



Union Township

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ZONING COMMISSION AGENDA

Wednesday, February 22nd, 2023

7:00 P.M.

***Location: Trustee Meeting Hall; Union Township Civic Center**

A. CALL TO ORDER

B. PLEDGE OF ALLEGIANCE

C. ROLL CALL

D. ELECTION OF OFFICERS

E. ACTION ON MINUTES

F. OLD BUSINESS – NONE TO BE RE-OPENED

G. NEW BUSINESS

Request:

CASE# 1-23-Z

A Zone Map Amendment from B-1 and R-1 to PD to allow the expansion of an existing automobile sales and service use

Owner:

Applicant:

Site Location:

Parcel #s

Existing Zoning:

Size:

Schumacher Dugan Construction Inc.

529 State Route 125, 4011 Austin Dr., 4007 Austin Dr.,
4004 Hopper Hill Rd., 4000 Hopper Hill Rd.

413216B007., 413216B005., 414215.001., 414215.002.,
413216B064., 413216B132.

Business (B-1) & SF Detached Structure Residential (R-1)

9.859 Acres

H. ADMINISTRATIVE

- To discuss potential special projects and potential ordinance amendments to the Union Township Zoning Resolution



UNION TOWNSHIP BOARD OF TRUSTEES
FEBRUARY 22ND, 2023 MEETING

ZONE MAP AMENDMENT

WOESTE INVESTMENTS LTD, Applicant

529 STATE ROUTE 125, 4011 AUSTIN DR., 4007 AUSTIN DR.,
4004 HOPPER HILL RD., 4000 HOPPER HILL RD.



Staff Report, Case# 1-23-Z:

NATURE OF REQUEST

The Applicant has applied for a Zoning Map Amendment, requesting that six (6) parcels (PIN #s referenced below) totaling 9.859 acres be rezoned from Business (B-1) and Single-Family Detached Structure Residential (R-2) to PD Planned Development to allow the expansion of an existing automobile sales and service use.

LOCATION

The subject property, owned by Woeste Investments LTD, is located on the south side of State Route 125 between the intersections of Austin Drive (to the east) and Hopper Hill Road (to the west). PIN #s 413216B007., 413216B005., 414215.001., 414215.002., 413216B064., 413216B132.

ZONING

The two (2) properties along State Route 125 with the existing Honda automobile sales and service use are zoned Business (B-1). The four (4) properties that were more recently acquired by the owners of Honda are all zoned Single-Family Detached Structure Residential (R-2). The affected property is bordered to the north, northeast, and northwest with Business (B-1) zoning. To the southeast, south, and southwest the adjoining property is zoned Single-Family Detached Structure Residential (R-2)—primarily consisting of both the Galbraith Subdivision (to the southeast) and the various Maple Leaf Condo phases / sections (to the northwest).

RELATIONSHIP TO THE UNION TOWNSHIP COMPREHENSIVE PLAN

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the the main portion of the proposal is located within the Ohio Pike (SR 125) Corridor. Currently, the corridor contains a variety of commercial, multi-family, institutional, and public uses and facilities. Since the adoption of the last land use plan, significant changes have occurred in this area of the community, and placement and utilization of the Focus Area Overlay District is evident. *Although the existing Honda site at 529 State Route 125 is located along the southern edge of the Corridor, the four (4) existing residential use properties are located outside of the Corridor (but are contiguous and all affected properties are within 100 feet or so of the Corridor).*

State Route 125, a.k.a. Ohio Pike, is a Principal Arterial 4-lane roadway with a left-turn lane (in the center), and with a right-turn lane (on the north side of the roadway) with a traffic volume of approximately 27,000 average daily trips (ADT) in the area of the proposed project—and with levels of service approaching “F” at certain times of the day. Hopper Hill Road is a County-maintained local road with a traffic volume of approximately 5,000 average daily trips (ADT) in the area of the proposed project. Austin Drive is a Township-maintained local road with no known traffic counts. Significant residential populations are located in or near this area, and the lack of sidewalks results in a safety issue for those seeking alternative modes of transportation.

Among other things, the Plan calls for sidewalks in this area, shared driveway configurations whenever practical, and for site development to be conducted in a manner that focuses on maximizing land use efficiency with infill development, reinvestment, and / or redevelopment initiatives. For commercial redevelopment, or in the instance of residential to commercial conversions (as in this particular case), the use of traditional building materials, adequate vegetative buffering, landscaping strategies along shared property lines, and landscaping enhancements along the corridor frontage is also required, in accordance with the Plan. The utilization of Planned Development (PD) District zoning is the preferred mechanism to accomplish development goals as stated in the Ohio Pike Corridor / Focus Area.

BACKGROUND

As indicated in the project narrative submitted by the Applicant, the Woeste Group has been operating an automobile sales and service facility at 529 State Route 125 for approximately 30 years—with several remodels in that time to add service bays, a showroom, sales office space, and to otherwise update the facility, etc. Between 2011-2012, the Woeste Group began purchasing some of the residential property adjacent to the aforementioned main commercial property area. In January of 2023, an additional 3-acre tract was acquired and transferred to the Woeste Group—all with the objective to allow for the expansion of the automobile sales and service facility use. **Please refer to the Applicant's statements, plans, and other application enclosures for more information regarding this application / request.*

RELATIONSHIP TO THE UNION TOWNSHIP ZONING RESOLUTION

Please refer to Article 6, Sections 680-684 and Section 687 of the Union Township Zoning Resolution with respect to “PD” Planned Development District regulations:

680. “PD” Planned Development District.

The “PD” District’s purpose is to provide sites for business or mixed business/residential developments at appropriate locations in relation to existing and potential land uses; to afford an attractive setting for developments; and to harmonize proposed developments with surrounding land uses. These regulations are established pursuant to authorization under Ohio Revised Code Chapter 519 (2001), as amended, for townships to adopt Planned-unit Development zoning.

681. Regulation Conflict.

If a conflict arises between these “PD” regulations or an approved “PD” plan and other sections of this resolution, the “PD” regulations and approved plan shall prevail for land zoned Planned Development District.

682. Approved Plan Governs Use.

Land use for any property in the “PD” District shall be consistent with the use, design, and details contained in the approved “PD” plan for that property and any conditions of approval. Other applicable regulations from this resolution, such as nuisance regulations, also apply to “PD” property. Pursuant to an approved plan, allowed uses in the “PD” District may include those stated in the “B-1” and “M-1” Districts, or substantially similar uses as determined by the Zoning Commission and Board of Trustees. Integrated residential use with commercial development may be considered for approval in the “PD” District, with residential density not to exceed that of the “R-1” District.

683. Procedure to Rezone Property to “PD.”

1. The property owner may submit an application for a zone change to “PD” Planned Development District to the Union Township Planning & Zoning Department. The application shall contain fifteen (15) copies of the completed form, attachments, a site plan conforming to the “site plan requirements” below, and the required fee.
2. The application shall be processed in accordance with Ohio Revised Code Chapter 519 (2001), as amended.

684. “PD” Plan Requirements.

1. All site plans shall contain the elements stated in [Section 1131](#). In addition, the following shall be included on the plan:
 - a. Building lot area coverage percentage.
 - b. Residential density, if applicable.
 - c. Detailed description of façade materials for all proposed structures.
2. The site plan shall contain on the cover the following signature lines to be signed by the property owner and Planning & Zoning Director before a zoning certificate is issued...
3. A separate landscaping page shall be included in the plan, illustrating the following:
 - a. Landscaping over ten percent of the lot area. Detention/retention areas are not considered part of the ten percent requirement.
 - b. Location and description of landscape plantings, groundcover, and specific treatment of any other open spaces
 - c. A ten-foot landscaped buffer yard along any public right-of-way or private street easement. A continuous three-foot grass (or other plant covered) berm or continuous row of three-foot-tall (at planting) shrubs, setback at least three feet from the right-of-way or easement line, shall be provided within the buffer yard.
 - d. A twenty-foot landscaped buffer yard along any adjoining residential zone. The buffer yard must also contain one of the following screening mechanisms:
 - (1) A continuous wood privacy fence at least six feet high and at least one tree four feet tall (at planting) spaced every ten feet on the neighbor’s side of the fence; or
 - (2) A continuous row of evergreens at least six feet tall (at planting), spaced no more than five feet; or
 - (3) A continuous grass (or other plant covered) berm at least five feet tall and at least one tree four feet tall (at planting) spaced every ten feet along the berm crest.
 - (4) If existing natural vegetation is proposed as screening, the landscape plan must provide detail of existing conditions sufficient to show screening equivalent to the above exists, and with sufficient detail for future zoning enforcement purposes.
 - e. Buffer yards must be landscaped and may not contain any other uses. Landscaped detention/retention may be placed in the buffer yard provided it does not interfere with the adjoining property.
 - f. In addition to the ten percent general landscaping requirement, internal planting islands equal to five percent of the entire parking lot area shall be placed within parking lots. The islands shall be dispersed so to break up the pavement expanse. Internal planting islands shall be curbed, and contain a minimum area of one hundred twenty square feet and eight feet of width. At least one shade-type tree a minimum of eight feet tall at installation shall be included for each two hundred square feet of internal planting area. Developments with twenty or fewer total parking spaces are exempt from this requirement.

687. **Supplemental Provisions.**

1. Signage shall be consistent with the nature and scope of the development exclusive of Article 9.
2. Buffer yards, screening, landscaping, vegetation, and all other plan elements shall be in place by the time the Union Township Planning & Zoning Department issues a certificate of occupancy, or at such time as construction substantially ceases, whichever occurs first.
3. The failure to maintain open spaces, hard surfaces, and landscaping in good condition is a violation of the "PD" plan.
4. Forty feet of right-of-way shall be dedicated for all properties fronting on public streets. The forty feet of right-of-way is "half" right-of-way, i.e., measured from the center of the road. By specific motion, the Zoning Commission or Board of Trustees may exempt a development from this requirement if appropriate. If total right-of-way equals eighty feet or more, no additional right-of-way shall be required unless necessary for special circumstances or improvements.
5. Prior to issuance of a zoning certificate, the property owner shall provide to the Planning & Zoning Department copies of executed and recorded cross easements to all adjoining property owners that share a common street frontage (public or private) with the "PD" property. The cross easements shall allow, at a minimum, use by automobile and delivery vehicle traffic. The general location of the cross connections shall be shown on the "PD" plan. By specific motion, the Zoning Commission or Board of Trustees may waive this requirement if appropriate. The requirement is waived automatically if a publicly dedicated frontage road serves both the development and adjoining properties.
6. Prior to issuance of a zoning certificate, the Applicant shall record all necessary plats consolidating, dividing, and dedicating right-of-way consistent with the boundaries represented on the "PD" plan and/or conditions or approval.
7. Any exterior pole lighting, canopy lighting, or similar lighting shall be flat lens design and shielded so that all light is down directed. Sag lens lighting is prohibited. Where the "PD" property adjoins or is within one hundred fifty feet of a residential zone, lighting shall be directed away from the residential property. Any building mounted lighting shall contain shields directing lighting downward preventing spillover onto adjoining property. If within fifty feet of a residential zone, building mounted lighting facing the residential property (other than recessed soffit mounted lights) shall be installed no higher than four feet from grade.
8. Parking requirements shall comply with Article 8, Off-Street Parking and Loading Regulations, unless otherwise modified in the plan. A justification note shall accompany any modification on the plan.
9. Building lot area coverage may not exceed thirty-five percent and building height may not exceed seventy-five feet.
10. Minimum building separation shall be maintained in accordance with fire and building codes. The number of buildings per lot, minimum setbacks (except for residential and right-of-way buffer yards), and minimum lot size are otherwise variable for the "PD" District.
11. The Applicant shall make available in advance of any hearing by the Zoning Commission the results of any site distance or traffic study requested by the Clermont County Engineer. The Applicant shall also provide confirmation from the appropriate governmental agency showing resolution of any issues raised pertaining to the development. Failure to provide this information in adequate time or advance review by Zoning Commission members may be grounds for denial of the application.
12. The standards and conditions stated in these regulations are minimums. The Planning & Zoning Director, Zoning Commission, and Board of Trustees may impose higher standards if warranted based upon the unique circumstances of a given development.
13. No construction shall proceed prior to the issuance of a zoning certificate. No property shall be used or occupied prior to issuance of a certificate of occupancy endorsement from the Union Township Planning & Zoning Department.
14. The Board of Zoning Appeals is without authority to alter or amend "PD" plans.

