose is to provide sites for business or mixed business/residential developments at appropriate locations in relation to existing and potential land uses; to afford an attractive setting for developments; and to harmonize proposed developments with surrounding land uses. These regulations are established pursuant to authorization under Ohio Revised Code Chapter 519 (2001), as amended, for townships to adopt Planned-unit Development zoning.

681. Regulation Conflict.

If a conflict arises between these “PD” regulations or an approved “PD” plan and other sections of this resolution, the “PD” regulations and approved plan shall prevail for land zoned Planned Development District.

682. Approved Plan Governs Use.

Land use for any property in the “PD” District shall be consistent with the use, design, and details contained in the approved “PD” plan for that property and any conditions of approval. Other applicable regulations from this resolution, such as nuisance regulations, also apply to “PD” property. Pursuant to an approved plan, allowed uses in the “PD” District may include those stated in the “B-1” and “M-1” Districts, or substantially similar uses as determined by the Zoning Commission and Board of Trustees. Integrated residential use with commercial development may be considered for approval in the “PD” District, with residential density not to exceed that of the “R-1” District.

683. Procedure to Rezone Property to “PD.”

1. The property owner may submit an application for a zone change to “PD” Planned Development District to the Union Township Planning & Zoning Department. The application shall contain fifteen (15) copies of the completed form, attachments, a site plan conforming to the “site plan requirements” below, and the required fee.
2. The application shall be processed in accordance with Ohio Revised Code Chapter 519 (2001), as amended.

684. “PD” Plan Requirements.

1. All site plans shall contain the elements stated in **Section 1131**. In addition, the following shall be included on the plan:
 - a. Building lot area coverage percentage.
 - b. Residential density, if applicable.
 - c. Detailed description of façade materials for all proposed structures.
2. The site plan shall contain on the cover the following signature lines to be signed by the property owner and Planning & Zoning Director before a zoning certificate is issued...
3. A separate landscaping page shall be included in the plan, illustrating the following:
 - a. Landscaping over ten percent of the lot area. Detention/retention areas are not considered part of the ten percent requirement.
 - b. Location and description of landscape plantings, groundcover, and specific treatment of any other open spaces
 - c. A ten-foot landscaped buffer yard along any public right-of-way or private street easement. A continuous three-foot grass (or other plant covered) berm or continuous row of three-foot-tall (at planting) shrubs, setback at least three feet from the right-of-way or easement line, shall be provided within the buffer yard.
 - d. A twenty-foot landscaped buffer yard along any adjoining residential zone. The buffer yard must also contain one of the following screening mechanisms:
 - (1) A continuous wood privacy fence at least six feet high and at least one tree four feet tall (at planting) spaced every ten feet on the neighbor’s side of the fence; or
 - (2) A continuous row of evergreens at least six feet tall (at planting), spaced no more than five feet; or
 - (3) A continuous grass (or other plant covered) berm at least five feet tall and at least one tree four feet tall (at planting) spaced every ten feet along the berm crest.
 - (4) If existing natural vegetation is proposed as screening, the landscape plan must provide detail of existing conditions sufficient to show screening equivalent to the above exists, and with sufficient detail for future zoning enforcement purposes.
 - e. Buffer yards must be landscaped and may not contain any other uses. Landscaped detention/retention may be placed in the buffer yard provided it does not interfere with the adjoining property.
 - f. In addition to the ten percent general landscaping requirement, internal planting islands equal to five percent of the entire parking lot area shall be placed within parking lots. The islands shall be dispersed so to break up the pavement expanse. Internal planting islands shall be curbed, and contain a minimum area of one hundred twenty square feet and eight feet of width. At least one shade-type tree a minimum of eight feet tall at installation shall be included for each two hundred square feet of internal planting area. Developments with twenty or fewer total parking spaces are exempt from this requirement.

687. Supplemental Provisions.

1. Signage shall be consistent with the nature and scope of the development exclusive of Article 9.
2. Buffer yards, screening, landscaping, vegetation, and all other plan elements shall be in place by the time the Union Township Planning & Zoning Department issues a certificate of occupancy, or at such time as construction substantially ceases, whichever occurs first.
3. The failure to maintain open spaces, hard surfaces, and landscaping in good condition is a violation of the "PD" plan.
4. Forty feet of right-of-way shall be dedicated for all properties fronting on public streets. The forty feet of right-of-way is "half" right-of-way, i.e., measured from the center of the road. By specific motion, the Zoning Commission or Board of Trustees may exempt a development from this requirement if appropriate. If total right-of-way equals eighty feet or more, no additional right-of-way shall be required unless necessary for special circumstances or improvements.
5. Prior to issuance of a zoning certificate, the property owner shall provide to the Planning & Zoning Department copies of executed and recorded cross easements to all adjoining property owners that share a common street frontage (public or private) with the "PD" property. The cross easements shall allow, at a minimum, use by automobile and delivery vehicle traffic. The general location of the cross connections shall be shown on the "PD" plan. By specific motion, the Zoning Commission or Board of Trustees may waive this requirement if appropriate. The requirement is waived automatically if a publicly dedicated frontage road serves both the development and adjoining properties.
6. Prior to issuance of a zoning certificate, the Applicant shall record all necessary plats consolidating, dividing, and dedicating right-of-way consistent with the boundaries represented on the "PD" plan and/or conditions or approval.
7. Any exterior pole lighting, canopy lighting, or similar lighting shall be flat lens design and shielded so that all light is down directed. Sag lens lighting is prohibited. Where the "PD" property adjoins or is within one hundred fifty feet of a residential zone, lighting shall be directed away from the residential property. Any building mounted lighting shall contain shields directing lighting downward preventing spillover onto adjoining property. If within fifty feet of a residential zone, building mounted lighting facing the residential property (other than recessed soffit mounted lights) shall be installed no higher than four feet from grade.
8. Parking requirements shall comply with Article 8, Off-Street Parking and Loading Regulations, unless otherwise modified in the plan. A justification note shall accompany any modification on the plan.
9. Building lot area coverage may not exceed thirty-five percent and building height may not exceed seventy-five feet.
10. Minimum building separation shall be maintained in accordance with fire and building codes. The number of buildings per lot, minimum setbacks (except for residential and right-of-way buffer yards), and minimum lot size are otherwise variable for the "PD" District.
11. The Applicant shall make available in advance of any hearing by the Zoning Commission the results of any site distance or traffic study requested by the Clermont County Engineer. The Applicant shall also provide confirmation from the appropriate governmental agency showing resolution of any issues raised pertaining to the development. Failure to provide this information in adequate time or advance review by Zoning Commission members may be grounds for denial of the application.
12. The standards and conditions stated in these regulations are minimums. The Planning & Zoning Director, Zoning Commission, and Board of Trustees may impose higher standards if warranted based upon the unique circumstances of a given development.
13. No construction shall proceed prior to the issuance of a zoning certificate. No property shall be used or occupied prior to issuance of a certificate of occupancy endorsement from the Union Township Planning & Zoning Department.
14. The Board of Zoning Appeals is without authority to alter or amend "PD" plans.

STAFF REVIEW & ANALYSIS

The most recent land acquisition made the current expansion request possible and affords the Woeste Group an opportunity to modernize the entire Honda dealership while also allowing for the site to be better equipped to address: stormwater issues (notable improvements); traffic and access management (with one less access to the site from SR 125); multi-modal access to the site (with the installation of a sidewalk); visual enhancements to the building (by replacing exterior materials with higher-quality materials and thru better design and color schematics); increased landscaping and buffers (and setbacks in some cases) to increase the overall compatibility with surrounding residential uses, etc.

The Applicant's proposal is considered consistent with the Horizon 2030: Union Township Comprehensive Land Use Plan's Future Land Use Policies and Recommendations for the Ohio Pike (SR 125) Corridor; however, the proposal also encroaches into 2 residential areas. With the proposed redevelopment, an approval of the proposed expansion would essentially increase the limits of the Ohio Pike Corridor in this particular area (based on this specific proposal). As mentioned earlier in this report, the utilization of Planned Development (PD) District zoning is the preferred mechanism to accomplish development goals as stated in the Ohio Pike Corridor / Focus Area.

At present, the current remaining technical questions and issues are set forth in the "Recommended Modifications" section of this report. While there are some other items that staff has questions about (such as traffic impact and the stormwater design), these items would ultimately be addressed administratively by the County.

ACTION REQUIRED

In accordance with Sections 680-687 of the Zoning Resolution, the Zoning Commission's role in this process is to either enter a motion to recommend approval, approval with some modification(s), or denial of the Applicant's request to rezone the subject property, as submitted.

RECOMMENDED MODIFICATIONS

If the Board should choose to forward a favorable recommendation to this PD Zone Map Amendment request, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant would need to address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant would need to enhance the proposed landscaping and bufferyard areas along the western property line (between the future, new parking areas and the road) and also around the perimeter of the dumpster enclosure area. *All landscaping buffers should be marked as preservation areas, and any vegetation disturbed should be repaired, supplemented, or replaced.* This is an item that can be addressed administratively by staff.
- 3) A signage plan would ultimately need to be submitted. All free-standing signage should be limited to monument signage, capped at a height of not more than 12' from finished grade, subject to administrative review and approval.
- 4) All lighting would need to be downward directed, and of sufficient intensity to (only) illuminate without projecting onto the adjoining residential property. **Details / specs of proposed lighting would ultimately be necessary; however, this is an item that can be addressed administratively by staff..*
- 5) Ultimately, a legal description of the consolidated acreage would need to be provided, prior to any final action. This is an item that can be addressed administratively by staff.

**HONDA EAST, 529 SR 125, UNION TOWNSHIP,
CLERMONT COUNTY, OHIO**

For thirty years the Woeste Group has been operating an automotive sales and service facility on the 4.95 acres fronting on SR 125 @ 529 SR125 and stretching between Hopper Hill Road and Austin Drive.

There have been several remodels of the existing building over the years, adding service bays, remodeling, and adding to the sales office and showroom several times.

The current general size of the of the building is an approximate 21,000 square foot footprint about 25' south of the SR 125 Right-of-Way on the B-1 Zoned 4.95 acre Property.

Beginning in 2011 & 2012 the Woeste Group began trying to purchase additional adjoining properties to be able to expand the facility, in anticipation of future requirements from the Honda Corporation. By late 2012 they had acquired an additional three properties totaling 1.932 acres of R-1 Zoned adjoining Property. These additional properties made expansion possible, but restricted the size, design, and layout options for a new facility.

In June, 2022 the Woeste Group acquired the adjoining 3.01 acre property Zoned R-1 @4000 Hopper Hill Road, which allowed the Project Property to go from the original 4.95 acres to a new total of 9.9665 acres, and the new Honda East Facility to be approximately 47,400 square feet.

When reviewing the Project, it was determined that a completely NEW FACILITY should be constructed with emphasis on moving the Building back from the Ohio Pike Corridor, cleaning up the Corridor, and closing the East access to SR 125. Emphasize the (now only) SR 125 access and the Hopper Hill Road access for customer and delivery activities. The Service Department traffic, which is over 70% of customer traffic, will be concentrated on the West side of the Building, (Hopper Hill side) by putting the service write up and service pick up on that side. Hopper Hill Road is much better designed, due to a SR 125 traffic signal, to accommodate the customer traffic using SR 125. Our actual customer traffic

numbers will not be significantly impacted due to the fact that the Dealership is currently running double shifts in the existing service and will be able to single shift in the new facility, and will have enough area to provide after-hours drop-off and pickup areas for customers.

We are emphasizing a single main entrance from SR 125 at the existing center location. The second SR 125 access and frontage parking at the current building, and the building itself, will all be demolished, green scaped with sidewalk, and paved upon completion of the new facility. The new main entrance from SR 125 @ existing center access will consist of corridor sidewalk, landscaping, and monument signage in accordance with the "Ohio Pike Corridor" development goals.

Woeste Group is applying to the Zoning Commission to approve the entire 9.9665 Acres of Property and the construction of the Project as a PD Planned Development District zoning classification as explained in the Horizon 2030 Comprehensive Land Use Plan, Union Township, Clermont County, Ohio adopted November 14,2013.

As part of the "OHIO PIKE CORRIDOR" recommended strategies, objectives, and outcomes, as a Redevelopment Proposal, we have designed the new Facility to maximize land efficiencies, doubled the size of the facility and investment and protected adjoining properties.

We have laid out the Project with a new modern Honda Dealership set back from Ohio 125 right-of-way by approximately 130.' In the rear of the building where the PD property adjoins R-1 property we have placed the inventory parking, green space, and the storm water detention facility, which are low noise and movement operations. In accordance with the "Ohio Pike Corridor" objectives, we will install a 6' solid wood fence and landscaping in a 20' wide buffer along the Property lines, and where there are currently trees or fences, we will work with the neighbors to preserve what is most desirable.

We have oversized the stormwater detention area to accommodate the future expansion of the inventory lot if needed, plus an additional capacity to improve the stormwater management of the area by out letting less than 50% of allowable discharge.

Upon approval of our Planned Development District by the Union Township Trustees, The Woeste Group will submit Construction Drawings to Clermont County and apply for a building permit.

Construction will begin upon receipt of the permit and completed when the new facility is constructed, the existing facility is removed, and all site work completed in accordance with our Planned Development, in approximately 1 year from commencement.

The Woeste Group looks forward to working with the Zoning Commission, the Trustees, and our neighbors and customers to provide a beautiful, efficient, and friendly environment for Honda East to serve the Community for at least the next 30 years.

529 SR 125

Dustin.Williams@dot.ohio.gov <Dustin.Williams@dot.ohio.gov>

Wed, Jan 11, 2023 at 8:22 AM

To: "Tim Greive" <timgreive@tgraham.com>

Cc: <osam@mard-arch.com>

Tim good morning,

ODOT does not have an issue with removing an access from the current parcel of 529 SR-125 and modifying the existing main access. Since this construction will be just a revamp of the existing business, this will not be considered a change of use. ODOT will review the modified improvements to the existing main access. You may send us detail drawings when you are ready. The main access drive shall meet ODOT commercial drive specifications. Let me know if you have any questions.

Thanks,

Dustin Williams

Right Of Way Permit Coordinator

Development Permit Coordinator

Ohio Department of Transportation, District-8
505 S. State Route 741, Lebanon, OH 45036

(P) 513-933-6576 (M) 513-615-4033

transportation.ohio.gov



From: Tim Greive <timgreive@tgraham.com>

Sent: Tuesday, January 10, 2023 1:43 PM

To: Williams, Dustin <Dustin.Williams@dot.ohio.gov>



**9.9665 Acres – Area to be Reclassified
(Not for Transfer)**

Situated in Taylor's Military Survey No. 637, Union Township, Clermont County, Ohio and being more particularly described as follows:

BEGINNING at a point in the west line of Austin Drive and the northeast corner of Lot 1 of Galbraith Subdivision as recorded in Plat Book G, Page 50 of the Clermont County Recorder's Office.

Thence with the west line of said Austin Drive, along a curve deflecting to the left, having a radius of 125.00 feet, an arc length of 96.02 feet, chord of said arc bears South 28°00'44" West, 93.67 feet AND South 06°00'24" West, 128.45 feet to an existing iron pin and cap stamped Nordloh at the northeast corner of Lot 3 of said Galbraith Subdivision;

Thence with the north line of said Lot 3 of Galbraith Subdivision, North 83°59'36" West, 184.56 feet to an existing 5/8" iron pin in the west line of said Galbraith Subdivision;

Thence with said west line, South 06°00'24" West, 405.84 feet to the northeast corner of a tract conveyed to Ralph Edward Wiggins & Patricia Mae Wiggins, Trustees as recorded in Official Record 1294, Page 2193, being referenced by an existing iron pin and cap stamped McCarty Associates at 0.24 feet south and 0.13 feet east and an existing axle at 0.09 feet north and 0.27 feet west;

Thence with the north line of said Ralph Edward Wiggins & Patricia Mae Wiggins, Trustees, North 82°52'26" West, 435.00 feet to the centerline of Hopper Hill Road;

Thence with said centerline of Hopper Hill Road, North 05°00'24" East, 599.27 feet;

Thence leaving said centerline of Hopper Hill Road, South 84°27'40" East, 229.75 feet to an existing 5/8" iron pin at the southeast corner of a tract conveyed to BWR Beechmont Restaurant, LLC as recorded in Official Record 2797, Page 5567;

Thence with the east line of said BWR Beechmont Restaurant, LLC and the east lines of a tract conveyed to Hopper Hill Land, LLC as recorded in Official Record 2563, Page 2002 North 05°40'13" East, 173.86 feet to an existing iron pin and cap stamped Nichols 6657 AND

Page 2

Description for: Schumacher Dugan

9.9665 Acres – Area to be Reclassified (Not for Transfer)



North 24°04'14" East, 163.70 feet to an existing MAG nail in the south line of Ohio Pike/State Route 125;

Thence with said south line of Ohio Pike/State Route 125, South 67°23'43" East, 62.10 feet;

Thence North 17°38'21" East, 41.34 feet;

Thence South 67°38'36" East, 327.68 feet;

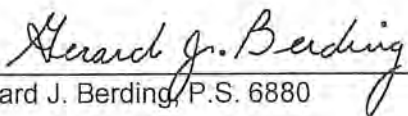
Thence South 07°53'39" West, 248.87 feet to the north line of aforesaid Lot 1 of Galbraith Subdivision and the southwest corner of a tract conveyed to Kakal Enterprises, LLC as recorded in Official Record 1881, Page 73;

Thence with said north line of Lot 1 of Galbraith Subdivision and said south line of said Kakal Enterprises, LLC, South 85°36'36" East, 11.48 feet to the **POINT OF BEGINNING**.

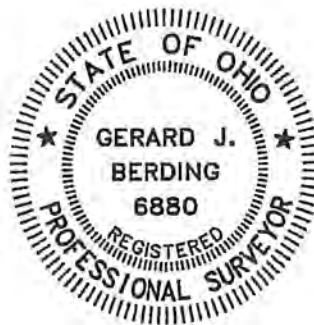
CONTAINING 9.9665 ACRES. Subject to legal highways and easements of record.

The bearings are based on State Plane Coordinate System Ohio South Zone (NAD83).

Prepared by G.J. BERDING SURVEYING, INC. on January 20, 2023. Based on a Topographic Survey prepared by G.J. BERDING SURVEYING, INC. on October 14, 2022.


Gerard J. Berding, P.S. 6880

01/20/2023
Date



G.J. Berding Surveying, Inc.

741 Main Street • Milford, OH 45150 • 513 831 5505 tel • 513 831 6761 fax • www.berdingsurveying.com



The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. Clermont County makes no warranty as to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused or any decision made or action taken by the user in a reliance upon any information furnished hereunder.

Clermont County GIS



Date: 12/28/2022



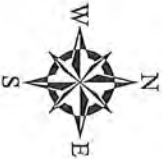
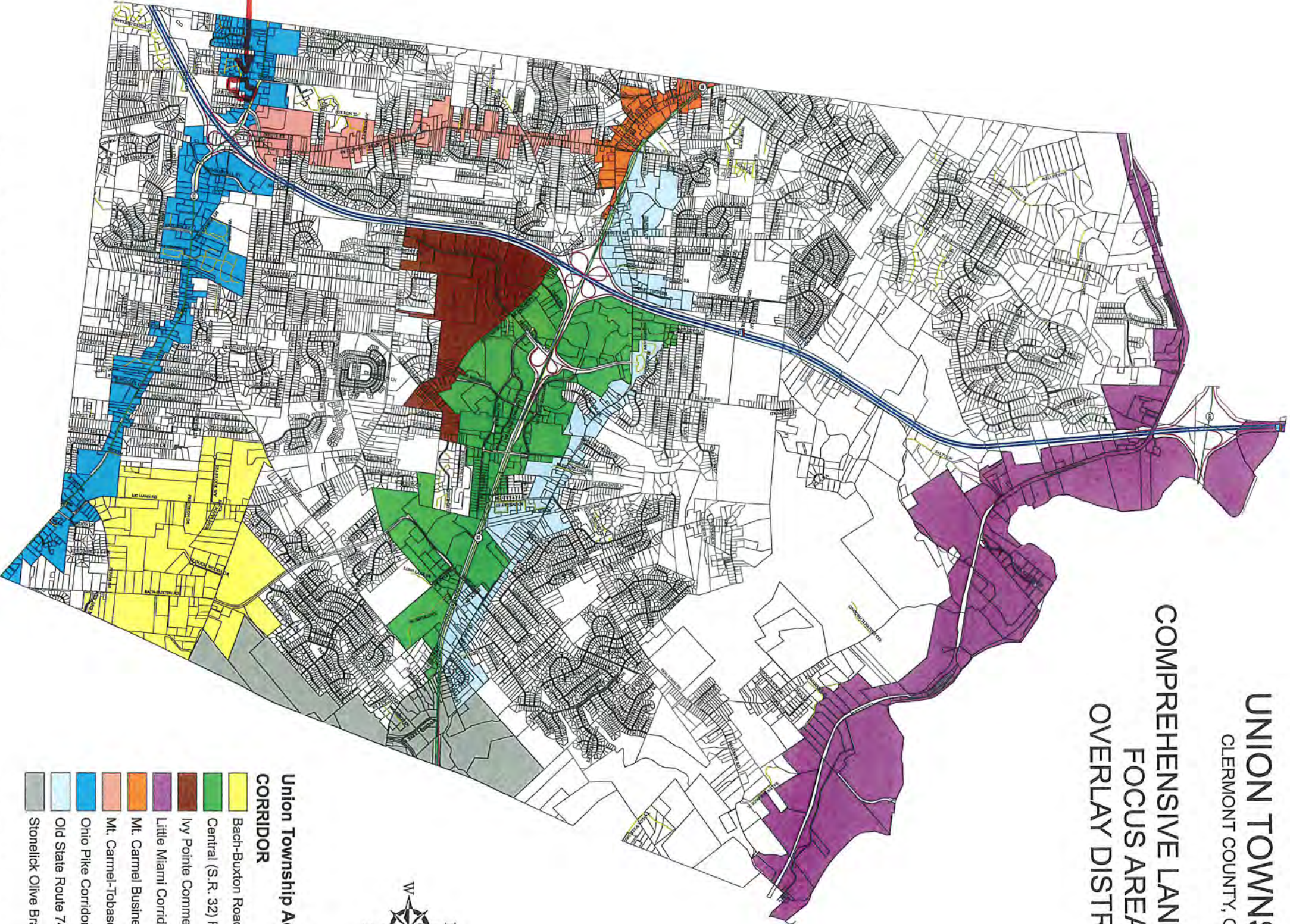
Clermont County General Mapping



-84.304858 39.069303 Degrees

UNION TOWNSHIP
CLERMONT COUNTY, OHIO

**COMPREHENSIVE LAND USE PLAN
FOCUS AREAS
OVERLAY DISTRICTS**



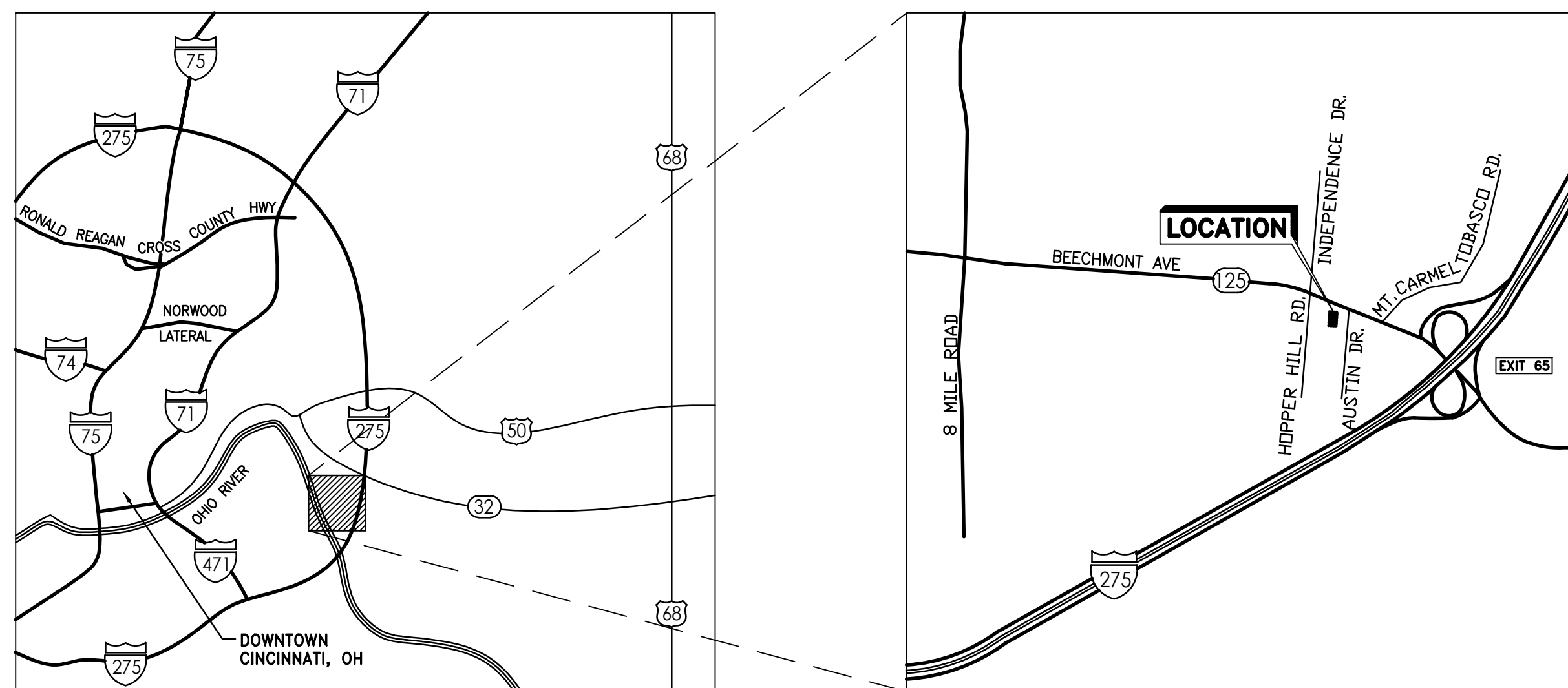
**Union Township Adopted Focus Areas
CORRIDOR**