STAFF REVIEW & ANALYSIS

The most recent land acquisition made the current expansion request possible and affords the Woeste Group an opportunity to modernize the entire Honda dealership while also allowing for the site to be better equipped to address: stormwater issues (notable improvements); traffic and access management (with one less access to the site from SR 125); multi-modal access to the site (with the installation of a sidewalk); visual enhancements to the building (by replacing exterior materials with higher-quality materials and thru better design and color schematics); increased landscaping and buffers (and setbacks in some cases) to increase the overall compatibility with surrounding residential uses, etc.

The Applicant's proposal is considered consistent with the Horizon 2030: Union Township Comprehensive Land Use Plan's Future Land Use Policies and Recommendations for the Ohio Pike (SR 125) Corridor; however, the proposal also encroaches into 2 residential areas. With the proposed redevelopment, an approval of the proposed expansion would essentially increase the limits of the Ohio Pike Corridor in this particular area (based on this specific proposal). As mentioned earlier in this report, the utilization of Planned Development (PD) District zoning is the preferred mechanism to accomplish development goals as stated in the Ohio Pike Corridor / Focus Area.

At present, the current remaining technical questions and issues are set forth in the "Recommended Modifications" section of this report. While there are some other items that staff has questions about (such as traffic impact and the stormwater design), these items would ultimately be addressed administratively by the County.

ACTION REQUIRED

In accordance with Sections 680-687 of the Zoning Resolution, the Zoning Commission's role in this process is to either enter a motion to recommend approval, approval with some modification(s), or denial of the Applicant's request to rezone the subject property, as submitted.

RECOMMENDED MODIFICATIONS

If the Board should choose to forward a favorable recommendation to this PD Zone Map Amendment request, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant would need to address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant would need to enhance the proposed landscaping and bufferyard areas along the western property line (between the future, new parking areas and the road) and also around the perimeter of the dumpster enclosure area. *All landscaping buffers should be marked as preservation areas, and any vegetation disturbed should be repaired, supplemented, or replaced.* This is an item that can be addressed administratively by staff.
- 3) A signage plan would ultimately need to be submitted. All free-standing signage should be limited to monument signage, capped at a height of not more than 12' from finished grade, subject to administrative review and approval.
- 4) All lighting would need to be downward directed, and of sufficient intensity to (only) illuminate without projecting onto the adjoining residential property. *Details / specs of proposed lighting would ultimately be necessary; however, this is an item that can be addressed administratively by staff..
- 5) Ultimately, a legal description of the consolidated acreage would need to be provided, prior to any final action. This is an item that can be addressed administratively by staff.

**HONDA EAST, 529 SR 125, UNION TOWNSHIP,
CLERMONT COUNTY, OHIO**

For thirty years the Woeste Group has been operating an automotive sales and service facility on the 4.95 acres fronting on SR 125 @ 529 SR125 and stretching between Hopper Hill Road and Austin Drive.

There have been several remodels of the existing building over the years, adding service bays, remodeling, and adding to the sales office and showroom several times.

The current general size of the of the building is an approximate 21,000 square foot footprint about 25' south of the SR 125 Right-of-Way on the B-1 Zoned 4.95 acre Property.

Beginning in 2011 & 2012 the Woeste Group began trying to purchase additional adjoining properties to be able to expand the facility, in anticipation of future requirements from the Honda Corporation. By late 2012 they had acquired an additional three properties totaling 1.932 acres of R-1 Zoned adjoining Property. These additional properties made expansion possible, but restricted the size, design, and layout options for a new facility.

In June, 2022 the Woeste Group acquired the adjoining 3.01 acre property Zoned R-1 @4000 Hopper Hill Road, which allowed the Project Property to go from the original 4.95 acres to a new total of 9.9665 acres, and the new Honda East Facility to be approximately 47,400 square feet.

When reviewing the Project, it was determined that a completely NEW FACILITY should be constructed with emphasis on moving the Building back from the Ohio Pike Corridor, cleaning up the Corridor, and closing the East access to SR 125. Emphasize the (now only) SR 125 access and the Hopper Hill Road access for customer and delivery activities. The Service Department traffic, which is over 70% of customer traffic, will be concentrated on the West side of the Building, (Hopper Hill side) by putting the service write up and service pick up on that side. Hopper Hill Road is much better designed, due to a SR 125 traffic signal, to accommodate the customer traffic using SR 125. Our actual customer traffic

numbers will not be significantly impacted due to the fact that the Dealership is currently running double shifts in the existing service and will be able to single shift in the new facility, and will have enough area to provide after-hours drop-off and pickup areas for customers.

We are emphasizing a single main entrance from SR 125 at the existing center location. The second SR 125 access and frontage parking at the current building, and the building itself, will all be demolished, green scaped with sidewalk, and paved upon completion of the new facility. The new main entrance from SR 125 @ existing center access will consist of corridor sidewalk, landscaping, and monument signage in accordance with the "Ohio Pike Corridor" development goals.

Woeste Group is applying to the Zoning Commission to approve the entire 9.9665 Acres of Property and the construction of the Project as a PD Planned Development District zoning classification as explained in the Horizon 2030 Comprehensive Land Use Plan, Union Township, Clermont County, Ohio adopted November 14, 2013.

As part of the "OHIO PIKE CORRIDOR" recommended strategies, objectives, and outcomes, as a Redevelopment Proposal, we have designed the new Facility to maximize land efficiencies, doubled the size of the facility and investment and protected adjoining properties.

We have laid out the Project with a new modern Honda Dealership set back from Ohio 125 right-of-way by approximately 130.' In the rear of the building where the PD property adjoins R-1 property we have placed the inventory parking, green space, and the storm water detention facility, which are low noise and movement operations. In accordance with the "Ohio Pike Corridor" objectives, we will install a 6' solid wood fence and landscaping in a 20' wide buffer along the Property lines, and where there are currently trees or fences, we will work with the neighbors to preserve what is most desirable.

We have oversized the stormwater detention area to accommodate the future expansion of the inventory lot if needed, plus an additional capacity to improve the stormwater management of the area by out letting less than 50% of allowable discharge.

Upon approval of our Planned Development District by the Union Township Trustees, The Woeste Group will submit Construction Drawings to Clermont County and apply for a building permit.

Construction will begin upon receipt of the permit and completed when the new facility is constructed, the existing facility is removed, and all site work completed in accordance with our Planned Development, in approximately 1 year from commencement.

The Woeste Group looks forward to working with the Zoning Commission, the Trustees, and our neighbors and customers to provide a beautiful, efficient, and friendly environment for Honda East to serve the Community for at least the next 30 years.

529 SR 125

Dustin.Williams@dot.ohio.gov <Dustin.Williams@dot.ohio.gov>
To: "Tim Greive" <timgreive@tgraham.com>
Cc: <osam@mard-arch.com>

Wed, Jan 11, 2023 at 8:22 AM

Tim good morning,

ODOT does not have an issue with removing an access from the current parcel of 529 SR-125 and modifying the existing main access. Since this construction will be just a revamp of the existing business, this will not be considered a change of use. ODOT will review the modified improvements to the existing main access. You may send us detail drawings when you are ready. The main access drive shall meet ODOT commercial drive specifications. Let me know if you have any questions.

Thanks,

Dustin Williams

Right Of Way Permit Coordinator

Development Permit Coordinator

Ohio Department of Transportation, District-8
505 S. State Route 741, Lebanon, OH 45036

(P) 513-933-6576 (M) 513-615-4033

transportation.ohio.gov



From: Tim Greive <timgreive@tgraham.com>
Sent: Tuesday, January 10, 2023 1:43 PM
To: Williams, Dustin <Dustin.Williams@dot.ohio.gov>

**9.9665 Acres – Area to be Reclassified
(Not for Transfer)**

Situated in Taylor's Military Survey No. 637, Union Township, Clermont County, Ohio and being more particularly described as follows:

BEGINNING at a point in the west line of Austin Drive and the northeast corner of Lot 1 of Galbraith Subdivision as recorded in Plat Book G, Page 50 of the Clermont County Recorder's Office.

Thence with the west line of said Austin Drive, along a curve deflecting to the left, having a radius of 125.00 feet, an arc length of 96.02 feet, chord of said arc bears South 28°00'44" West, 93.67 feet AND South 06°00'24" West, 128.45 feet to an existing iron pin and cap stamped Nordloh at the northeast corner of Lot 3 of said Galbraith Subdivision;

Thence with the north line of said Lot 3 of Galbraith Subdivision, North 83°59'36" West, 184.56 feet to an existing 5/8" iron pin in the west line of said Galbraith Subdivision;

Thence with said west line, South 06°00'24" West, 405.84 feet to the northeast corner of a tract conveyed to Ralph Edward Wiggins & Patricia Mae Wiggins, Trustees as recorded in Official Record 1294, Page 2193, being referenced by an existing iron pin and cap stamped McCarty Associates at 0.24 feet south and 0.13 feet east and an existing axle at 0.09 feet north and 0.27 feet west;

Thence with the north line of said Ralph Edward Wiggins & Patricia Mae Wiggins, Trustees, North 82°52'26" West, 435.00 feet to the centerline of Hopper Hill Road;

Thence with said centerline of Hopper Hill Road, North 05°00'24" East, 599.27 feet;

Thence leaving said centerline of Hopper Hill Road, South 84°27'40" East, 229.75 feet to an existing 5/8" iron pin at the southeast corner of a tract conveyed to BWR Beechmont Restaurant, LLC as recorded in Official Record 2797, Page 5567;

Thence with the east line of said BWR Beechmont Restaurant, LLC and the east lines of a tract conveyed to Hopper Hill Land, LLC as recorded in Official Record 2563, Page 2002 North 05°40'13" East, 173.86 feet to an existing iron pin and cap stamped Nichols 6657 AND

Printed on 1/20/2023 5:10 PM •
C:\Users\chrisWunnenberg.SCHUMACHERD\AppData\Local\Microsoft\Windows\NetCache\Content.Outlook\5CBQ2J6\22146 Zone
Change Description 9.9665 Acres.docx • By: Michele

G.J. Berding Surveying, Inc.

741 Main Street • Milford, OH 45150 • 513 831 5505 tel • 513 831 6761 fax • www.berdingsurveying.com

Page 2

Description for: Schumacher Dugan

9.9665 Acres – Area to be Reclassified (Not for Transfer)



North 24°04'14" East, 163.70 feet to an existing MAG nail in the south line of Ohio Pike/State Route 125;

Thence with said south line of Ohio Pike/State Route 125, South 67°23'43" East, 62.10 feet;

Thence North 17°38'21" East, 41.34 feet;

Thence South 67°38'36" East, 327.68 feet;

Thence South 07°53'39" West, 248.87 feet to the north line of aforesaid Lot 1 of Galbraith Subdivision and the southwest corner of a tract conveyed to Kakal Enterprises, LLC as recorded in Official Record 1881, Page 73;

Thence with said north line of Lot 1 of Galbraith Subdivision and said south line of said Kakal Enterprises, LLC, South 85°36'36" East, 11.48 feet to the **POINT OF BEGINNING**.

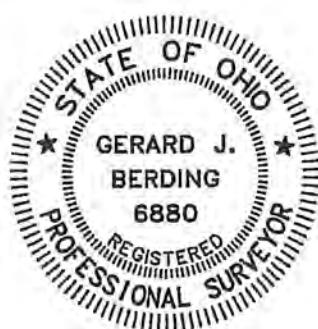
CONTAINING 9.9665 ACRES. Subject to legal highways and easements of record.

The bearings are based on State Plane Coordinate System Ohio South Zone (NAD83).

Prepared by G.J. BERDING SURVEYING, INC. on January 20, 2023. Based on a Topographic Survey prepared by G.J. BERDING SURVEYING, INC. on October 14, 2022.

Gerard J. Berding
Gerard J. Berding, P.S. 6880

01/20/2023
Date





The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. Clermont County makes no warranty as to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused or any decision made or action taken by the user in a reliance upon any information furnished hereunder.

Date: 12/28/2022

Clermont County GIS



Clermont County, Ohio. Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



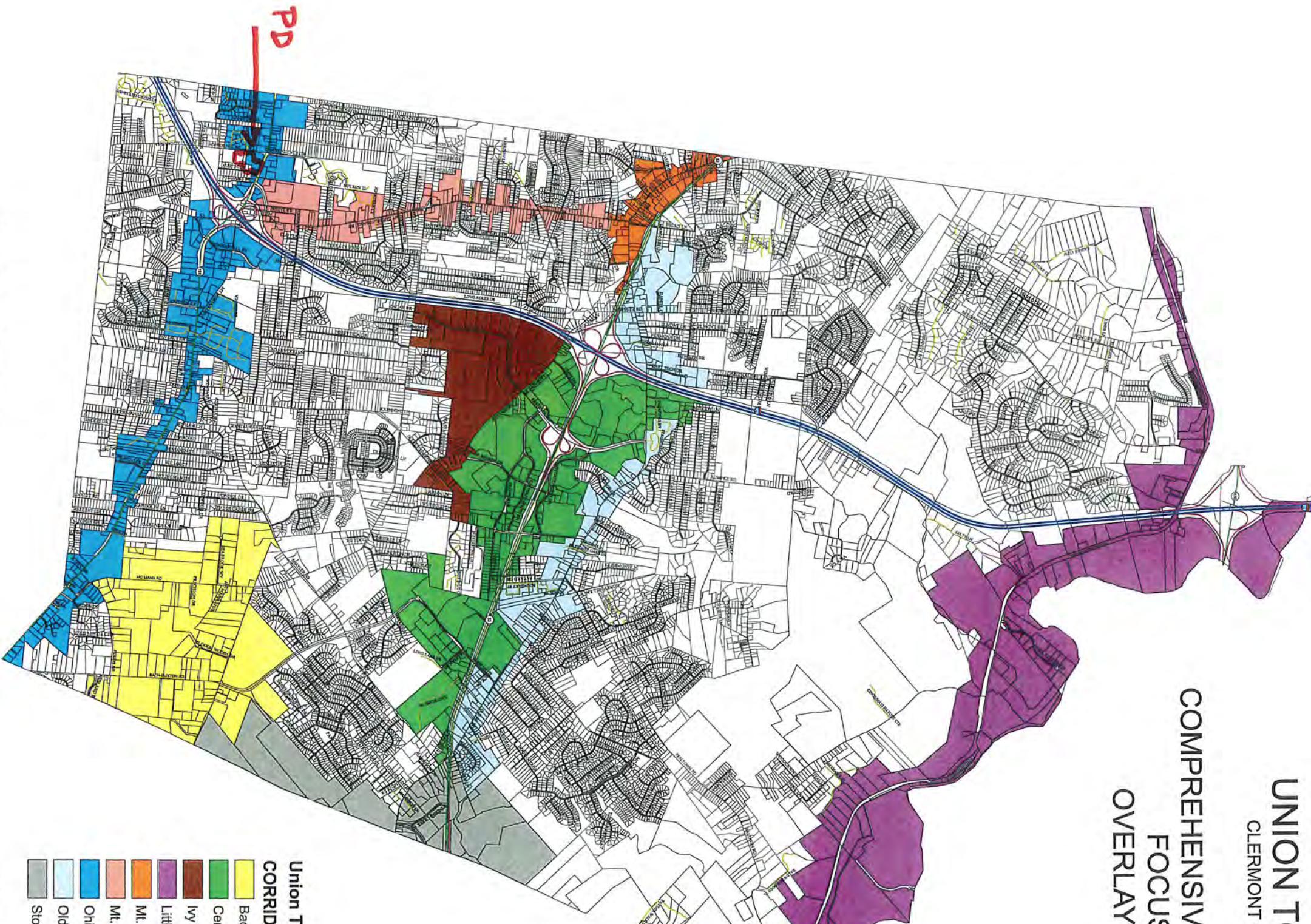
Clermont County General Mapping



-84.304858 39.069303 Degrees

UNION TOWNSHIP
CLERMONT COUNTY, OHIO

COMPREHENSIVE LAND USE PLAN
FOCUS AREAS
OVERLAY DISTRICTS



Union Township Adopted Focus Areas

CORRIDOR

- Bach-Buxton Road Corridor
- Central (S.R. 32) Retail Corridor
- Ivy Pointe Commercial Corridor
- Little Miami Corridor
- Mt. Carmel Business Corridor
- Mt. Carmel-Tobasco Mixed Use Corridor
- Ohio Pike Corridor
- Old State Route 74 (Summerside/Willowville)
- Stonelick Olive Branch Corridor

Union Township Planning and Zoning Department
4350 Aitchotz Road
Cincinnati, OH 45245
(513) 753-2300

Horizon 2030: A Blueprint for the Future
Union Township Comprehensive Land Use Plan
Adopted November 14, 2013

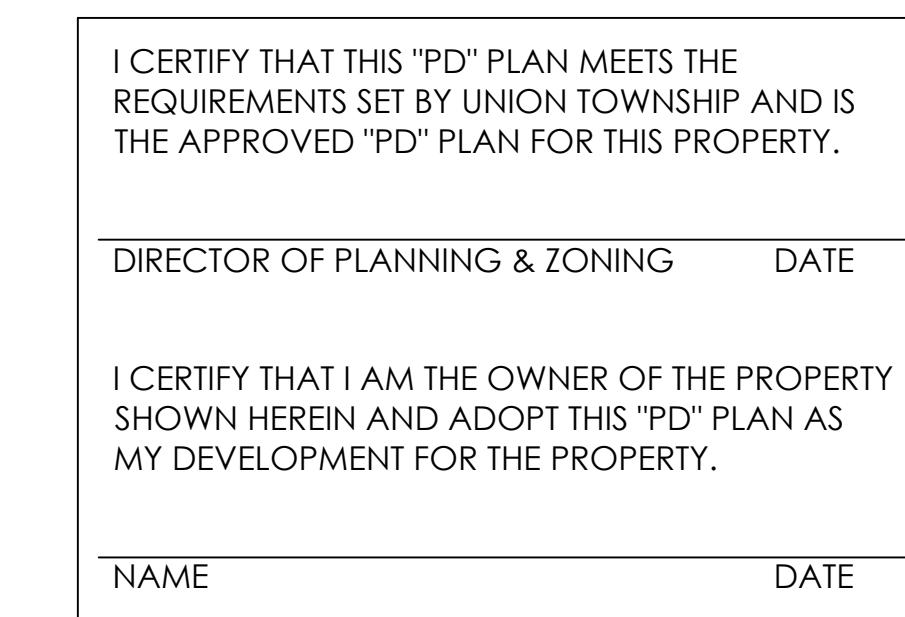
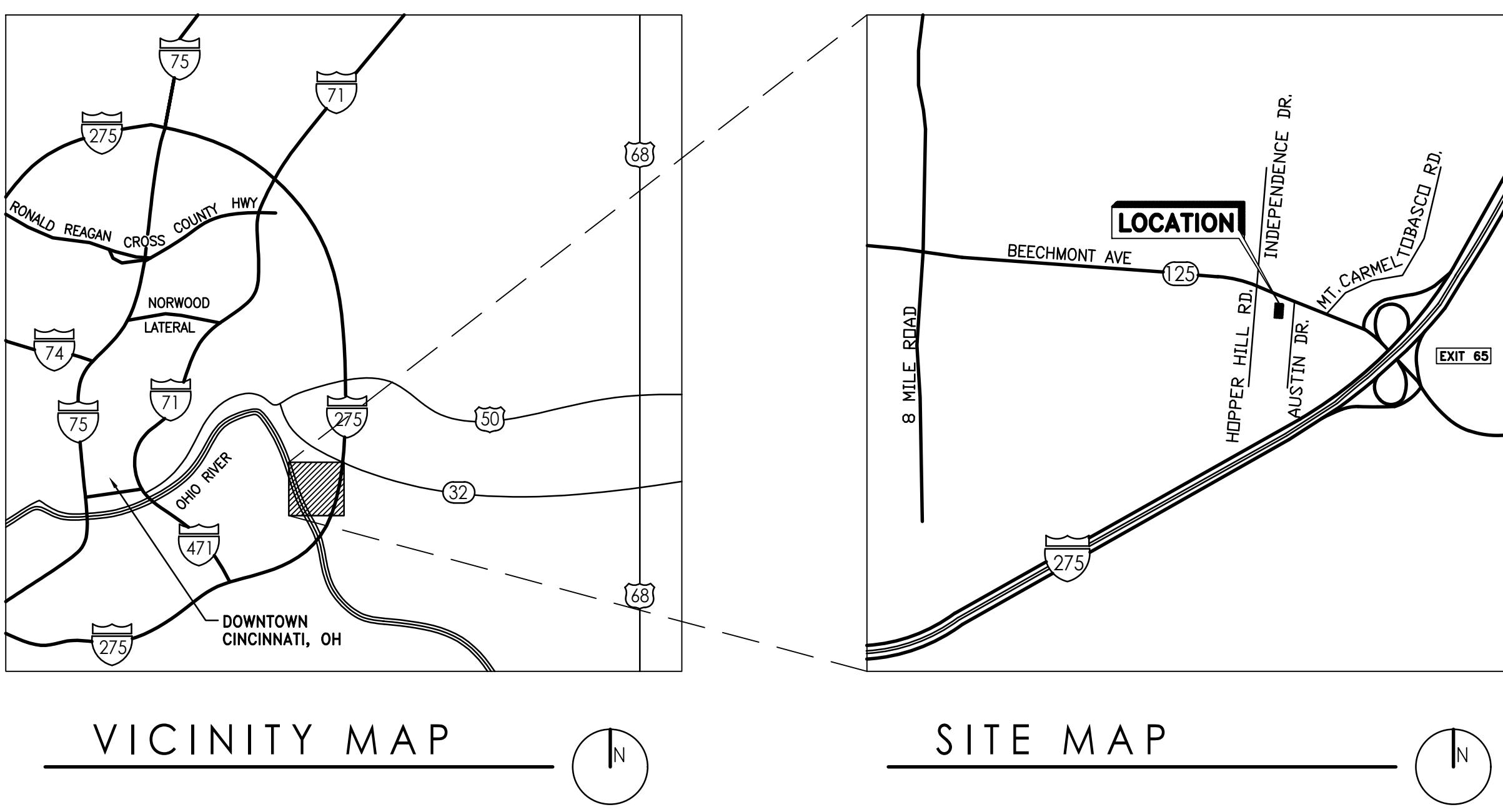
NEW SHOWROOM & SERVICE BUILDING