- Bach-Buxton Road Corridor
- Central (S.R. 32) Retail Corridor
- Ivy Pointe Commercial Corridor
- Little Miami Corridor
- Mt. Carmel Business Corridor
- Mt. Carmel-Tobasco Mixed Use Corridor
- Ohio Pike Corridor
- Old State Route 74 (Summerside/Willowville)
- Stonelick Olive Branch Corridor

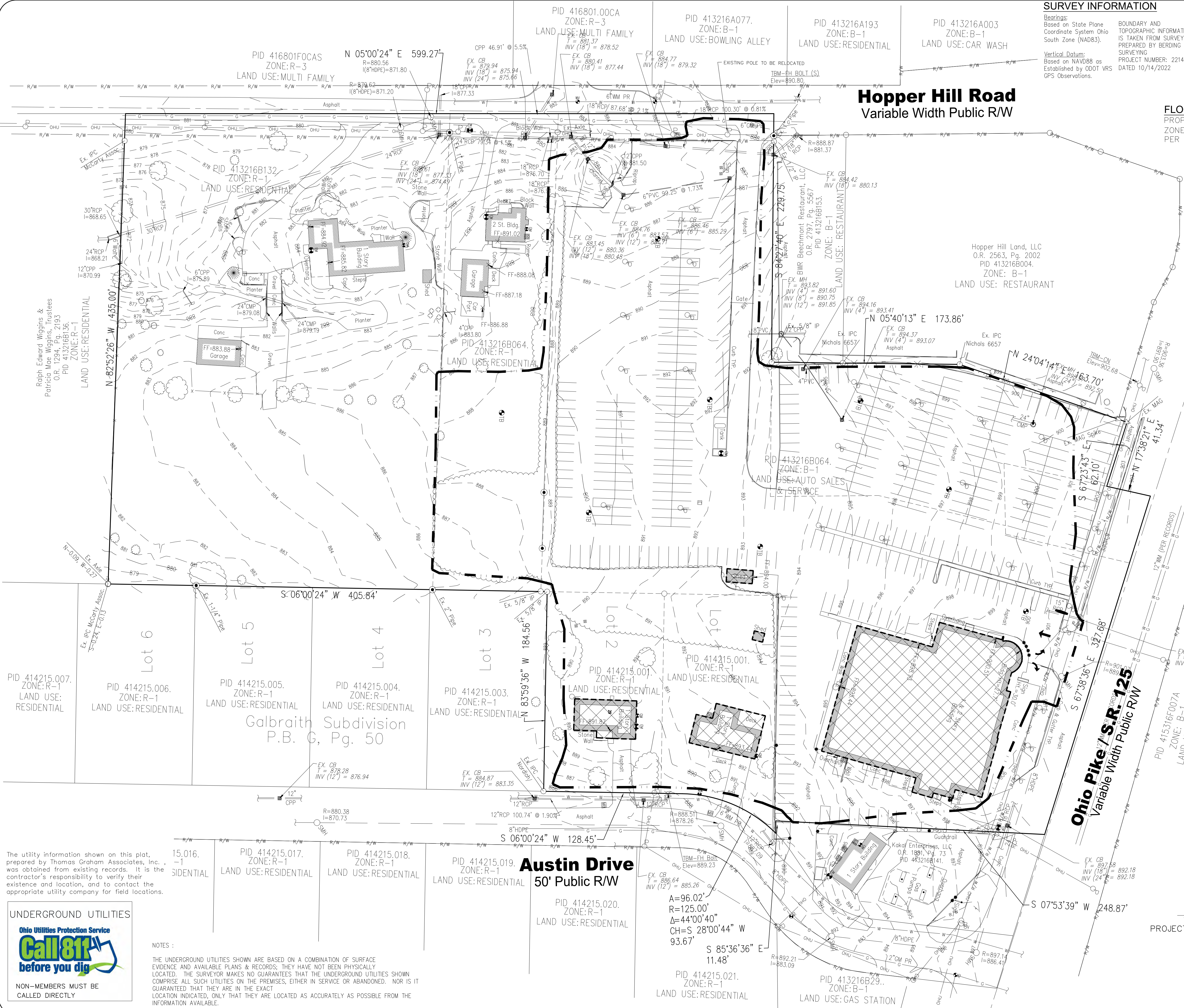
Union Township Planning and Zoning Department
4350 Aucholz Road
Cincinnati, OH 45245
(513) 753-2300

Horizon 2030: A Blueprint for the Future
Union Township Comprehensive Land Use Plan
Adopted November 14, 2013

529 OHIO PIKE CINCINNATI, OHIO 45255

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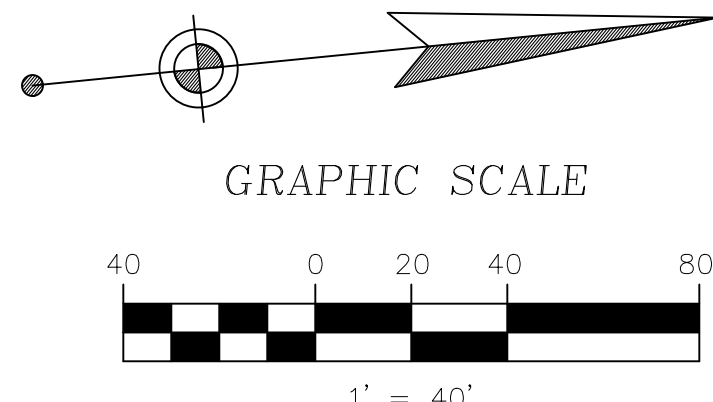
NAME _____ DATE _____



SURVEY INFORMATION

Bearings:
Based on State Plane
Coordinate System Ohio
South Zone (NAD83).
Vertical Datum:
Based on NAVD83 as
Established by ODOT VRS
GPS Observations.

BOUNDARY AND
TOPOGRAPHIC INFORMATION
IS TAKEN FROM SURVEY
PREPARED BY BERDING
SURVEYING
PROJECT NUMBER: 22146
DATED 10/14/2022



FLOOD INFORMATION
PROPERTY SURVEYED IS LOCATED WITHIN ZONE X
ZONE X - AREAS OF MINIMAL FLOOD HAZARD
PER FEMA MAP NUMBER 39025C0225G
EFFECTIVE MARCH 16, 2006
PANEL NOT PRINTED



THOMAS
GRAHAM
ASSOCIATES, INC.
• Engineers
• Surveyors
803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

| | |
|-----------|---------------|
| Date: | JAN. 23, 2023 |
| Scale: | 1" = 40' |
| Job No: | 8475 |
| Revisions | |
| No. | Date |

Independence Road
Variable Width Public R/W

EXISTING CONDITIONS LEGEND

- POWER POLE
- TELEPHONE POLE
- LIGHT POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- GAS METER
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- SINGLE GRATE INLET
- CATCH BASIN
- SANITARY MANHOLE
- CLEANOUT
- TEST BORE
- FENCE POST
- BOLLARD
- SIGN
- AIR CONDITIONING UNIT
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- GAS
- GAS PER RECORD
- WATER PER RECORD
- STORM SEWER
- SANITARY SEWER
- FENCE
- GUARDRAIL
- OVERHANG
- BUILDING EXTENTS

DEMOLITION LEGEND

- INDICATES DEMOLITION LIMITS LINE
ALL ASPHALT, GRAVEL, AND CONCRETE PAVEMENT
IS TO BE REMOVED
ALL UNDERGROUND UTILITIES ARE TO BE REMOVED
- INDICATES EXISTING BUILDINGS TO BE REMOVED

SITE DEMOLITION PLAN

PROJECT: NEW SHOWROOM & SERVICE BUILDING - HONDA EAST
529 OHIO PIKE (S.R. 125)
TAYLOR'S M.S. No. 637
UNION TOWNSHIP
CLERMONT COUNTY, OHIO

Drawn By: J.KAFFENBERGER

D1.0

Job No: 8475-2022

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prepared by Thomas Graham Associates, Inc.,
was obtained from existing records. It is the
contractor's responsibility to verify their
existence and location, and to contact the
appropriate utility company for field locations.

UNDERGROUND UTILITIES



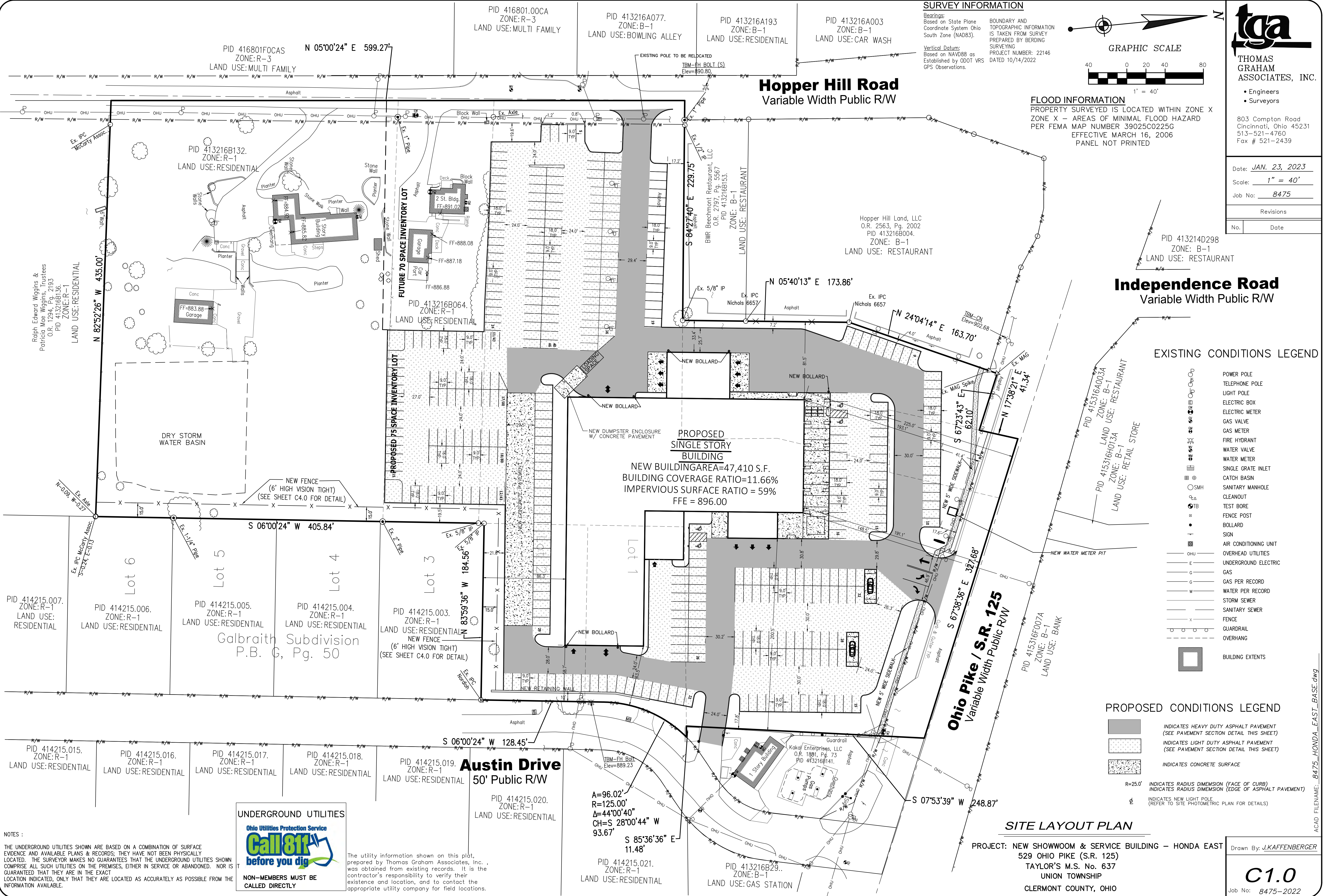
NON-MEMBERS MUST BE
CALLED DIRECTLY

NOTES :

THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF SURFACE
EVIDENCE AND AVAILABLE PLANS & RECORDS; THEY HAVE NOT BEEN PHYSICALLY
LOCATED. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN
COMPRISE ALL SUCH UTILITIES ON THE PREMISES, EITHER IN SERVICE OR ABANDONED. NOR IS IT
GUARANTEED THAT THEY ARE IN THE EXACT
LOCATION INDICATED, ONLY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE
INFORMATION AVAILABLE.