HONDA EAST

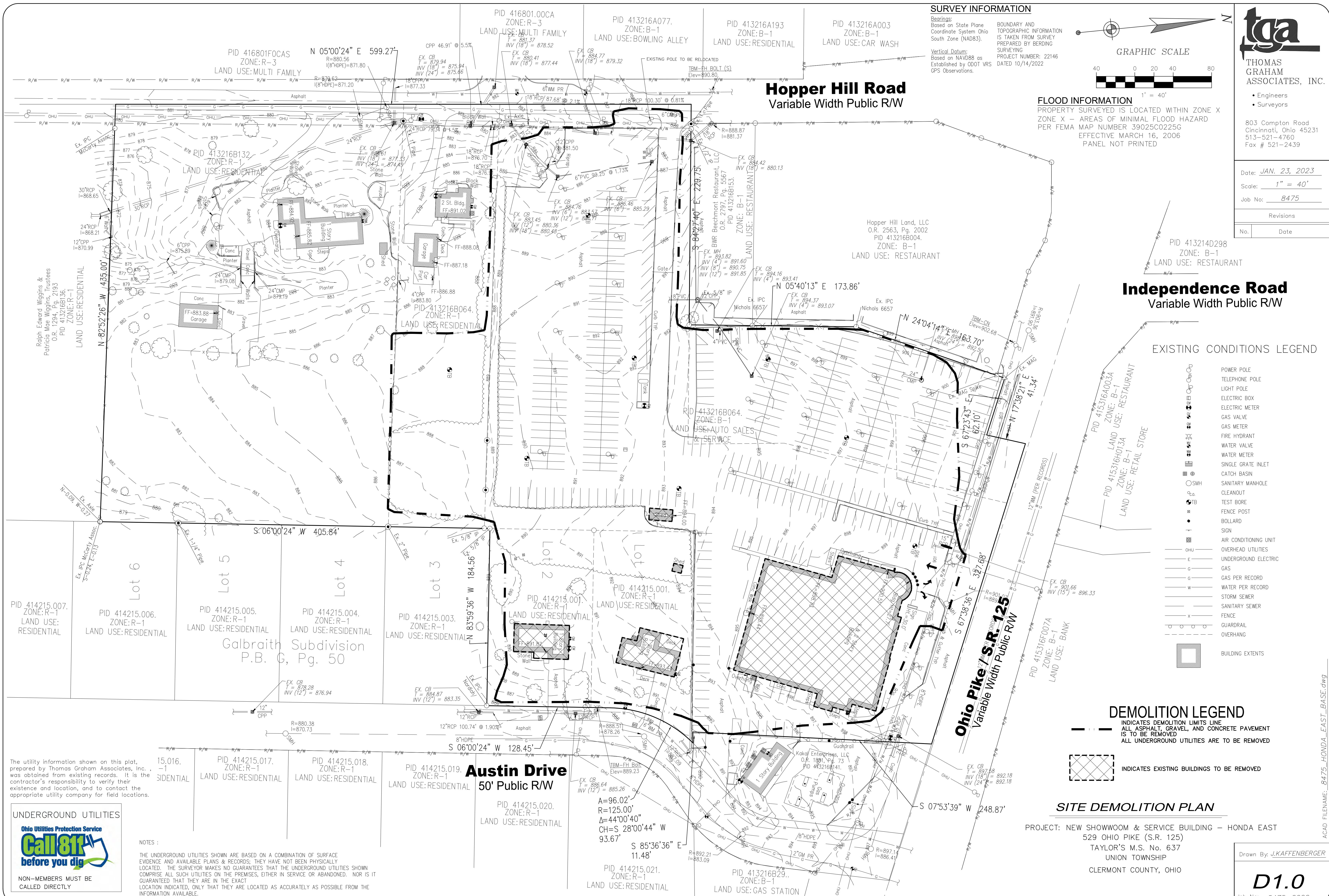
529 OHIO PIKE CINCINNATI, OHIO 45255



architect	civil engineer	structural engineer	pme engineer	general contractor	client
MARDIN ARCHITECTURE, LLC	THOMAS GRAHAM ASSOCIATES, INC.	PINNACLE ENGINEERING, INC.	E2M CONSULTING ENGINEERING	SCHUMACHER CONSTRUCTION MANAGEMENT, INC.	WOESTE INVESTMENTS LTD.
PO BOX 11125 CINCINNATI, OH 45211 513.544.4925	803 COMPTON RD. #A CINCINNATI, OH 45231 513.521.4760	8180 CORPORATE PARK DR. CINCINNATI, OH 45242 513.984.1663	682 TUXEDO PL. CINCINNATI, OH 45206 513.587.0050	6355 CENTRE PARK DR. WEST CHESTER, OH 45069 513.777.9800	3997 MCMANN RD. CINCINNATI, OH 45245
CONTACT: O'SAM MARDIN	CONTACT: TIM GREIVE	CONTACT: KIP PING	CONTACT: KEVIN ROBBEN	CONTACT: CHAD WALDFOGEL CHRIS WIINNFENBERG	CONTACT: JIM WOODALL



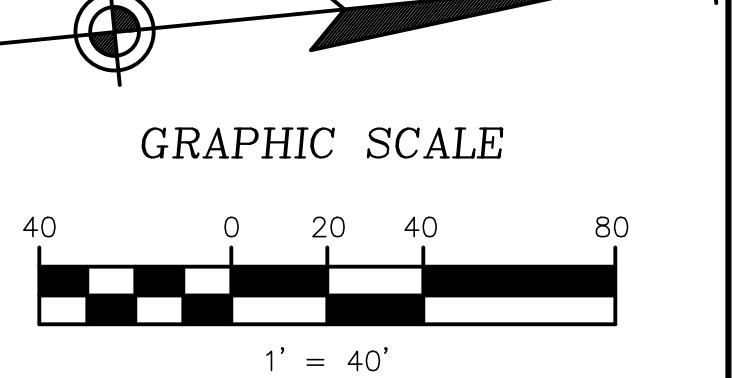
DRAWING INDEX



SURVEY INFORMATION

Bearings:
Based on State Plane Coordinate System Ohio South Zone (NAD83).
Vertical Datum:
Based on NAVD88 as Established by ODOT VRS GPS Observations.

N



GRAPHIC SCALE

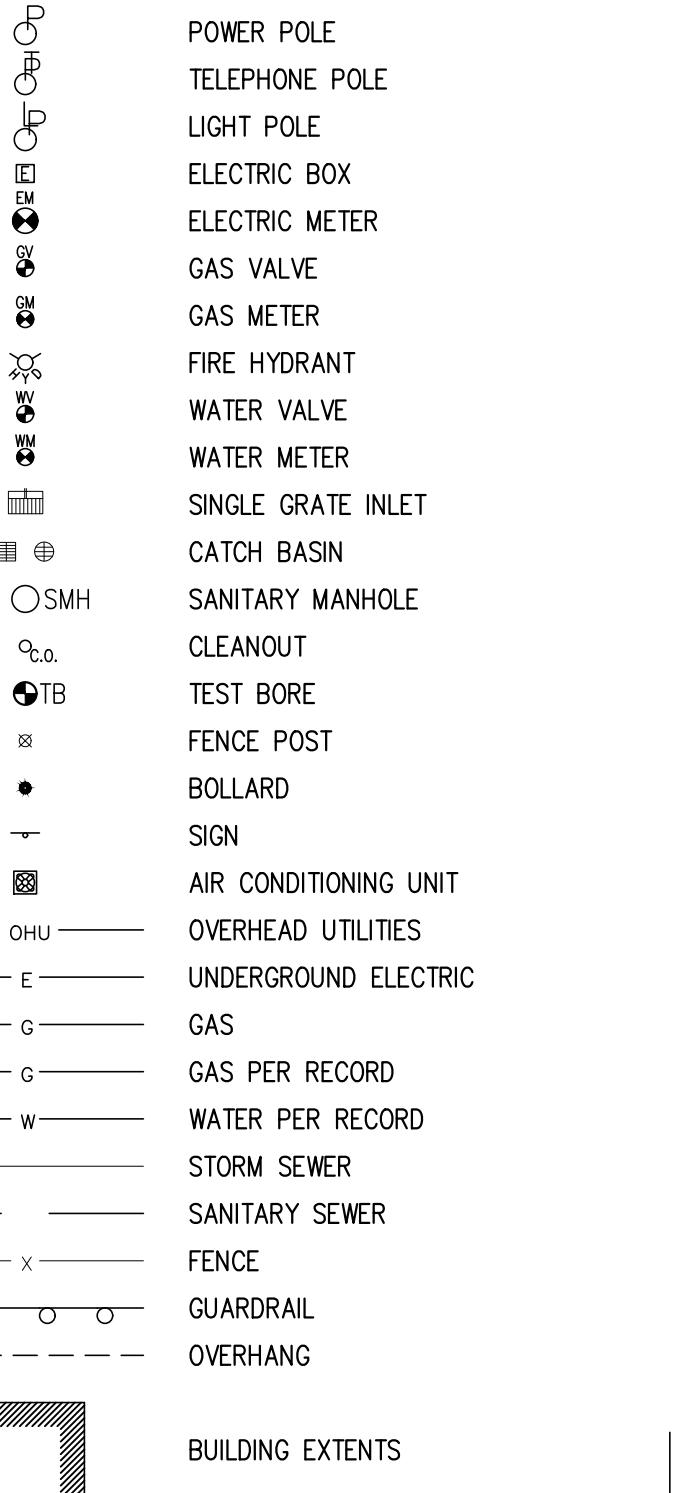
FLOOD INFORMATION

PROPERTY SURVEYED IS LOCATED WITHIN ZONE X
ZONE X - AREAS OF MINIMAL FLOOD HAZARD
PER FEMA MAP NUMBER 39025C0225G
EFFECTIVE MARCH 16, 2006
PANEL NOT PRINTED

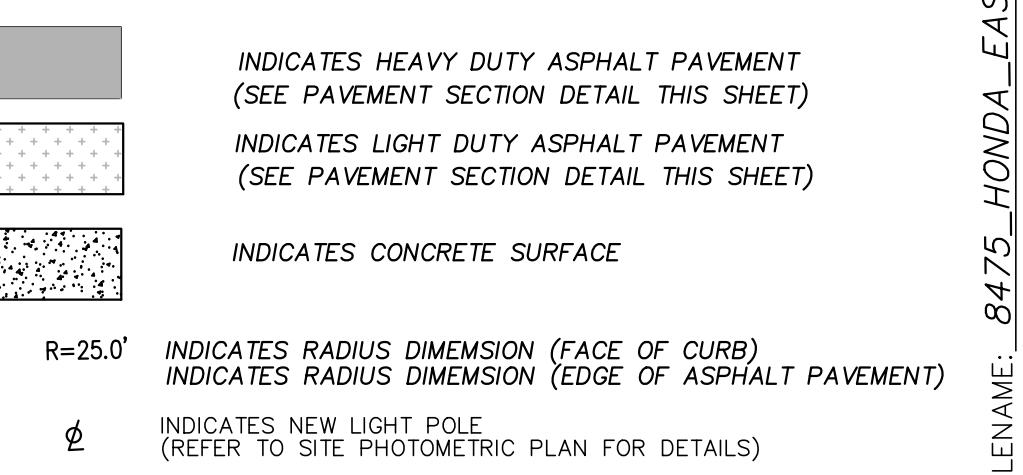
PID 413214D298
ZONE: B-1
LAND USE: RESTAURANT

Independence Road
Variable Width Public R/W

EXISTING CONDITIONS LEGEND



PROPOSED CONDITIONS LEGEND



SITE LAYOUT PLAN

PROJECT: NEW SHOWROOM & SERVICE BUILDING - HONDA EAST

529 OHIO PIKE (S.R. 125)

TAYLOR'S M.S. No. 637

UNION TOWNSHIP

CLERMONT COUNTY, OHIO

Drawn By: J.KAFFENBERGER

ACAD FILENAME: 8475_HONDA_EAST_BASE.dwg

C1.0

Job No: 8475-2022

PID 416801.00CA
ZONE: R-3
LAND USE: MULTI FAMILY

PID 416801FOCAS
ZONE: R-3
LAND USE: MULTI FAMILY

N 05°00'24" E 599.27'

PID 413216A077.
ZONE: B-1
LAND USE: BOWLING ALLEY

PID 413216A193
ZONE: B-1
LAND USE: RESIDENTIAL

PID 413216A003
ZONE: B-1
LAND USE: CAR WASHHopper Hill Road
Variable Width Public R/W

Ralph Edward Wiggins &

Patricia Mae Wiggins, Trustees

O.R. 1294, Pg. 293

PID 413216B36.

ZONE: R-1
LAND USE: RESIDENTIAL

PID 413216B132.
ZONE: R-1
LAND USE: RESIDENTIAL

Ex. IPC
McCarthy Assoc.

OHU

Asphalt

Ex. IPC
McCarthy Assoc.

OHU

Independence Road
Variable Width Public R/W

EXISTING CONDITIONS LEGEND

- POWER POLE
- TELEPHONE POLE
- LIGHT POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- GAS METER
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- SINGLE GRATE INLET
- CATCH BASIN
- SMH
- CLEANOUT
- TEST BORE
- FENCE POST
- BOLLARD
- SIGN
- AIR CONDITIONING UNIT
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- GAS
- GAS PER RECORD
- WATER PER RECORD
- STORM SEWER
- SANITARY SEWER
- FENCE
- GUARDRAIL
- OVERHANG
- BUILDING EXTENTS

PROPOSED CONDITIONS LEGEND

- INDICATES LIMITS OF DISTURBANCE
- INDICATES EXISTING CONTOUR
- INDICATES PROPOSED CONTOUR
- INDICATES PROPOSED PAVEMENT GRADE ELEVATION + 885.50
- INDICATES PROPOSED DIRECTION OF DRAINAGE FLOW
- INDICATES EXISTING PAVEMENT GRADE ELEVATION + 885.00

SITE GRADING PLAN

PROJECT: NEW SHOWROOM & SERVICE BUILDING - HONDA EAST
529 OHIO PIKE (S.R. 125)
TAYLOR'S M.S. No. 637
UNION TOWNSHIP
CLERMONT COUNTY, OHIO

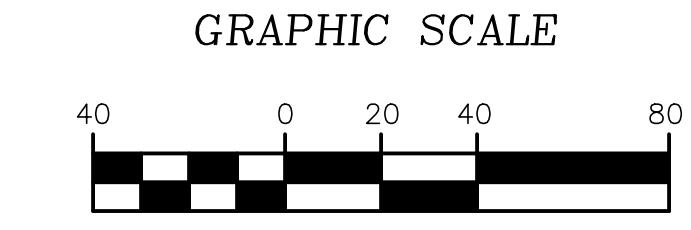
Drawn By: J.KAFFENBERGER

C2.0

Job No: 8475-2022

SURVEY INFORMATION

Bearings:
Based on State Plane Coordinate System Ohio South Zone (NAD83).
Boundary and Topographic Information is taken from Survey Prepared by BERDING SURVEYING Project Number: 22146 GPS Observations.

Vertical Datum:
Based on NAVD88 as Established by ODOT VRS GPS Observations.

GRAPHIC SCALE

FLOOD INFORMATION
PROPERTY SURVEYED IS LOCATED WITHIN ZONE X

PER FEMA MAP NUMBER 39025C0225G
EFFECTIVE MARCH 16, 2006
PANEL NOT PRINTED

Hopper Hill Road
Variable Width Public R/W

Hopper Hill Land, LLC
O.R. 2563, Pg. 2002
PID 413216B004.
ZONE: B-1
LAND USE: RESTAURANT

N 05°40'13" E 173.86'

Ex. IPC
Nichols 6657

Asphalt

Ex. 5/8" IP

N 24°04'14" E 163.70'

Ex. 1/2" IP
Elev. 902.88

Asphalt

Ex. 1/2" IP
Elev. 902.88

Independence Road
Variable Width Public R/W

EXISTING CONDITIONS LEGEND

- POWER POLE
- TELEPHONE POLE
- LIGHT POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- GAS METER
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- SINGLE GRATE INLET
- CATCH BASIN
- SMH
- CLEANOUT
- TEST BORE
- FENCE POST
- BOLLARD
- SIGN
- AIR CONDITIONING UNIT
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- GAS
- GAS PER RECORD
- WATER PER RECORD
- STORM SEWER
- SANITARY SEWER
- FENCE
- GUARDRAIL
- OVERHANG
- BUILDING EXTENTS

PROPOSED CONDITIONS LEGEND

- SS — INDICATES 6" SANITARY SEWER (6" PVC SDR-35 @ 2% MIN. SLOPE W/ CLEANOUTS @ 100' MAX.)
- F — INDICATES NEW 6" FIRE LINE (CONFIRM W/ MEP) (REFER TO SHEET C4.0 FOR THRUST BLOCK DETAIL)
- D — INDICATES NEW 1" DOMESTIC WATER LINE (CONFIRM W/ MEP)
- G — INDICATES PROPOSED GAS SERVICE (CONFIRM WITH DUKE & MEP)
- E — INDICATES PROPOSED CONDUIT FOR ELECTRIC SERVICE
- T — INDICATES PROPOSED CONDUIT FOR TELEPHONE/COMMUNICATION SERVICE
- CONDUIT — INDICATES NEW CONDUIT FOR SIGN (1" X 2" X 10' 40 PVC CONDUIT (CONFIRM WITH ARCH))
- INDICATES NEW LIGHT POLE (REFER TO SITE PHOTOMETRIC PLAN FOR DETAILS)

SITE UTILITY PLAN

PROJECT: NEW SHOWROOM & SERVICE BUILDING - HONDA EAST

529 OHIO PIKE (S.R. 125)

TAYLOR'S M.S. 637

UNION TOWNSHIP

CLERMONT COUNTY, OHIO

Drawn By: J.KAFFENBERGER

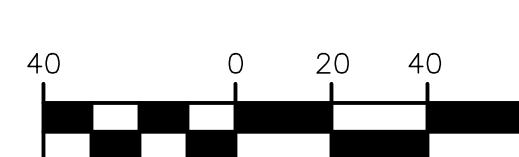
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Job No: 8475-2022

SURVEY INFORMATION

Bearings:
Based on State Plane Coordinate System Ohio South Zone (NAD83).
Vertical Datum:
Based on NAVD88 as Established by ODOT VRS GPS Observations.

N



GRAPHIC SCALE

FLOOD INFORMATION

PROPERTY SURVEYED IS LOCATED WITHIN ZONE X
PER FEMA MAP NUMBER 39025C0225G
EFFECTIVE MARCH 16, 2006
PANEL NOT PRINTED

Hopper Hill Road
Variable Width Public R/W

Hopper Hill Land, LLC
O.R. 2563, Pg. 2002
PID 413216B004.
ZONE: B-1
LAND USE: RESTAURANT

N 05°40'13" E 173.86'

Ex. IPC
Nichols 6657

Asphalt

N 24°04'14" E 163.70'

Ex. IPC
Nichols 6657

Asphalt

N 24°27'40" E 229.75'

Ex. IPC
Beechmont Restaurant, LLC
O.R. 2797, Pg. 5367
PID 413216B153.

ZONE: B-1
LAND USE: RESTAURANT

S 84°52'26" W 435.00'

Ex. IPC
McCarthy Assoc.
O.R. 1294, Pg. 293
PID 413216B36.

ZONE: R-1
LAND USE: RESIDENTIAL

S 06°00'24" W 405.84'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: R-1
LAND USE: RESIDENTIAL

S 06°00'24" W 184.56'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: R-1
LAND USE: RESIDENTIAL

S 06°00'36" W 184.56'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: R-1
LAND USE: RESIDENTIAL

S 06°00'24" W 128.45'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: R-1
LAND USE: RESIDENTIAL

S 06°00'24" W 125.00'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: R-1
LAND USE: RESIDENTIAL

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

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Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

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McCarthy Assoc.
O.R. 0722, Pg. 073

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O.R. 0722, Pg. 073

ZONE: B-1
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O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

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McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

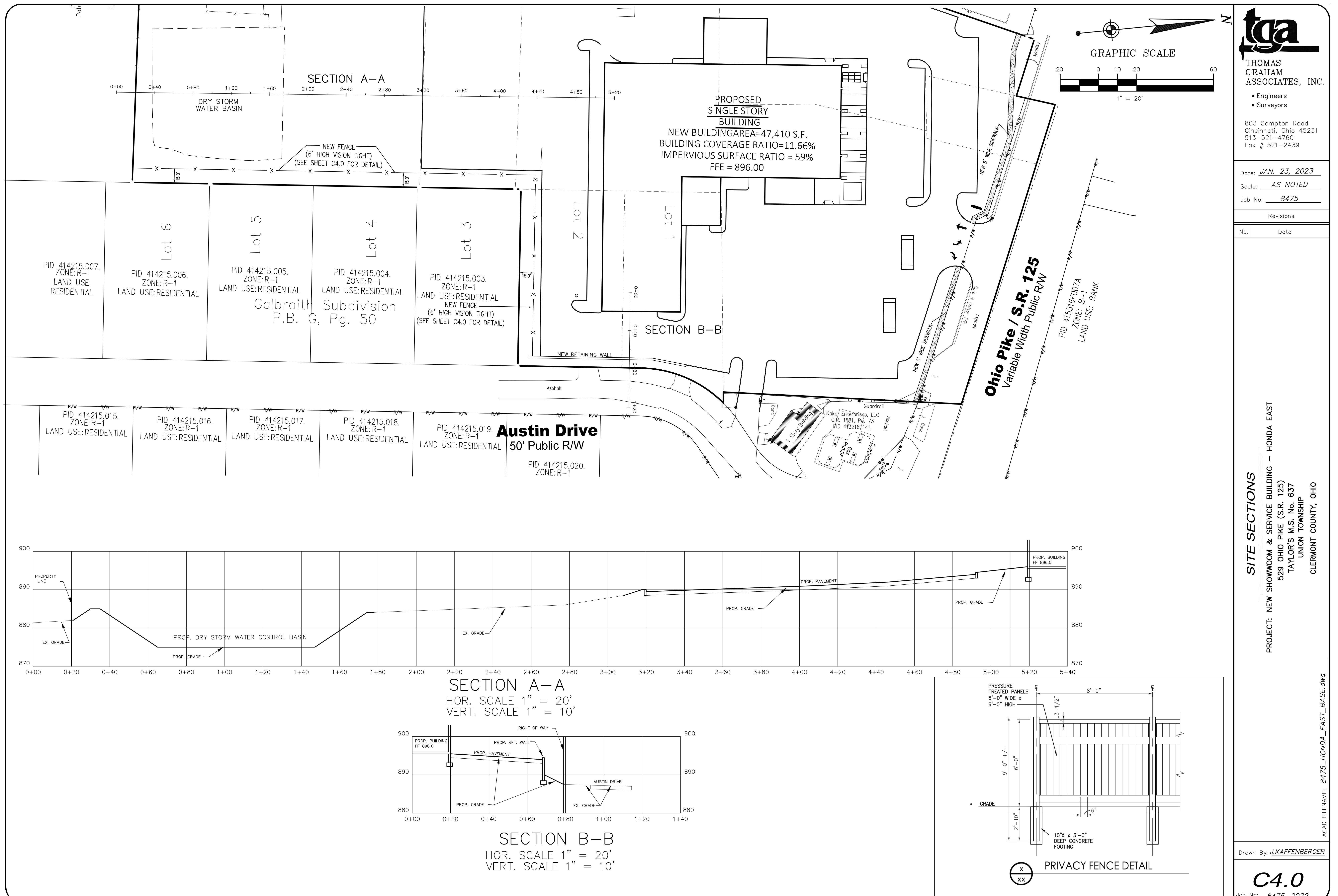
S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073

ZONE: B-1
LAND USE: BANK

S 07°53'39" W 248.87'

Ex. IPC
McCarthy Assoc.
O.R. 0722, Pg. 073



PROJECT: NEW SHOWROOM & SERVICE BUILDING - HONDA EAST
529 OHIO PIKE (S.R. 125)
TAYLOR'S M.S. No. 637
UNION TOWNSHIP
CLERMONT COUNTY, OHIO

AD FILENAME: 8475_HONDA_EAST_BASE.dwg

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MARDIN ARCHITECTURE
P.O. BOX 11125
CINCINNATI, OH 45211
P. 513.544.4925
WWW.MARD.ARCH.COM

CONSULTING ENGINEER
682 TUXEDO PLACE
CINCINNATI, OH 45206
TEL: 513.587.0050
www.e2m-eng.com

NEW SHOWROOM & SERVICE BLDG. HONDA EAST OF CINCINNATI

OESTE VESTMENTS D.