Austin Drive
50' Public R/W

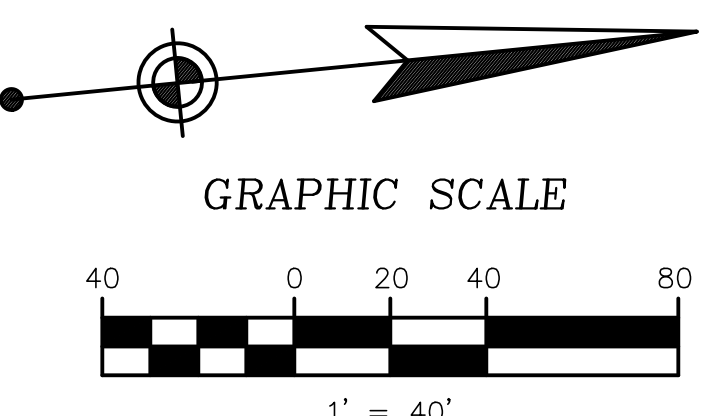
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SURVEY INFORMATION

Bearings:
Based on State Plane
Coordinate System Ohio
South Zone (NAD83).
Vertical Datum:
Based on NAVD88 as
Established by ODOT VRS
GPS Observations.

BOUNDARY AND
TOPOGRAPHIC INFORMATION
IS TAKEN FROM SURVEY
PREPARED BY BERDING
SURVEYING
PROJECT NUMBER: 22146
DATED 10/14/2022



tga
THOMAS
GRAHAM
ASSOCIATES, INC.

• Engineers
• Surveyors

803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

FLOOD INFORMATION
PROPERTY SURVEYED IS LOCATED WITHIN ZONE X
ZONE X - AREAS OF MINIMAL FLOOD HAZARD
PER FEMA MAP NUMBER 39025C0225G
EFFECTIVE MARCH 16, 2006
PANEL NOT PRINTED

| | |
|-----------|---------------|
| Date: | JAN. 23, 2023 |
| Scale: | 1" = 40' |
| Job No: | 8475 |
| Revisions | |
| No. | Date |

Independence Road
Variable Width Public R/W

EXISTING CONDITIONS LEGEND

- POWER POLE
- TELEPHONE POLE
- LIGHT POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- GAS METER
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- SINGLE GRATE INLET
- CATCH BASIN
- SANITARY MANHOLE
- CLEANOUT
- TEST BORE
- FENCE POST
- BOLLARD
- SIGN
- AIR CONDITIONING UNIT
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- GAS
- GAS PER RECORD
- WATER PER RECORD
- STORM SEWER
- SANITARY SEWER
- FENCE
- GUARDRAIL
- OVERHANG
- BUILDING EXTENTS

PROPOSED CONDITIONS LEGEND

- INDICATES HEAVY DUTY ASPHALT PAVEMENT
(SEE PAVEMENT SECTION DETAIL THIS SHEET)
- INDICATES LIGHT DUTY ASPHALT PAVEMENT
(SEE PAVEMENT SECTION DETAIL THIS SHEET)
- INDICATES CONCRETE SURFACE
- R=25.0' INDICATES RADIUS DIMENSION (FACE OF CURB)
INDICATES RADIUS DIMENSION (EDGE OF ASPHALT PAVEMENT)
- INDICATES NEW LIGHT POLE
(REFER TO SITE PHOTOMETRIC PLAN FOR DETAILS)

SITE LAYOUT PLAN

PROJECT: NEW SHOWROOM & SERVICE BUILDING - HONDA EAST
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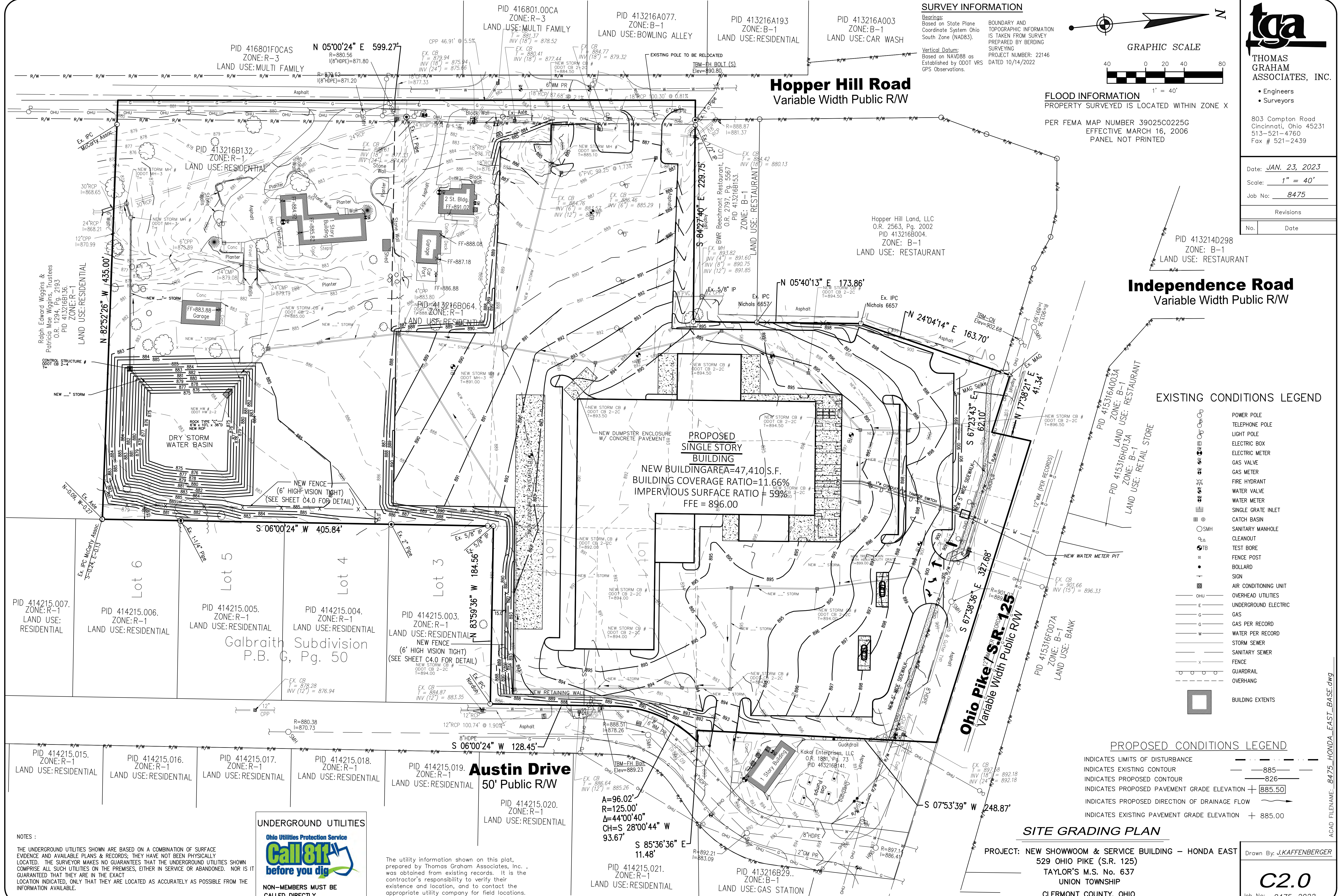
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UNDERGROUND UTILITIES

Ohio Utilities Protection Service
Call 811
before you dig

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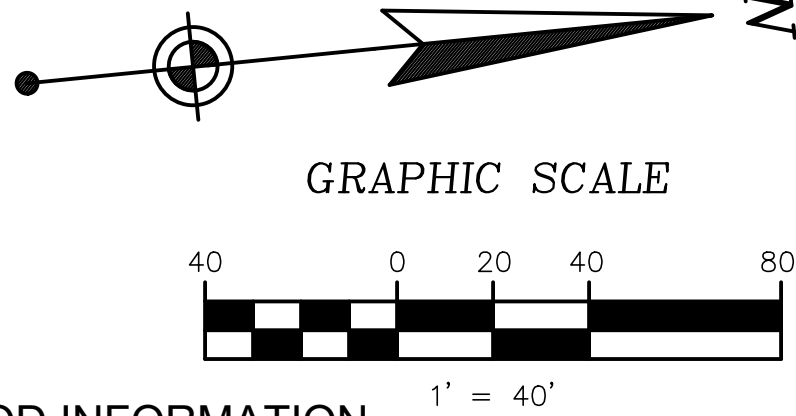


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FLOOD INFORMATION

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PER FEMA MAP NUMBER 39025C0225G
EFFECTIVE MARCH 16, 2006
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ASSOCIATES, INC.

- Engineers
- Surveyors

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513-521-4760
Fax # 521-2439

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Revisions

No. Date

Independence Road
Variable Width Public R/W

EXISTING CONDITIONS LEGEND

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- FENCE
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- OVERHANG

BUILDING EXTENTS

PROPOSED CONDITIONS LEGEND

- INDICATES LIMITS OF DISTURBANCE
- INDICATES EXISTING CONTOUR
- INDICATES PROPOSED CONTOUR
- INDICATES PROPOSED PAVEMENT GRADE ELEVATION + 885.50
- INDICATES PROPOSED DIRECTION OF DRAINAGE FLOW
- INDICATES EXISTING PAVEMENT GRADE ELEVATION + 885.00

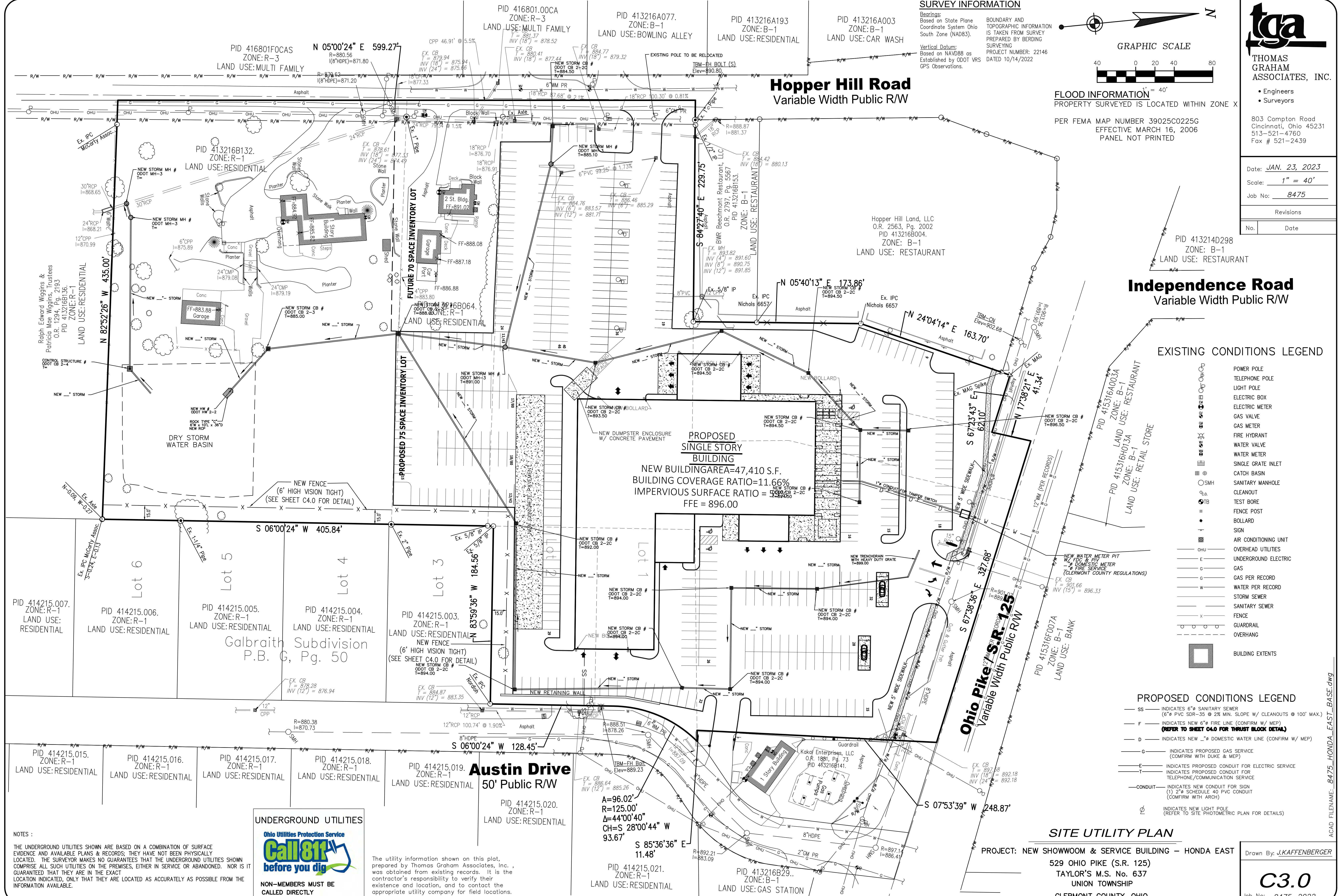
SITE GRADING PLAN

PROJECT: NEW SHOWROOM & SERVICE BUILDING - HONDA EAST
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C2.0

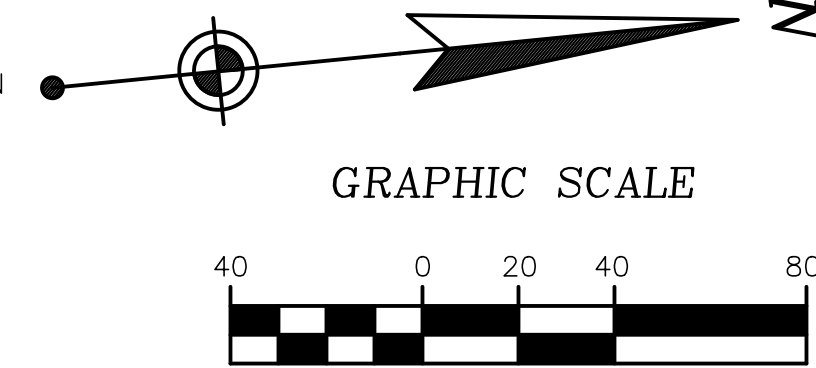
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Independence Road
Variable Width Public R/W