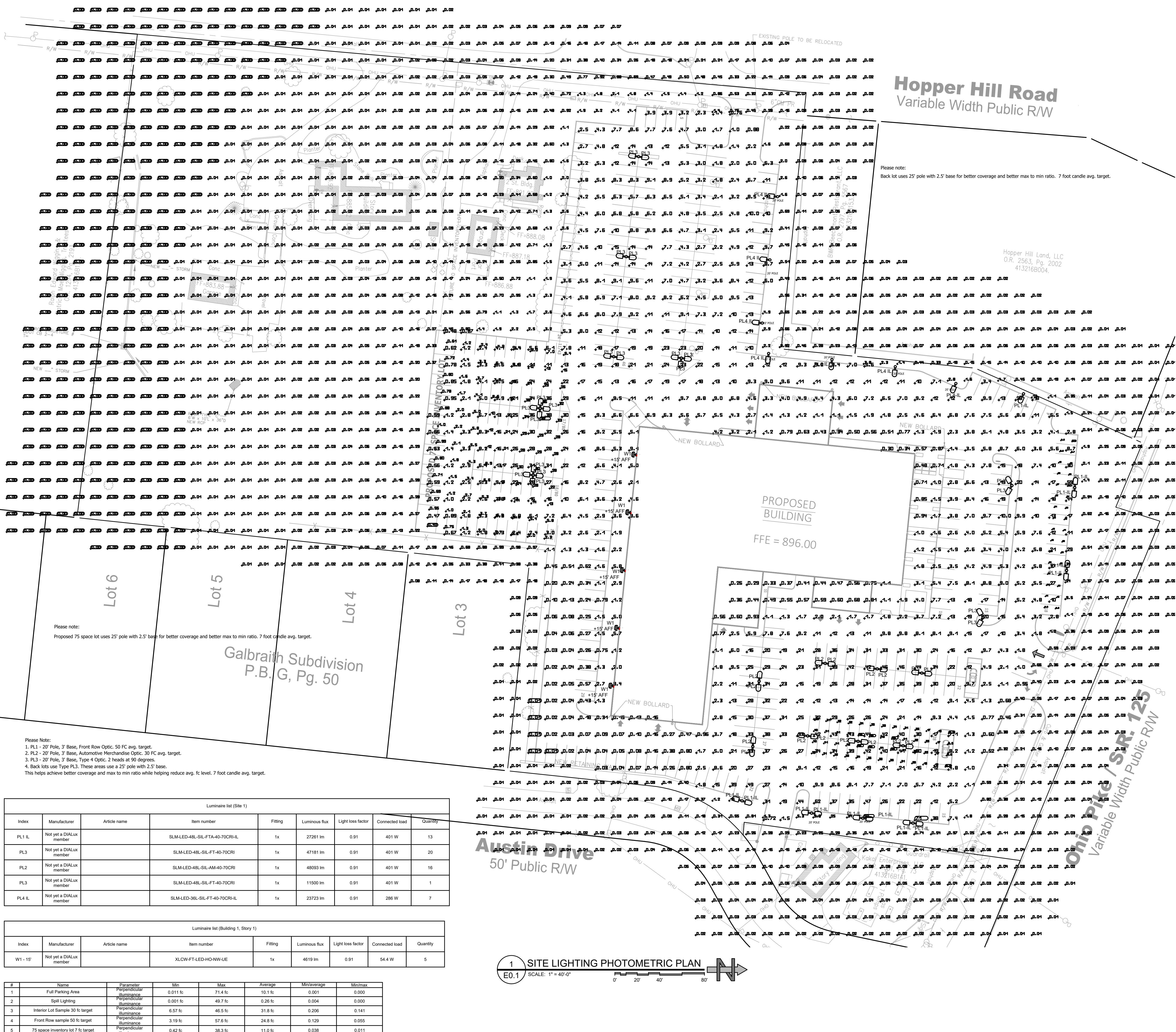
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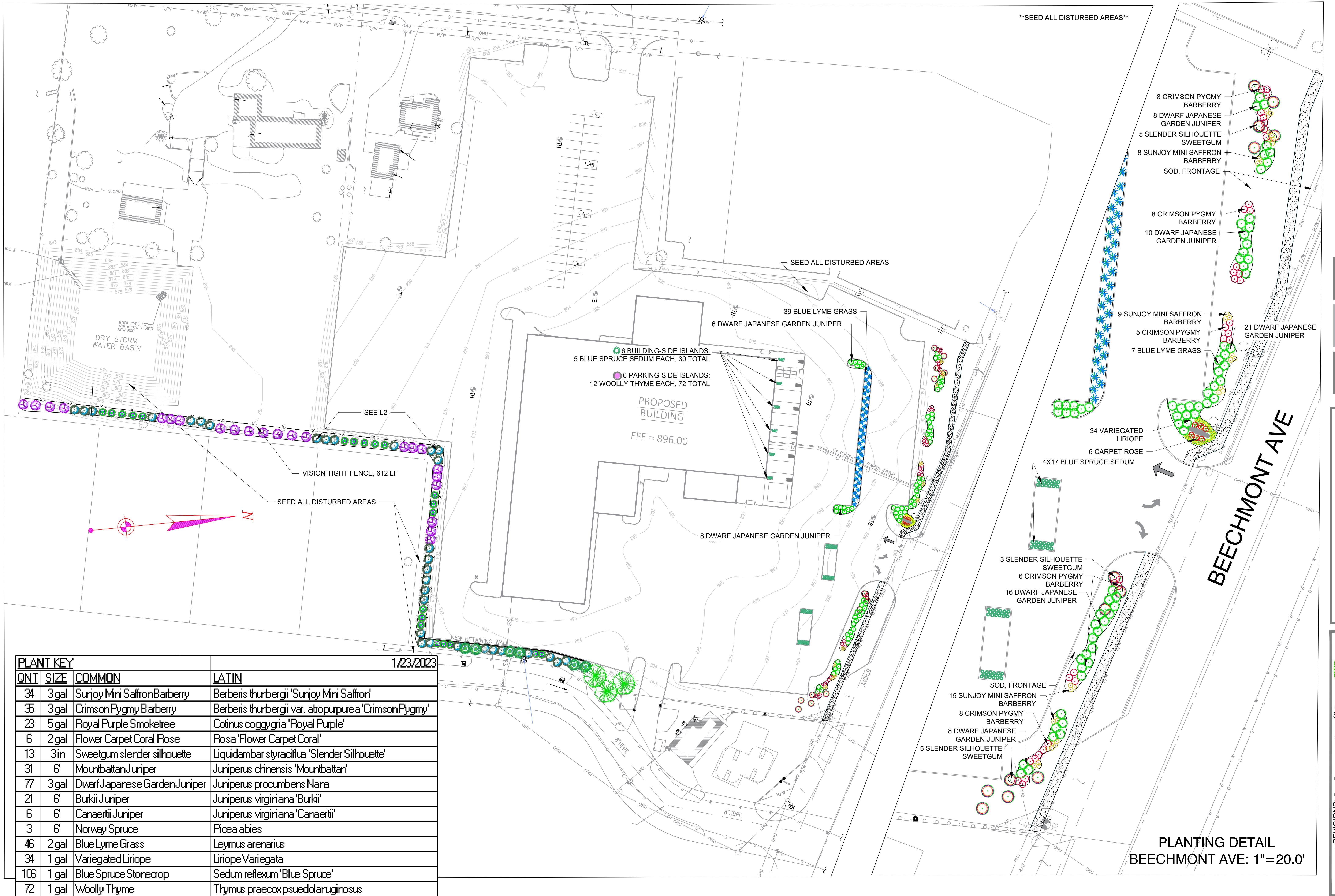
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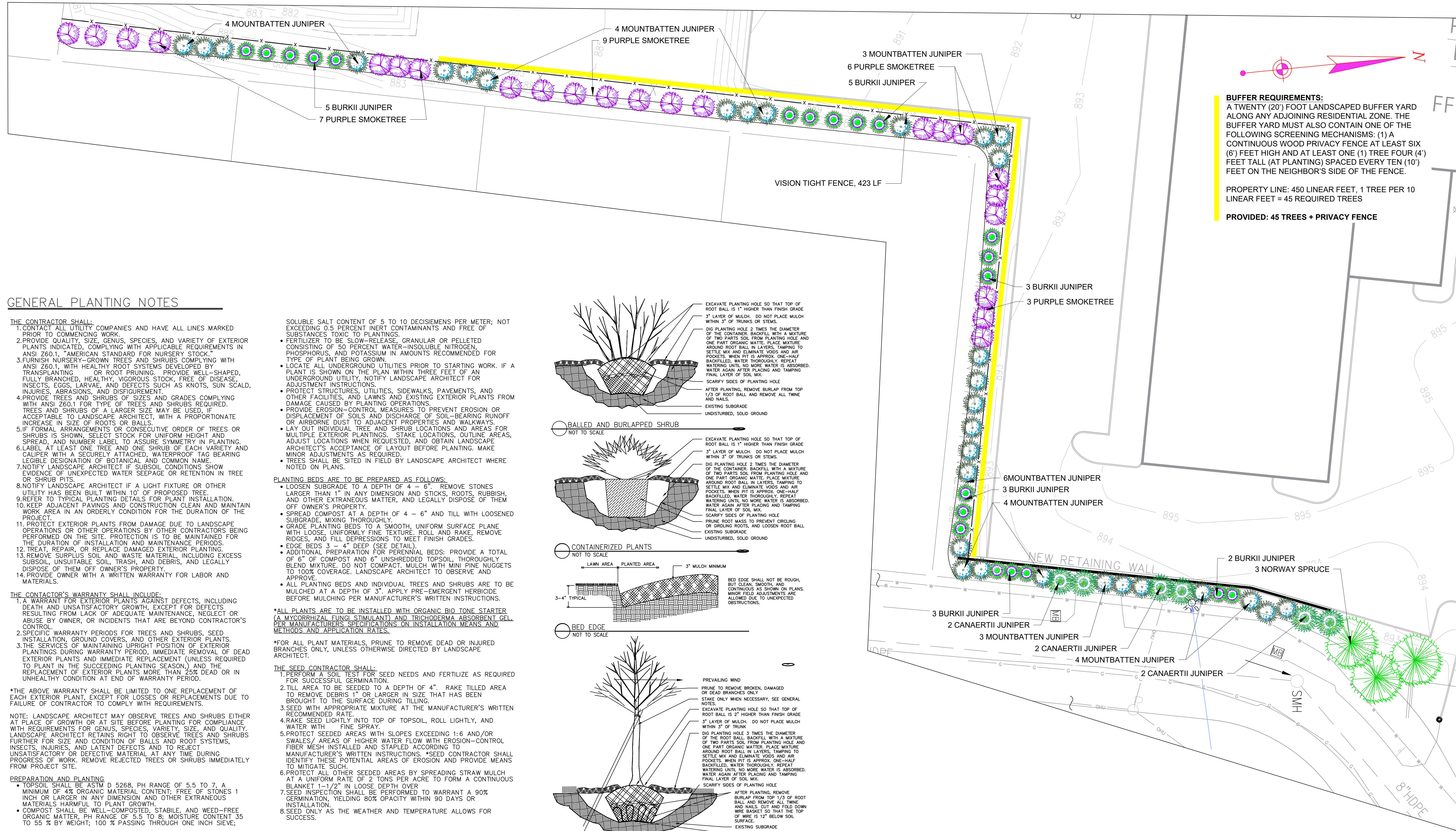
25 JANUARY 2023

1 JOB # 22190

EO.









MARDIN ARCHITECTURE
P.O. BOX 11125
CINCINNATI, OH 45211

P. 513.544.4925
WWW.MARD-ARCH.COM

NEW SHOWROOM & SERVICE BUILDING HONDA EAST

529 OHIO PIKE
CINCINNATI, OH 45255

WOESTE INVESTMENTS LTD.