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PROPOSED CONDITIONS LEGEND

- SS INDICATES 6" SANITARY SEWER (6" PVC SDR-35 @ 2% MIN. SLOPE W/ CLEANOUTS @ 100' MAX.)
- F INDICATES NEW 6" FIRE LINE (CONFORM W/ MEP) (REFER TO SHEET C4.0 FOR THRUST BLOCK DETAIL)
- D INDICATES NEW 1/2" DOMESTIC WATER LINE (CONFORM W/ MEP)
- G INDICATES PROPOSED GAS SERVICE (CONFORM WITH DUKE & MEP)
- E INDICATES PROPOSED CONDUIT FOR ELECTRIC SERVICE
- T INDICATES PROPOSED CONDUIT FOR TELEPHONE/COMMUNICATION SERVICE
- CONDUIT INDICATES NEW CONDUIT FOR SIGN (1) 2" SCHEDULE 40 PVC CONDUIT (CONFORM WITH ARCH)
- INDICATES NEW LIGHT POLE (REFER TO SITE PHOTOMETRIC PLAN FOR DETAILS)

SITE UTILITY PLAN

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Drawn By: J.KAFFENBERGER

C3.0
Job No: 8475-2022

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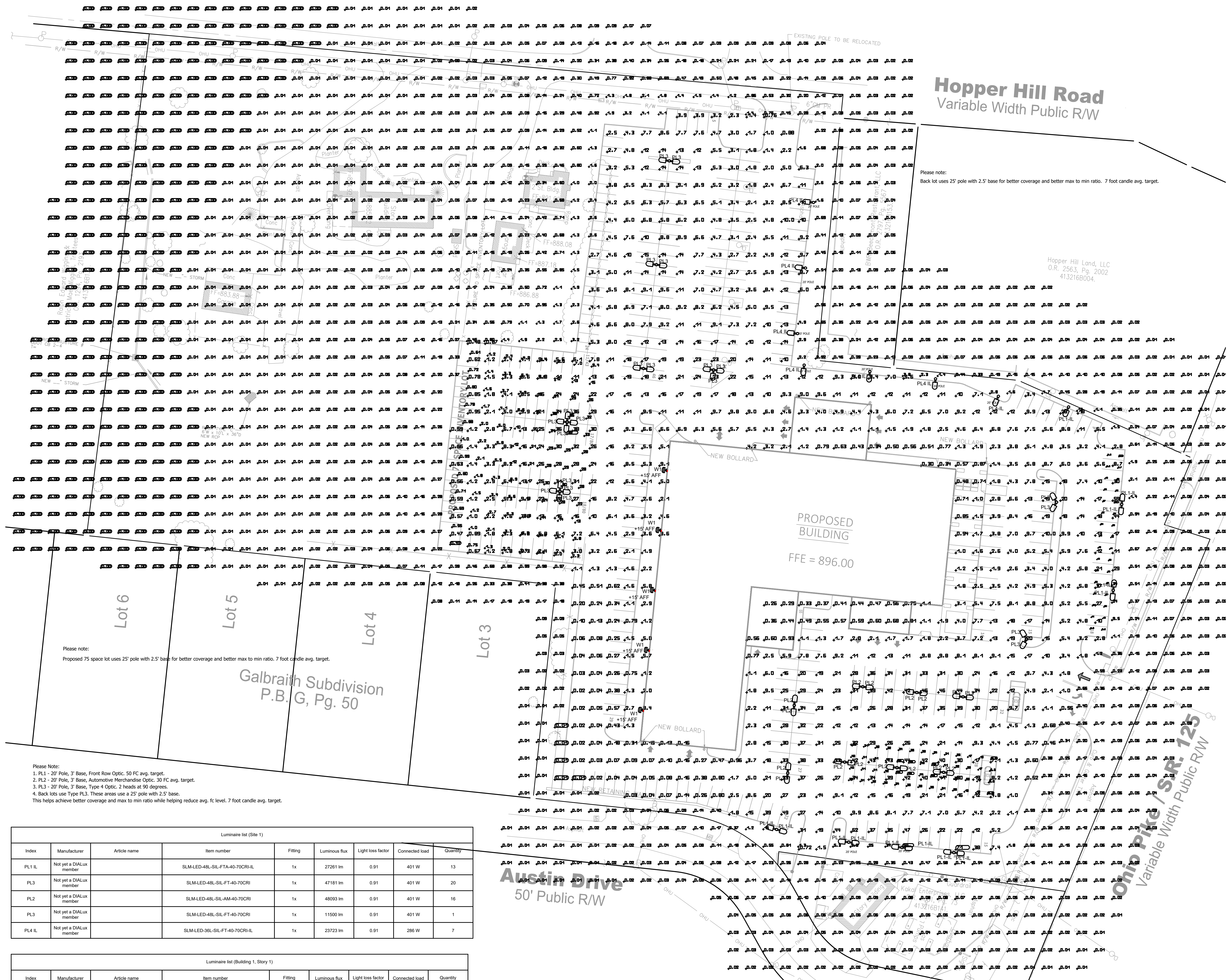
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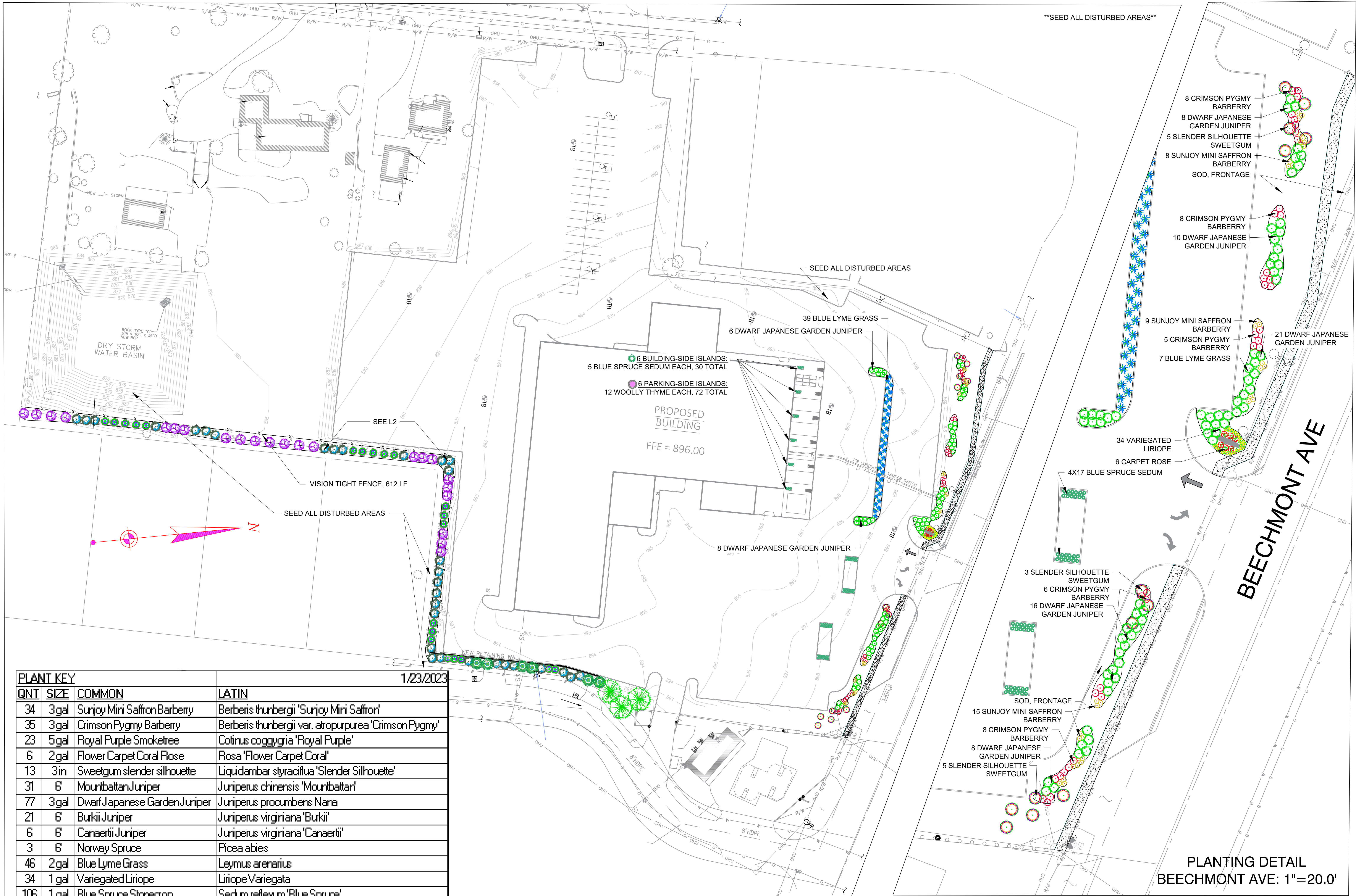
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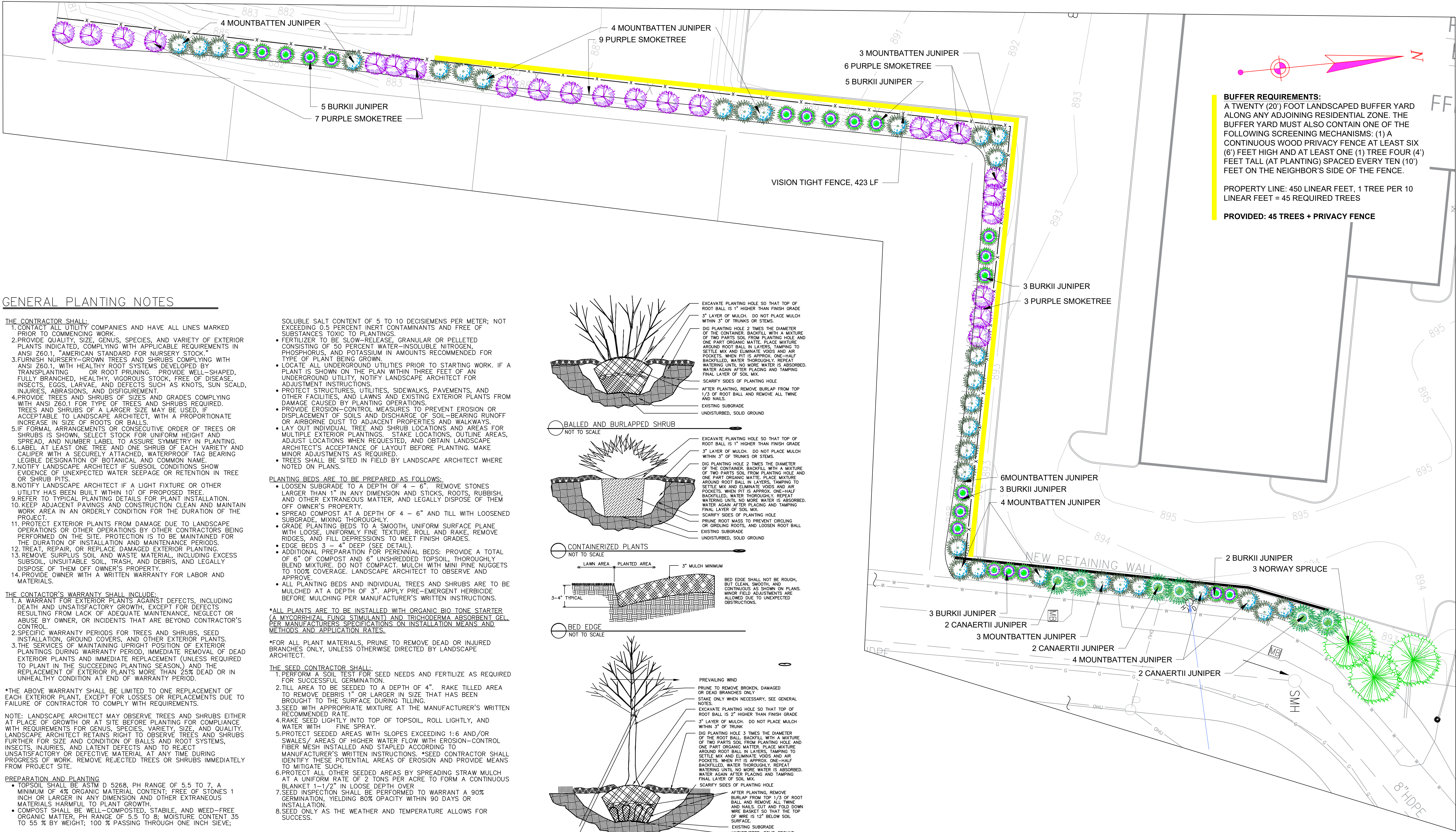
| Luminaire list (Site 1) | | | | | | | | |
|-------------------------|-------------------------|--------------|--------------------------------|---------|---------------|-------------------|----------------|----------|
| Index | Manufacturer | Article name | Item number | Fitting | Luminous flux | Light loss factor | Connected load | Quantity |
| PL1 IL | Not yet a DIALux member | | SLM-LED-48L-SIL-FT-40-70CRI-IL | 1x | 27261 lm | 0.91 | 401 W | 13 |
| PL3 | Not yet a DIALux member | | SLM-LED-48L-SIL-FT-40-70CRI | 1x | 47161 lm | 0.91 | 401 W | 20 |
| PL2 | Not yet a DIALux member | | SLM-LED-48L-SIL-AM-40-70CRI | 1x | 48093 lm | 0.91 | 401 W | 16 |
| PL3 | Not yet a DIALux member | | SLM-LED-48L-SIL-FT-40-70CRI | 1x | 11500 lm | 0.91 | 401 W | 1 |
| PL4 IL | Not yet a DIALux member | | SLM-LED-36L-SIL-FT-40-70CRI-IL | 1x | 23723 lm | 0.91 | 288 W | 7 |

| Luminaire list (Building 1, Story 1) | | | | | | | | |
|--------------------------------------|-------------------------|--------------|----------------------|---------|---------------|-------------------|----------------|----------|
| Index | Manufacturer | Article name | Item number | Fitting | Luminous flux | Light loss factor | Connected load | Quantity |
| W1 - 15' | Not yet a DIALux member | | XLCW-FT-LED-HO-NW-UE | 1x | 4619 lm | 0.91 | 54.4 W | 5 |

| # | Name | Parameter | Min | Max | Average | Min/average | Min/max |
|---|------------------------------------|---------------------------|----------|---------|---------|-------------|---------|
| 1 | Full Parking Area | Perpendicular illuminance | 0.011 fc | 71.4 fc | 10.1 fc | 0.001 | 0.000 |
| 2 | Spill Lighting | Perpendicular illuminance | 0.001 fc | 49.7 fc | 0.26 fc | 0.004 | 0.000 |
| 3 | Interior Lot Sample 30 ft target | Perpendicular illuminance | 6.57 fc | 46.5 fc | 31.8 fc | 0.206 | 0.141 |
| 4 | Front Row sample 50 ft target | Perpendicular illuminance | 3.19 fc | 57.6 fc | 24.8 fc | 0.129 | 0.055 |
| 5 | 75 space inventory lot 7 ft target | Perpendicular illuminance | 0.42 fc | 38.3 fc | 11.0 fc | 0.038 | 0.011 |



| PLANT KEY | | | |
|-----------|-------|-------------------------------|---|
| QNT | SIZE | COMMON | LATIN |
| 34 | 3 gal | Surjoy Mini Saffron Barberry | Berberis thunbergii 'Surjoy Mini Saffron' |
| 35 | 3 gal | Crimson Pygmy Barberry | Berberis thunbergii var. atropurpurea 'Crimson Pygmy' |
| 23 | 5 gal | Royal Purple Smoke tree | Cotinus coggygia 'Royal Purple' |
| 6 | 2 gal | Flower Carpet Coral Rose | Rosa 'Flower Carpet Coral' |
| 13 | 3 in | Sweetgum slender silhouette | Liquidambar styraciflua 'Slender Silhouette' |
| 31 | 6' | Mountain Juniper | Juniperus chinensis 'Mountain' |
| 77 | 3 gal | Dwarf Japanese Garden Juniper | Juniperus procumbens Nana |
| 21 | 6' | Burkii Juniper | Juniperus virginiana 'Burkii' |
| 6 | 6' | Canaertii Juniper | Juniperus virginiana 'Canaertii' |
| 3 | 6' | Norway Spruce | Picea abies |
| 46 | 2 gal | Blue Lyme Grass | Leymus arenarius |
| 34 | 1 gal | Variegated Liriope | Liriope Variegata |
| 106 | 1 gal | Blue Spruce Stonecrop | Sedum reflexum 'Blue Spruce' |
| 72 | 1 gal | Woolly Thyme | Thymus praecox pseudolanuginosus |



GENERAL PLANTING NOTES

- THE CONTRACTOR SHALL:
1. CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK.
 2. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
 3. FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING, OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 4. PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 5. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
 6. LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
 7. NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
 8. NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 10' OF PROPOSED TREE.
 9. REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
 10. KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION FOR THE DURATION OF THE PROJECT.
 11. PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS OR OTHER OPERATIONS BY OTHER CONTRACTORS BEING PERFORMED ON THE SITE. PROTECTION IS TO BE MAINTAINED FOR THE DURATION OF INSTALLATION AND MAINTENANCE PERIODS.
 12. TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
 13. REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 14. PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.

- THE CONTRACTOR'S WARRANTY SHALL INCLUDE:
1. A WARRANTY FOR EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 2. SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
 3. THE SERVICES OF MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD, IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT (UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON), AND THE REPLACEMENT OF EXTERIOR PLANTS MORE THAN 25% DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.

*THE ABOVE WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.

NOTE: LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

- PREPARATION AND PLANTING
- TOPSOIL SHALL BE ASTM D 5268, PH RANGE OF 5.5 TO 7.0, A MINIMUM OF 4% ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
 - COMPOST SHALL BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8.0, MOISTURE CONTENT 35 TO 55 % BY WEIGHT; 100 % PASSING THROUGH ONE INCH SIEVE;

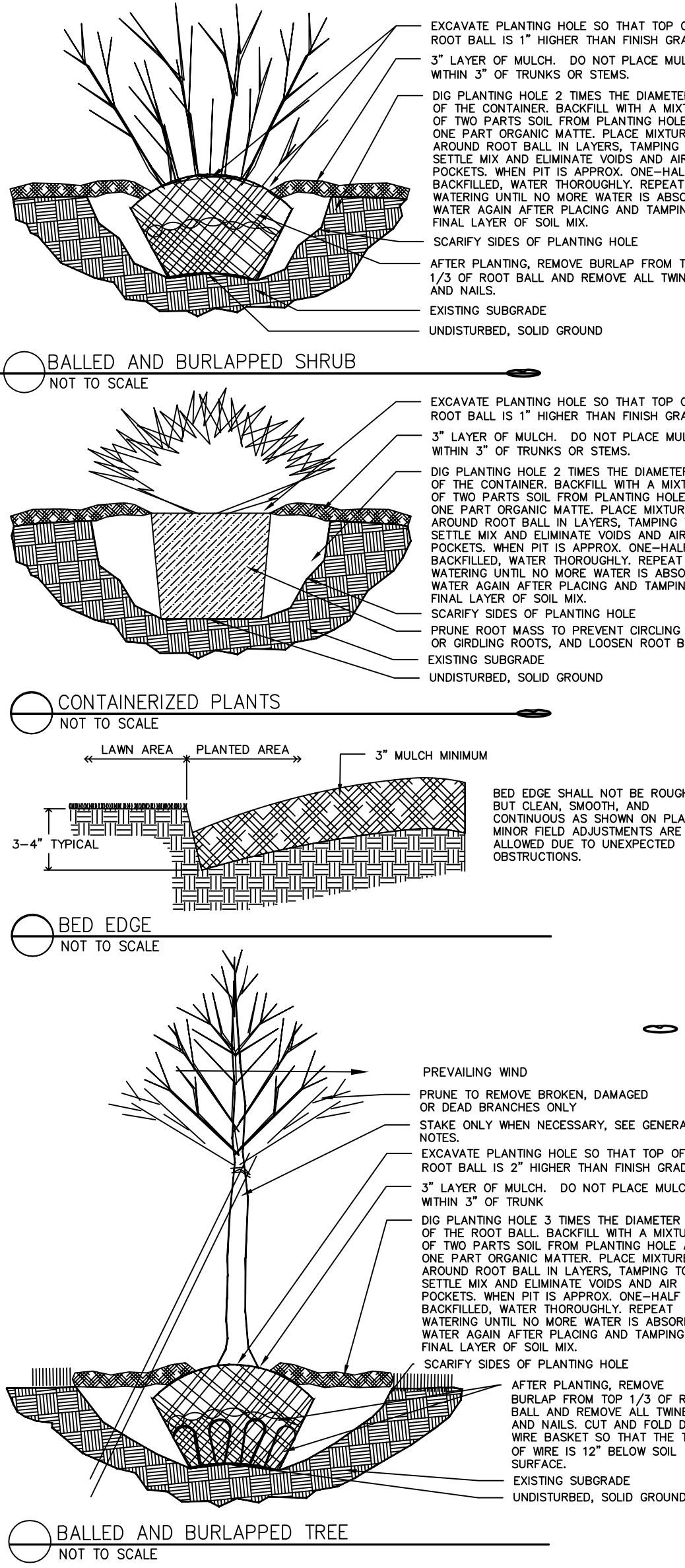
- SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS PER METER; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.
 - LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
 - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
 - PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
 - LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
 - TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.

- PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS:
- LOOSEN SUBGRADE TO A DEPTH OF 4" - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, RUBBISH, AND OTHER EXTRANEUS MATERIAL, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD COMPOST AT A DEPTH OF 4" - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
 - GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
 - EDGE BEDS 3" - 4" DEEP (SEE DETAIL).
 - ADDITIONAL PREPARATION FOR PERENNIAL BEDS: PROVIDE A TOTAL OF 6" OF COMPOST AND 6" UNSHREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE. DO NOT COMPACT. MULCH WITH MINI PINE NUGGETS TO 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.
 - ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

*ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO-TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT) AND TRICHODERMA ABSORBENT GEL, PER MANUFACTURER'S SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

*FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

- THE SEED CONTRACTOR SHALL:
1. PERFORM A SOIL TEST FOR SEED NEEDED AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
 2. TILL AREA TO BE SEED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
 3. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
 4. RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
 5. PROTECT SEEDING AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES / AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
 6. PROTECT ALL OTHER SEEDING AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER
 7. SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
 8. SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.



ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS." IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD SHALL APPLY.

MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. GRADE A MATERIALS APPLY TO 100 PERCENT OPACITY TO LAST 7 MONTHS WITHOUT ANY ADDITIONAL TOP DRESSING. DEPTH WILL VARY DEPENDING ON PRODUCT INSTALLED. TYPICALLY 3\"/>

- PROVIDE CLIENT OR CLIENT REPRESENTATIVE WITH PRICE AND A SAMPLE OF THE FOLLOWING OPTIONS
- LONG LASTING DYED BLACK MULCH DOUBLE SHREDDED
 - DYED BROWN MULCH DOUBLE SHREDDED
 - DOUBLE SHREDDED HARDWOOD BLEND
 - CYPRESS MULCH
 - MINI PINE NUGGET
 - MINI PINE FINES
 - PINE STRAW
 - PREMIUM WOOD CHIP
 - WOOD CHIP

ABSOLUTELY NO PLANT SUBSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE MUNICIPALITY ZONING STAFF, CLIENT REPRESENTATIVE, AND/OR LANDSCAPE ARCHITECT (GAYLE A. FRAZER)

PROVIDE CLIENT WITH QNT MULCH PROVIDED _____ CUBIC YARDS

PROVIDE CLIENT WITH QNT OF COMPOST PROVIDED _____ CUBIC YARDS

PROVIDE CLIENT WITH QUANTITY OF TOPSOIL PROVIDED _____ CUBIC YARDS

Type of Plants Normal Planting Dates
Non-Container Grown, Deciduous: October 1 to April 1
Non-Container Grown, Other: October 1 to May 1
Container Grown: Year-Round if suitable precautions are taken to protect the stock from extremes of moisture and temperature. If there is doubt, obtain a variance or a performance bond.

BUFFER REQUIREMENTS:
A TWENTY (20') FOOT LANDSCAPED BUFFER YARD ALONG ANY ADJOINING RESIDENTIAL ZONE. THE BUFFER YARD MUST ALSO CONTAIN ONE OF THE FOLLOWING SCREENING MECHANISMS: (1) A CONTINUOUS WOOD PRIVACY FENCE AT LEAST SIX (6') FEET HIGH AND AT LEAST ONE (1) TREE FOUR (4') FEET TALL (AT PLANTING) SPACED EVERY TEN (10') FEET ON THE NEIGHBOR'S SIDE OF THE FENCE.

PROPERTY LINE: 450 LINEAR FEET, 1 TREE PER 10 LINEAR FEET = 45 REQUIRED TREES

PROVIDED: 45 TREES + PRIVACY FENCE

GAYLE A. FRAZER
REGISTERED LANDSCAPE ARCHITECT
010497-0006 WATERPARKOUTDOORSPACES.COM 1775 BRIDGE COUNTRY PARK DRIVE CINCINNATI, OHIO 45244

PROJECT: HONDA EAST
OHIO PIKE (S.R. 125)
TAYLOR'S M.S. No. 637
UNION TOWNSHIP
CLERMONT COUNTY, OHIO



SPECIFICATIONS
AND NOTES
AND DETAILS

SCALE: 1"=20.0'

1/25/2023

REVISIONS:

L2

NEW SHOWROOM & SERVICE BUILDING
HONDA EAST

529 OHIO PIKE
CINCINNATI, OH 45255

WOESTE
INVESTMENTS
LTD.