3997
MCMANN RD.
CINCINNATI, OH
45245

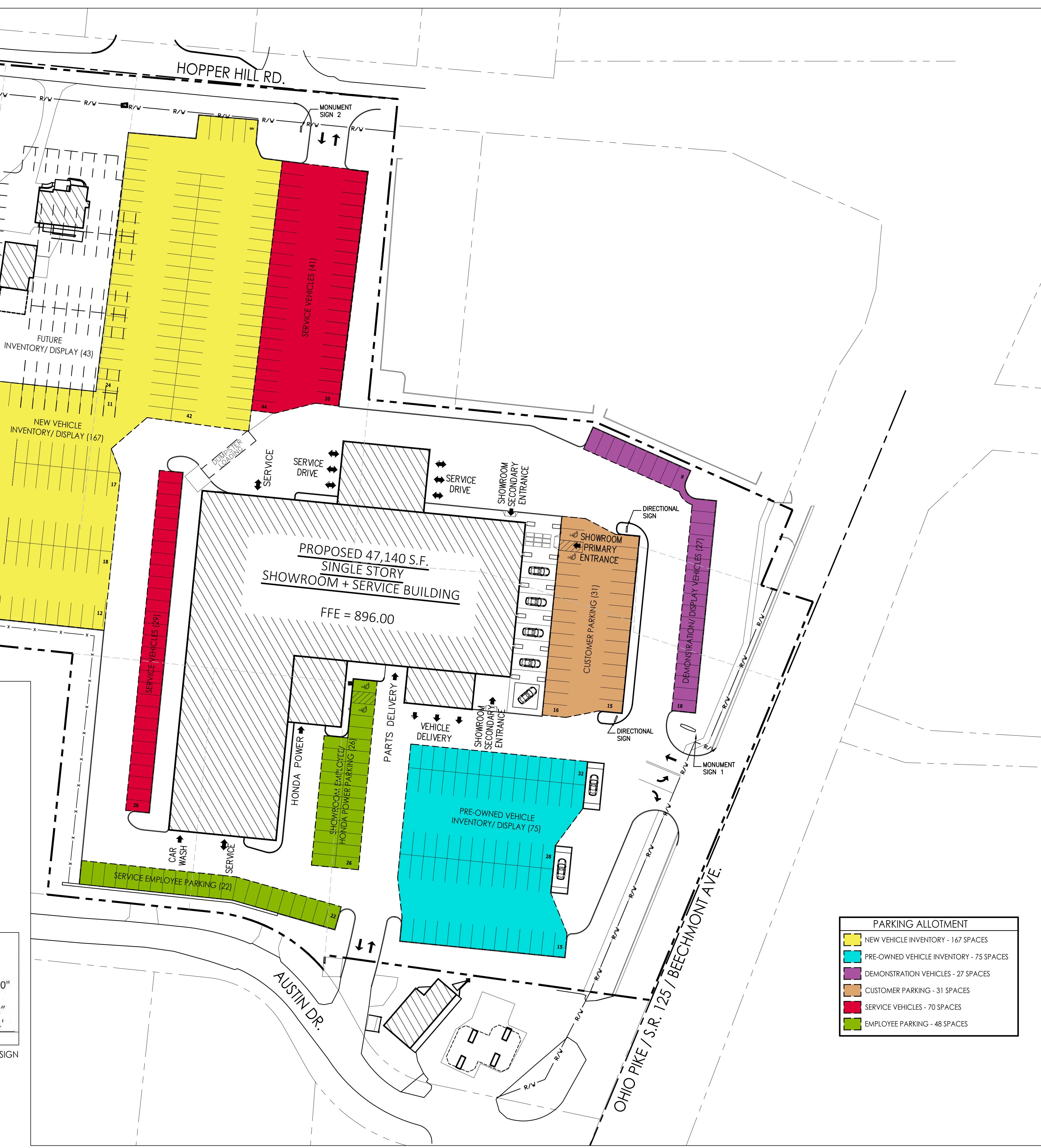
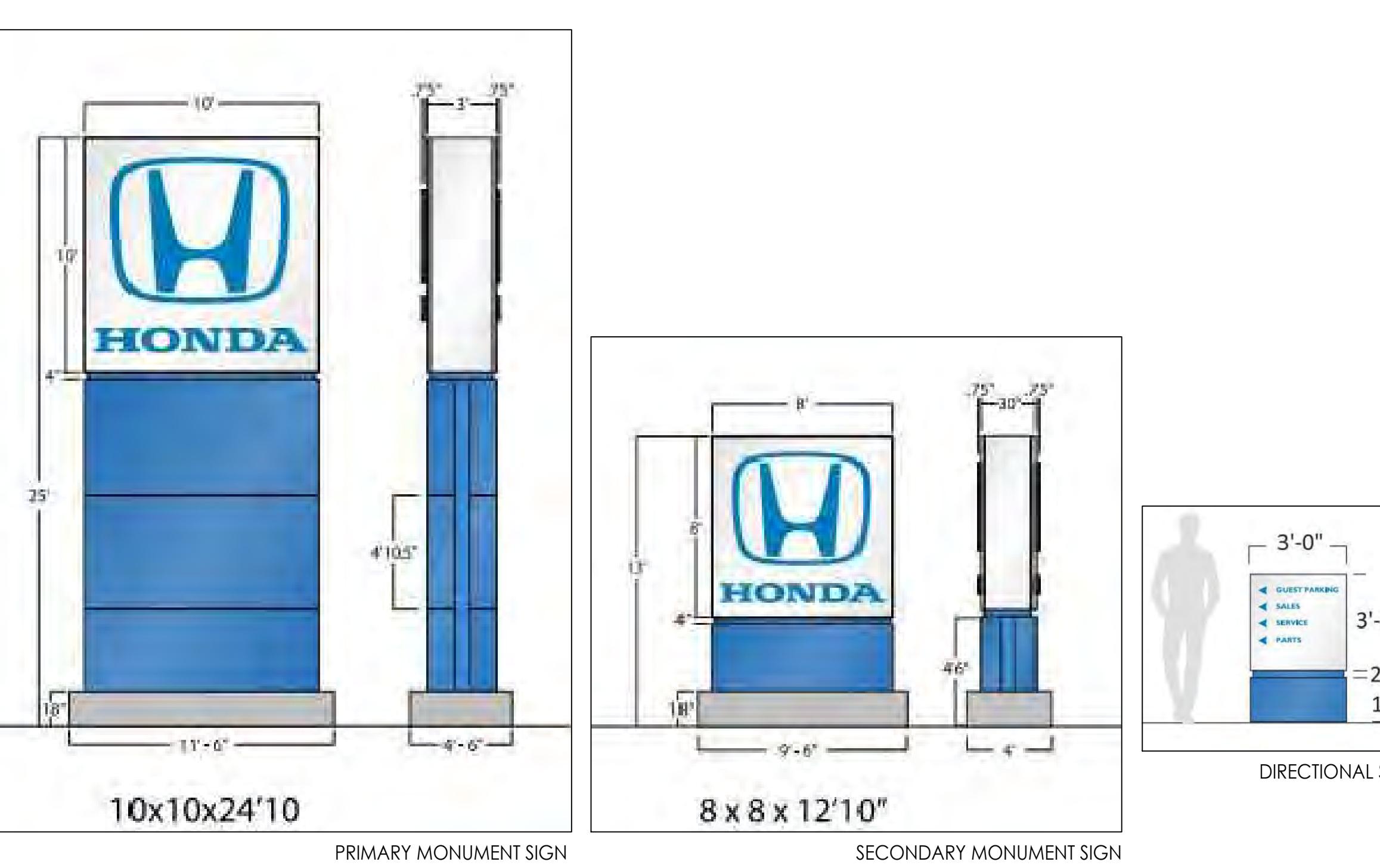
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CONSTRUCTION

DRAWN: O.R.M

23 JANUARY 2023

FILE: 2206

PARKING ALLOTMENT	
	NEW VEHICLE INVENTORY - 167 SPACES
	PRE-OWNED VEHICLE INVENTORY - 75 SPACES
	DEMONSTRATION VEHICLES - 27 SPACES
	CUSTOMER PARKING - 31 SPACES
	SERVICE VEHICLES - 70 SPACES
	EMPLOYEE PARKING - 48 SPACES



ARCHITECTURAL SITE PLAN

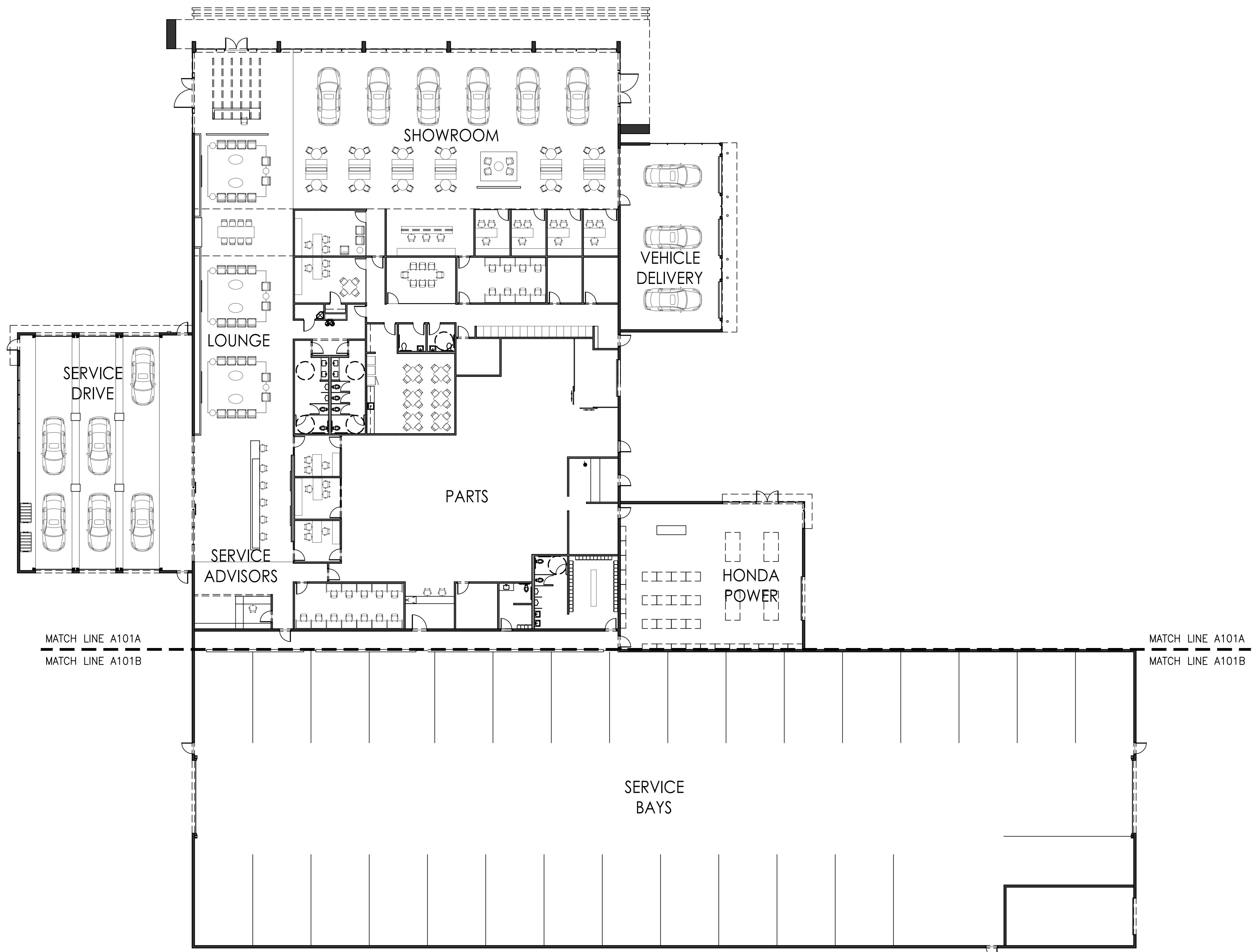
SCALE 1" = 40'-0"

AS-1

ARCHITECTURAL SITE PLAN

NEW SHOWROOM & SERVICE BUILDING
HONDA EAST

529 OHIO PIKE
CINCINNATI, OH 45255



OVERALL
FLOOR PLAN

SCALE 1/16" = 1'-0"



DRAWN: O.R.M.

23 JANUARY 2023

FILE: 2206



MARDIN ARCHITECTURE

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CINCINNATI, OH 45211

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NEW SHOWROOM & SERVICE BUILDING HONDA EAST

529 OHIO PIKE
CINCINNATI, OH 45255

WOESTE INVESTMENTS LTD

3997
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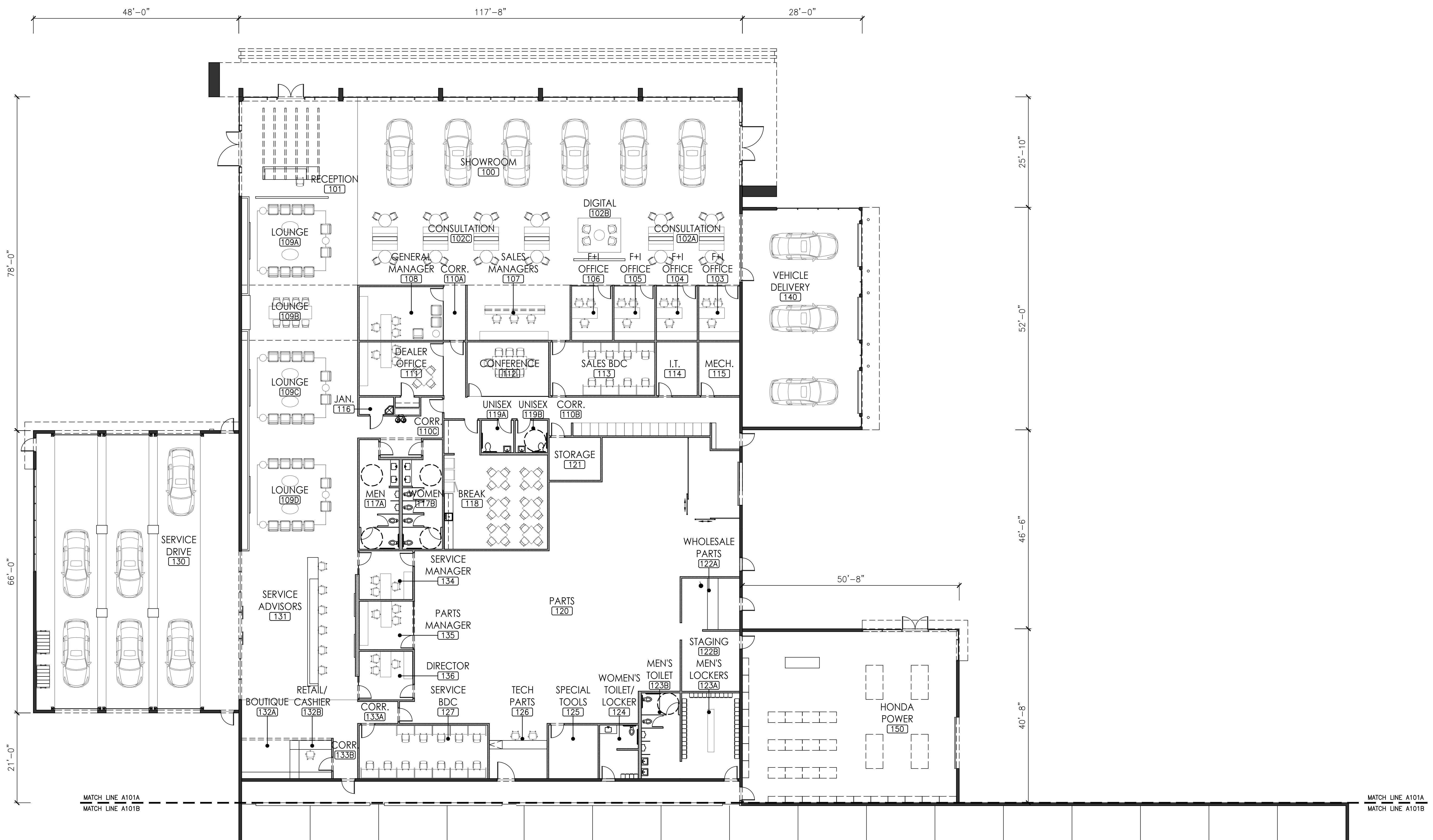
DRAWN: O.R.M.

23 JANUARY 2023

FILE: 2206

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NORTH FLOOR PLAN

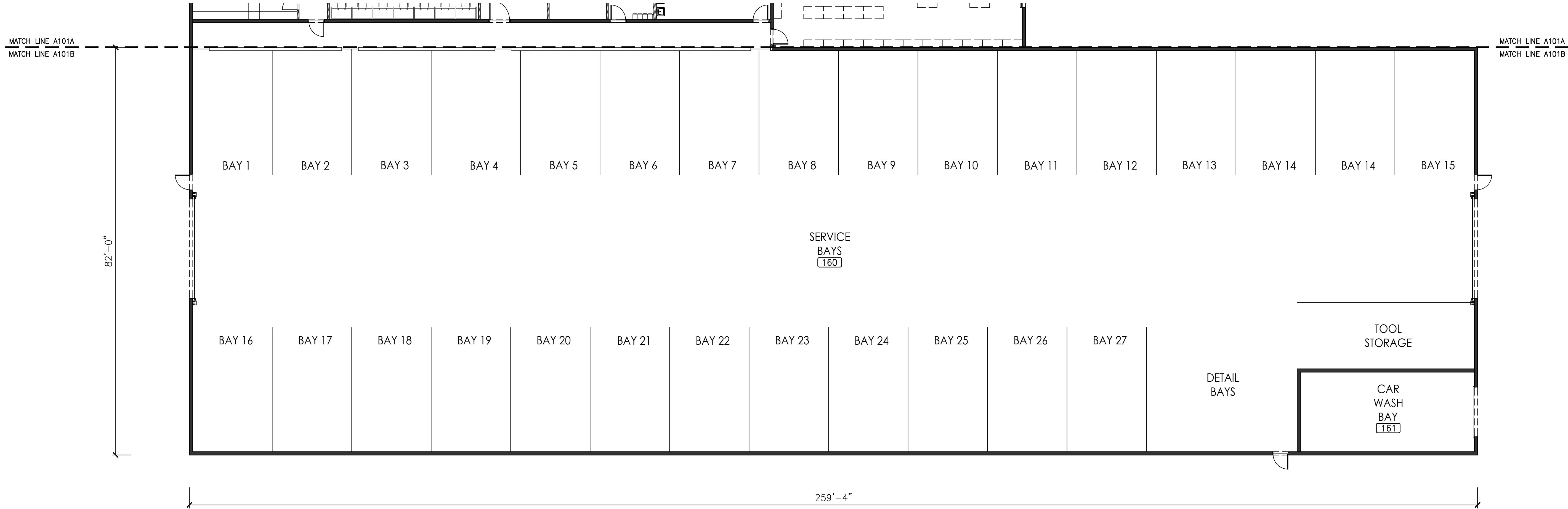


NORTH FLOOR PLAN

SCALE 3/32" = 1'-0"

A101A

NORTH FLOOR PLAN



SOUTH FLOOR PLAN

SCALE 3/32" = 1'-0"



NOT FOR
CONSTRUCTION

DRAWN: O.R.M.

23 JANUARY 2023

FILE: 2206

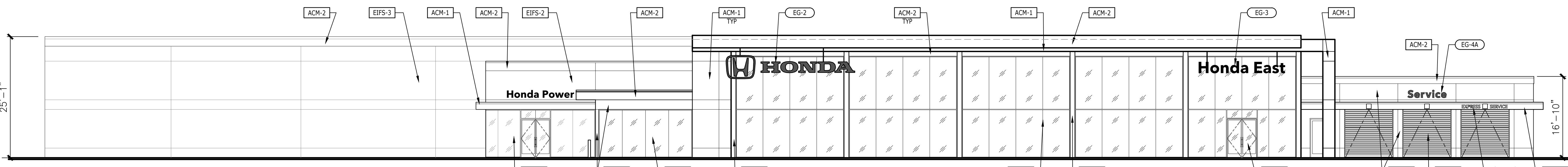
A101B
SOUTH FLOOR PLAN



MARDIN ARCHITECTURE
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CINCINNATI, OH 45211
P. 513.544.4925
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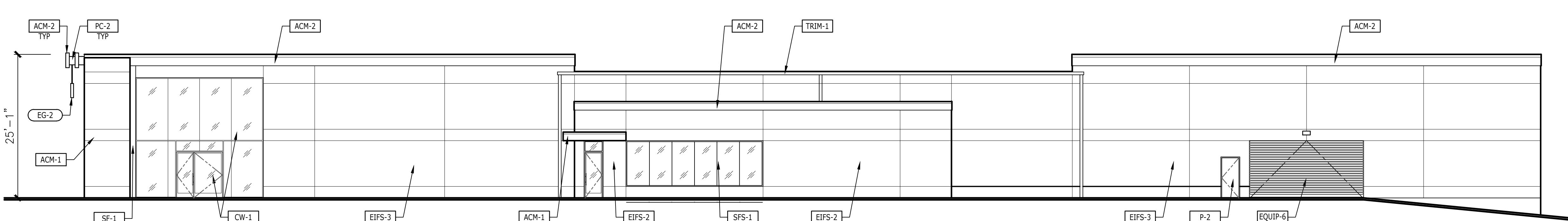
NEW SHOWROOM & SERVICE BUILDING HONDA EAST

529 OHIO PIKE
CINCINNATI, OH 45255



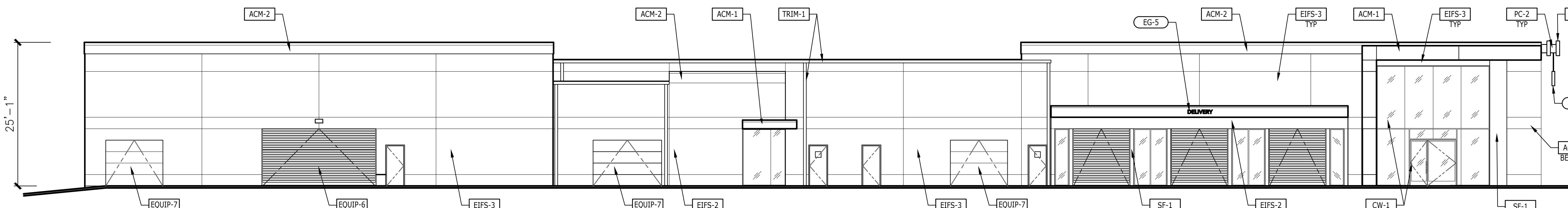
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



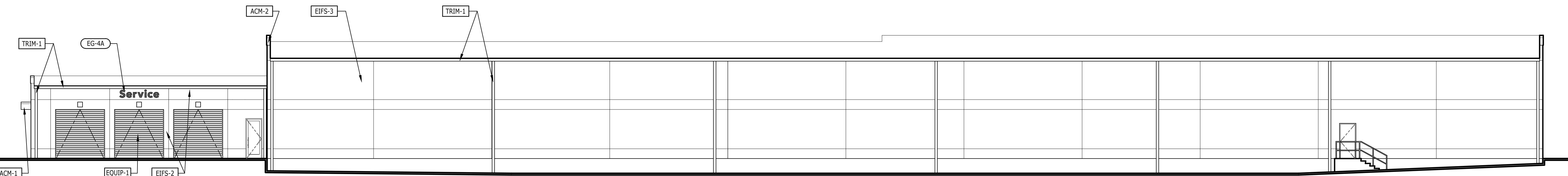
WEST ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

EXTERIOR FINISH KEY				
MARK	MANUF.	DESCRIPTION	LOCATION	CONTACT
ACM-1	ALPOLIC	ALPOLIC FR COLOR: "MING BLUE" #4-HNH-56 LRV16.78	ACCENT GANES	JOHN STUMPF 757-299-5325 JOHNSALPOLIC.COM
ACM-2	ALPOLIC	ALPOLIC FR COLOR: "MMH WHITE" #4-HNH-50 LRV16.8	PARKET BAND LOUNERS	JOHN STUMPF 757-299-5325 JOHNSALPOLIC.COM
CO-1	SIKA	SCOFIELD FORMULA ONE LIQUID DYE CONCENTRATE	VEHICLE DISPLAY PAD & ENTRY WALK	SCOTT REYES 586-292-1492 REYES.SCOTTOU.SIKA.COM
CO-4	SIKA	STAMP - DECORATIVE CONCRETE PATTERN: APPALACHIAN FLAGSTON DYE: GREEN, BLACK, WHITE, LINES: RELEASE COLOR: R26 CAPE COD	FRONT DISPLAY	SCOTT REYES 586-292-1492 REYES.SCOTTOU.SIKA.COM
CO-5	SIKA	STAMP - DECORATIVE CONCRETE PATTERN: TRAVERTINE TEXTURE DYE: GREEN, BLACK, LINES: RELEASE COLOR: R26 CAPE COD	SIDE WALKS	SCOTT REYES 586-292-1492 REYES.SCOTTOU.SIKA.COM
CW-1	TUBELITE	400TU ULTRA-THERMAL CW 2-1/2" X 7-1/2" SSG, BLACK, SILK, Joints: FINISH: BLACK ANODIZED	SHOWROOM	-
EIFS-1	DRYWIT	OUTSATURATION PLUS MD W/ STAT TONE FINISH: HOP FINESSE COLOR: HONDO103S	ALTERNATE TO ACM-1	BOB DAZEL 734-276-0404 BOBDAZELDRYWIT.COM
EIFS-2	DRYWIT	OUTSATURATION PLUS MD W/ STAT TONE FINISH: HOP FINESSE COLOR: 101 "SUPER WHITE"	SERVICE DRIVE	BOB DAZEL 734-276-0404 BOBDAZELDRYWIT.COM
EIFS-3	DRYWIT	OUTSATURATION PLUS MD W/ STAT TONE FINISH: HOP FINESSE COLOR: 61ST "TATTLER"	TYPICAL WALL FINISH	BOB DAZEL 734-276-0404 BOBDAZELDRYWIT.COM
EQUIP-1	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-2	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-3	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-4	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-5	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-6	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-7	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-8	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-9	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-10	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-11	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-12	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-13	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-14	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-15	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-16	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-17	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-18	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-19	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-20	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-21	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-22	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-23	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-24	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-25	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-26	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-27	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-28	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-29	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-30	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-31	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-32	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-33	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-34	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-35	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-36	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-37	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-38	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-39	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-40	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-41	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-42	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-43	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-44	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-45	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-46	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-47	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-48	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-49	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-50	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-51	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-52	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-53	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-54	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-55	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-56	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-57	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-58	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-59	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-60	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-61	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-62	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-63	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-64	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-65	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-66	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS	SERVICE DRIVE	JOSH MOFFITT 937-623-0570 JMOFFITTYRYTECDOORS.COM
EQUIP-67	RYTEC	SPRINT FV W/ PREWRAPPED OVERHEAD DOORS		