3997
MCMANN RD.
CINCINNATI, OH
45245

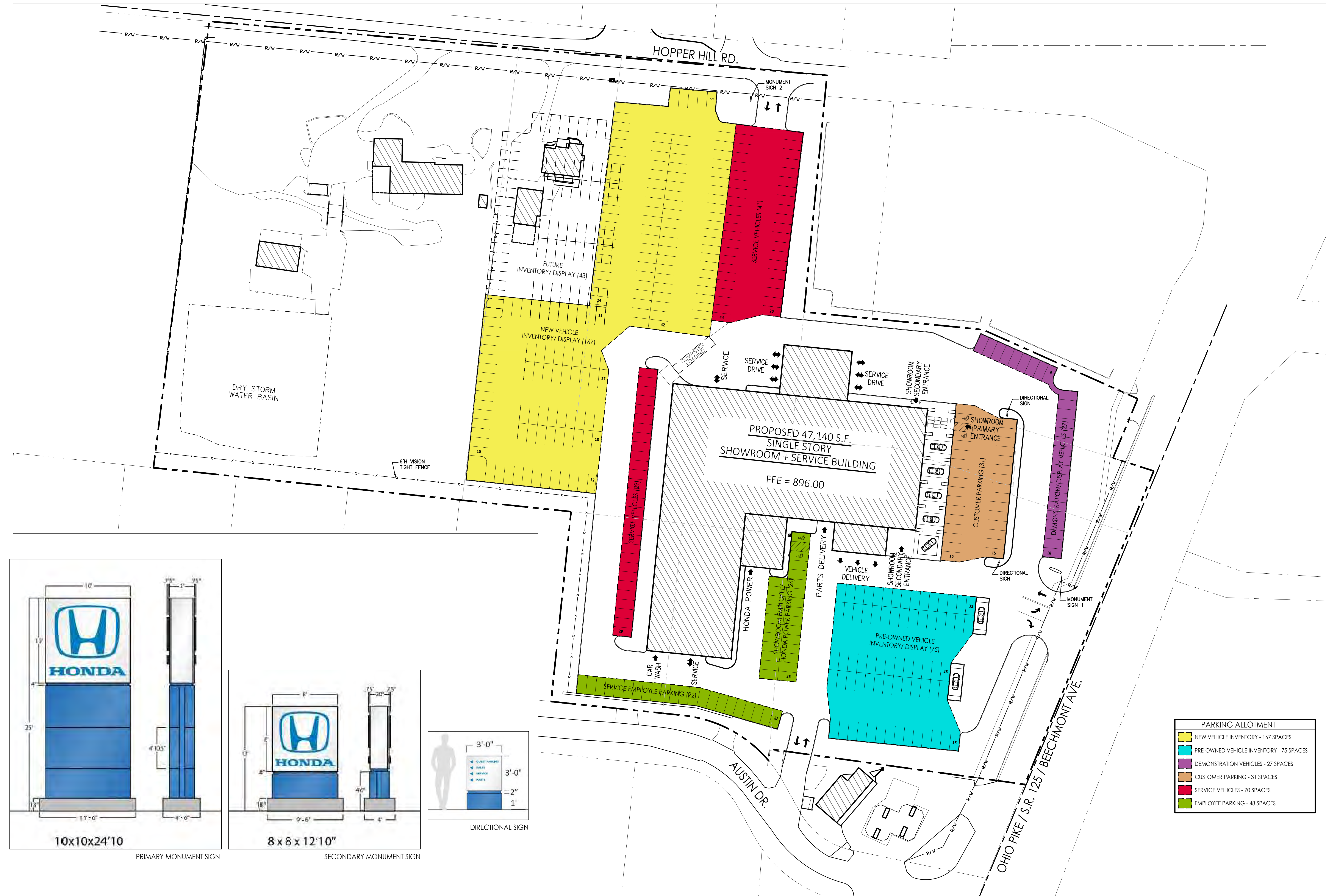
NOT FOR
CONSTRUCTION

DRAWN: O.R.M.

23 JANUARY 2023

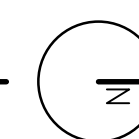
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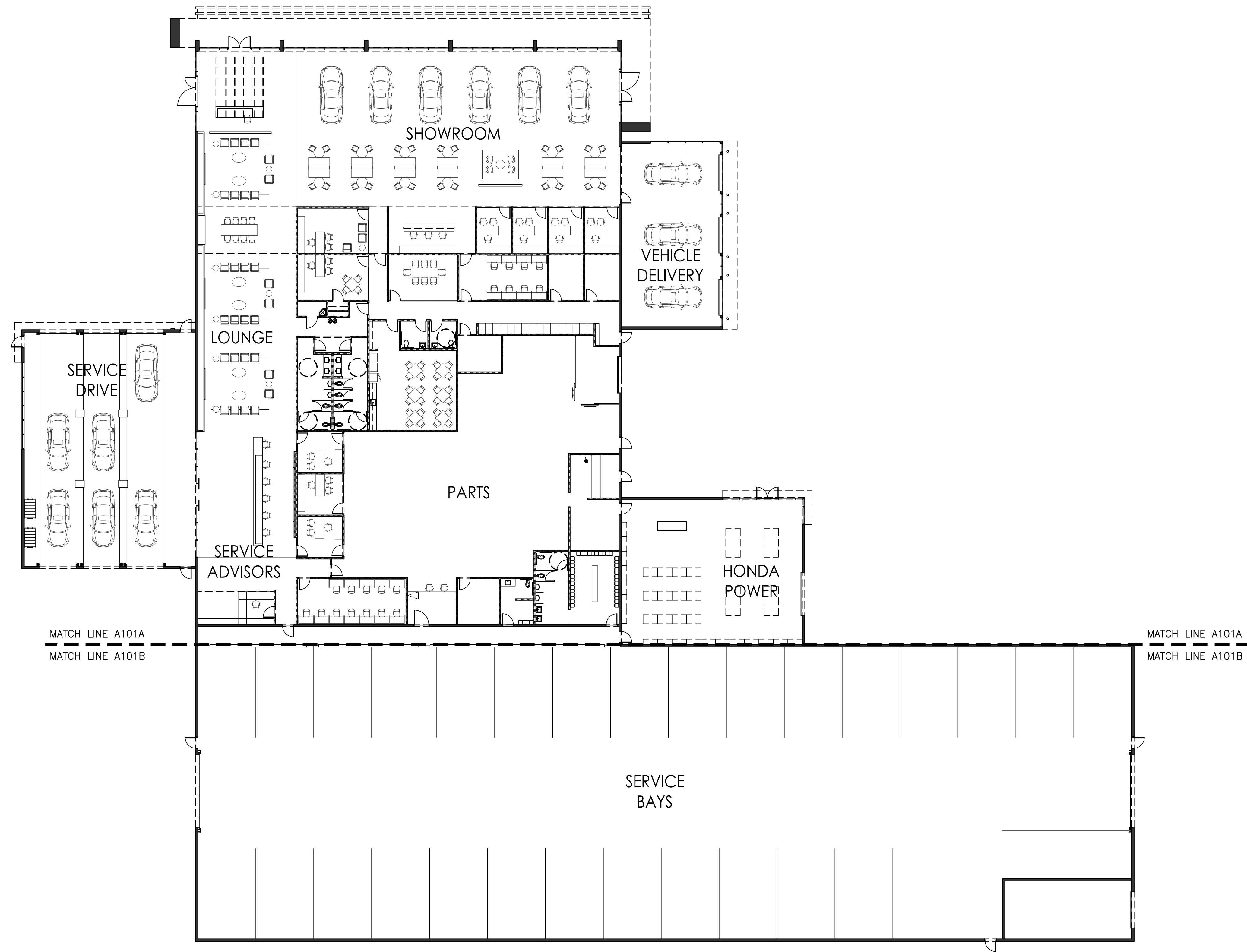
AS-1
ARCHITECTURAL
SITE PLAN



ARCHITECTURAL
SITE PLAN

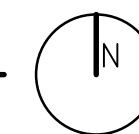
SCALE 1" = 40'-0"





OVERALL
FLOOR PLAN

SCALE 1/16" = 1'-0"



NEW SHOWROOM & SERVICE BUILDING
HONDA EAST

529 OHIO PIKE
CINCINNATI, OH 45255

WOESTE
INVESTMENTS
LTD.

3997
MCMANN RD.
CINCINNATI, OH
45245

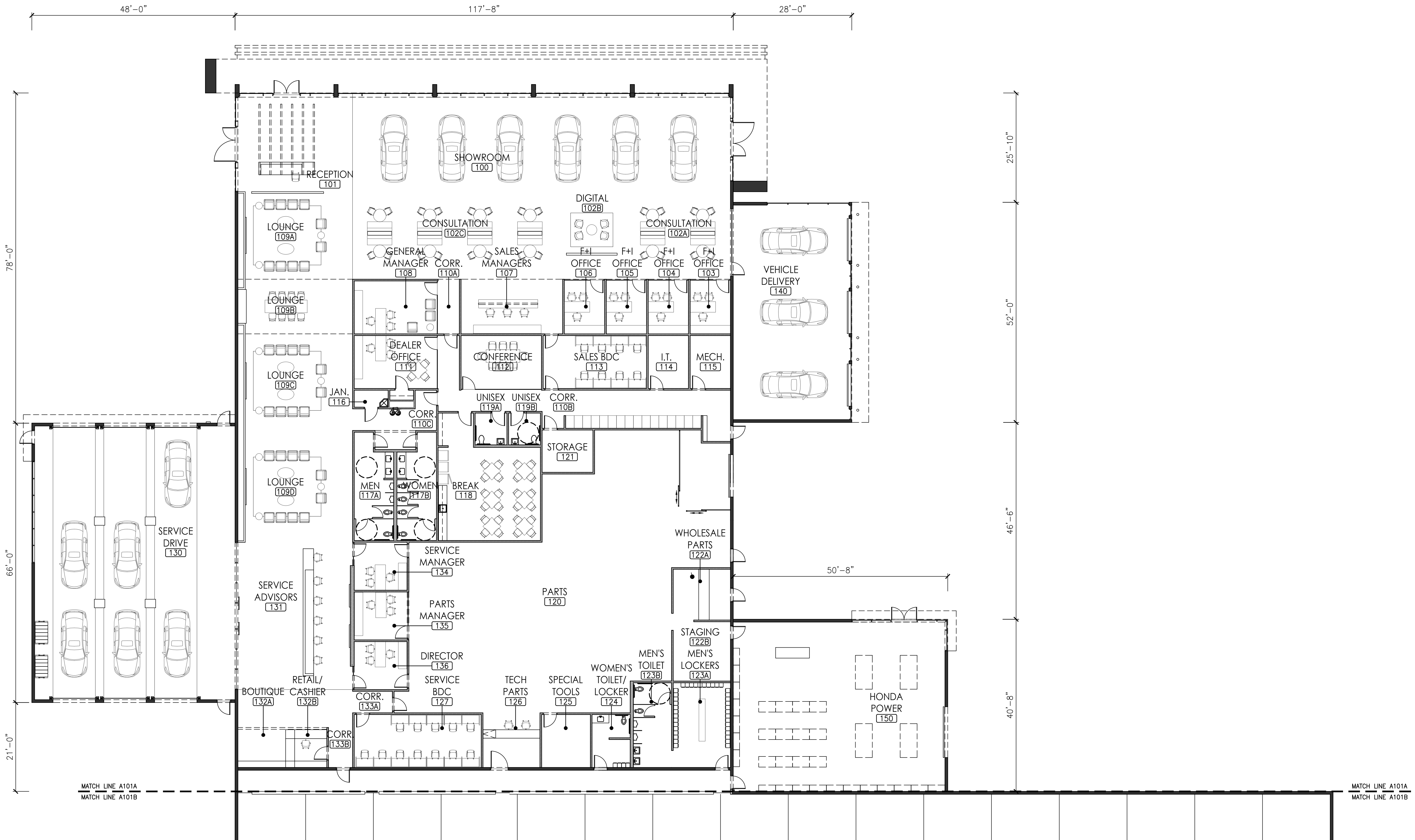
NOT FOR
CONSTRUCTION

DRAWN: O.R.M.

23 JANUARY 2023

FILE: 2206

A100
OVERALL FLOOR PLAN



NORTH FLOOR PLAN

SCALE 3/32" = 1'-0"

NEW SHOWROOM & SERVICE BUILDING
HONDA EAST

529 OHIO PIKE
CINCINNATI, OH 45255

WOESTE
INVESTMENTS
LTD.
3997
MCMANN RD.
CINCINNATI, OH
45245

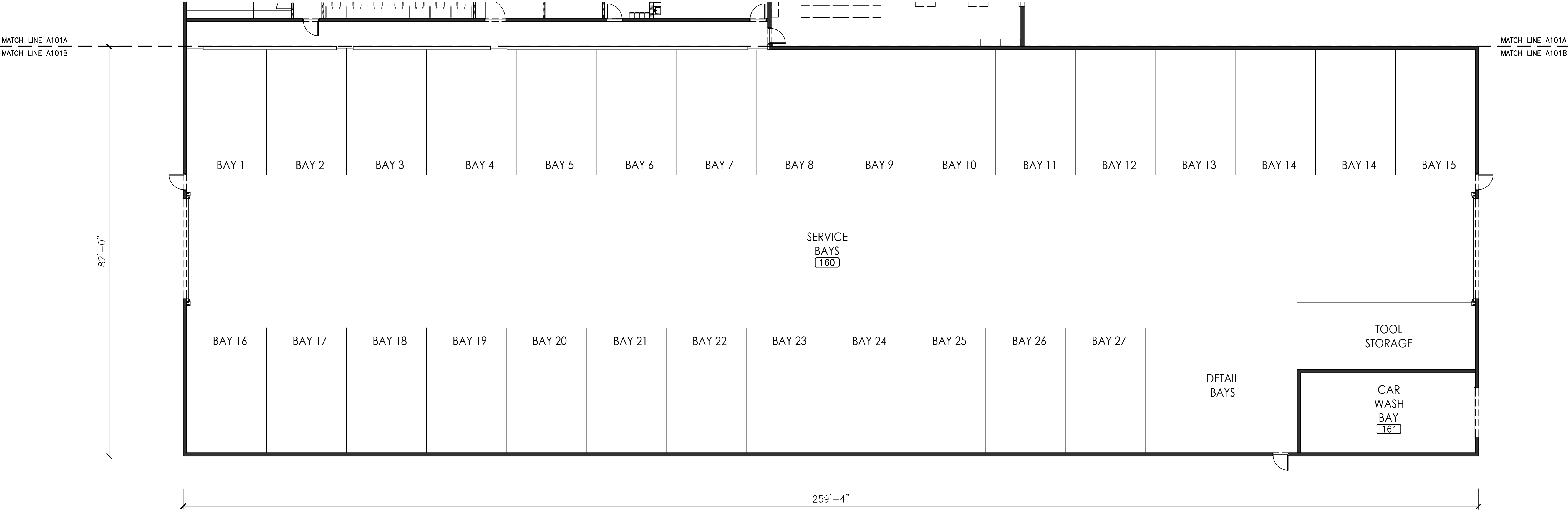
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23 JANUARY 2023

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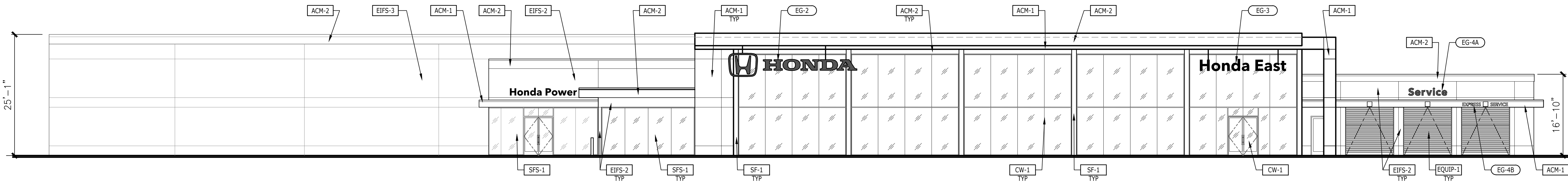
A101A
NORTH FLOOR PLAN



SOUTH FLOOR PLAN

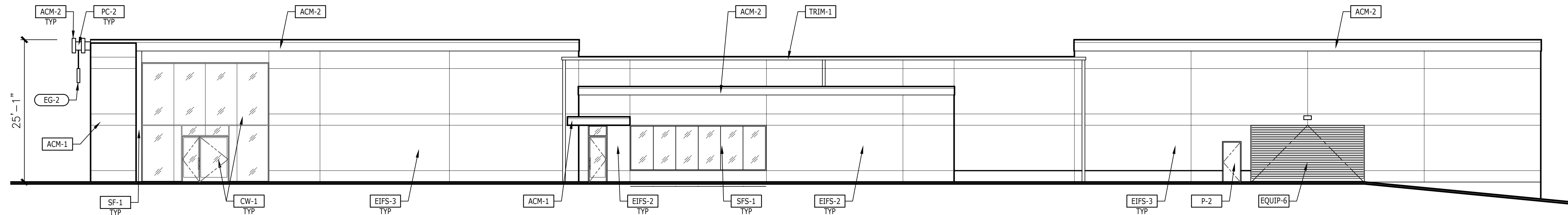
SCALE 3/32" = 1'-0"

N



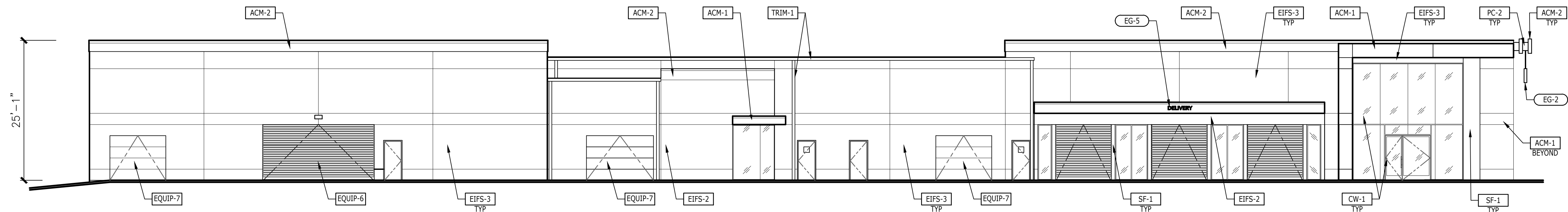
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



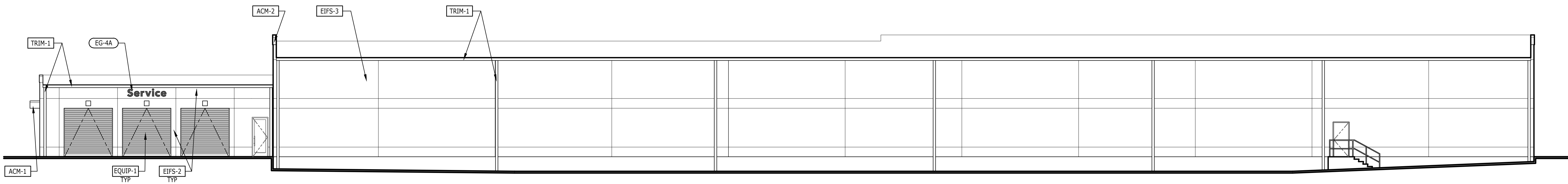
WEST ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

| EXTERIOR FINISH KEY | | | | |
|---------------------|----------------|---|--|--|
| MARK | MANUF. | DESCRIPTION | LOCATION | CONTACT |
| ACM-1 | ALPOLC | ALPOLC FR COLOR: "HNB BLUE" #4-HNB-50 LRV16.76 | ACCENT CANOPIES | JOHN STUMPF 757-600-5325 JOHNSGALPOLC.COM |
| ACM-2 | ALPOLC | ALPOLC FR COLOR: "HNB WHITE" #4-HNB-50 LRV 80.4 | PARAPET BAND & SHOWROOM LOWERS | JOHN STUMPF 757-600-5325 JOHNSGALPOLC.COM |
| CO-1 | SIKA | SCOFIELD FORMULA ONE LIQUID DYE CONCENTRATE FINISH GRADE1, FINISH CLASS2 COLOR: C388 SOFT GRAY | VEHICLE DISPLAY PADS & ENTRY WALK | SCOTT REYES 586-292-1492 REYES.SCOTT@US.SIKA.COM |
| CO-4 | SIKA | STAMP - DECORATIVE CONCRETE PATTERN: APPALACHIAN FLAGSTONE BASE COLOR: P31 GRAY LINEN RELEASE COLOR: R26 CAPE COD | FRONT DISPLAY | SCOTT REYES 586-292-1492 REYES.SCOTT@US.SIKA.COM |
| CO-5 | SIKA | STAMP - DECORATIVE CONCRETE PATTERN: TRAVERTINE TEXTURE BASE COLOR: P31 GRAY LINEN RELEASE COLOR: R26 CAPE COD | SIDE WALKS | SCOTT REYES 586-292-1492 REYES.SCOTT@US.SIKA.COM |
| CW-1 | TUBELITE | 400TU ULTRA-THERMAL CW 2-1/2" X 7-1/2" SSQ, BLACK SILICONE @ JOINTS FINISH: BLACK ANODIZED | SHOWROOM | - |
| EIFS-1 | DRYVIT | OUTSULATION PLUS MD W/ STATO TONE FINISH: HDP FINESSE COLOR: HONOLULU0365 | ALTERNATE TO ACM-1 | BOB DAZEL 734-278-0404 BOB.DAZEL@DRYVIT.COM |
| EIFS-2 | DRYVIT | OUTSULATION PLUS MD W/ STATO TONE FINISH: HDP FINESSE COLOR: 101 "SUPER WHITE" | SERVICE DRIVE | BOB DAZEL 734-278-0404 BOB.DAZEL@DRYVIT.COM |
| EIFS-3 | DRYVIT | OUTSULATION PLUS MD W/ STATO TONE FINISH: HDP FINESSE COLOR: 615ST "TEXTURALE" | TYPICAL WALL FINISH | BOB DAZEL 734-278-0404 BOB.DAZEL@DRYVIT.COM |
| EQUIP-1 | RYTEC | SPIRAL TV W/ PREWIRED PACKAGE MODEL: "STI-S" FINISH: BLACK | SERVICE DRIVE | JOSH MOFFITT 837-623-0570 JMOFFIT@RYTECDOORS.COM |
| EQUIP-8 | RYTEC | SPIRAL TV W/ PREWIRED PACKAGE MODEL: "STI-S" FINISH: CLEAR ANODIZED | SERVICE | JOSH MOFFITT 837-623-0570 JMOFFIT@RYTECDOORS.COM |
| EQUIP-7 | CLOPAY | INDUSTRIAL SERIES, RIBBED STEEL, INSULATED, MODEL: 502S, DEEP RIBBED FINISH: PAINTED TO MATCH EIFS | CAR WASH, HONDA POWER, & PARTS | CLOPAY USA 800-225-6729 |
| P-1 | BENJAMIN MOORE | AURA EXTERIOR ACRYLIC LATEX PAINT FINISH: EGGSHELL COLOR: CC-51 WHITE DIAMOND | PANT TO MATCH ADJACENT EIFS-1 | DOROTHY HAZNSKI 330-353-3850 DOROTHY-HAZNSKI@BENJAMINMOORE.COM |
| P-2 | BENJAMIN MOORE | AURA EXTERIOR ACRYLIC LATEX PAINT FINISH: EGGSHELL COLOR: HC-169 COVENTRY GRAY | PANT TO MATCH ADJACENT EIFS-2 | DOROTHY HAZNSKI 330-353-3850 DOROTHY-HAZNSKI@BENJAMINMOORE.COM |
| PC-1 | TIGER DRYLAC | EXTERIOR GRADE POWDER COAT #140/40330 FINISH: GLOSS COLOR: RAL 9010 | REPAIR RESTORATION OF ACM-1 | MITCH ANGELES 630-593-3532 MITCH@ANGELES@TIGER-COATINGS.COM |
| PC-2 | TIGER DRYLAC | SERIES 59 WHITE RAL POWDER COATING COLOR: RAL 9016 (09/13/20) | SHOWROOM LOUVER STRUCTURE | MITCH ANGELES 630-593-3532 MITCH@ANGELES@TIGER-COATINGS.COM |
| SF-1 | SIKA | 1ST APPLICATION: SIKATOP SEAL 107 (80 MIL) TO CREATE CONCRETE TEXTURE 2ND APPLICATION: SIKAGARD 550W ELASTOCOLOR COATING C388 SOFT GRAY | VEHICLE DELIVERY, SERVICE DRIVE, HONDA POWER | SCOTT REYES 586-292-1492 REYES.SCOTT@US.SIKA.COM |
| SFS-1 | TUBELITE | T14000 (VO FRONT-SET THERMAL 2" X 4-1/2" SSQ, BLACK SILICONE @ JOINTS FINISH: BLACK ANODIZED | VEHICLE DELIVERY | - |
| TRIM-1 | ALPOLC | 20 GA. PRE-FINISHED ALUM. BREAK METAL FINISH: BNT BONE WHITE | PARAPET COPING | JOHN STUMPF 757-600-5325 JOHNSGALPOLC.COM |
| TRIM-2 | ALPOLC | 20 GA. PRE-FINISHED ALUM. BREAK METAL FINISH: CUSTOM COLOR TO MATCH FMS 285C (HONDA BLUE) | ACCENT PARAPET COPING | JOHN STUMPF 757-600-5325 JOHNSGALPOLC.COM |