



UNION TOWNSHIP BOARD OF TRUSTEES  
JULY 8<sup>TH</sup>, 2025 MEETING

## PLANNED DEVELOPMENT MAJOR AMENDMENT

TONY GIUFFRE, Applicant  
Clepper Lane & Gleneste-Withamsville Road



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### ***Staff Report: CASE # 13-90-Z***

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#### **NATURE OF REQUEST**

The Applicant is requesting the approval of a Major Amendment to an approved Planned Development (PD) District for Parcel# 413104A117. The Applicant is proposing to establish mixed-use commercial development, with a proposed aggregate building area of approximately 22,100 square feet—on a 5.064-acre site. *\*Please refer to the Applicant's statements, plans, and other application enclosures.*

#### **LOCATION**

The subject property, owned by Kenneth Klekamp Inc. et al, is located on the southwestern portion of the intersection at Clepper Lane & Gleneste-Withamsville Road (just east of Sam's Club, Steak 'n Shake, and Aldi's). *PIN # 413104A117.*

In 2024, Clepper Lane had a traffic count of approximately 13,729 trips per day (2.7% large truck traffic), with 6,163 East-bound trips and 7,566 West-bound trips. *This has increased by ~20% during recent improvements to SR 32 and the surrounding areas.* In 2024, Gleneste-Withamsville Rd had a traffic count of approximately and 3,622 trips per day—which is much lower than the previous traffic count of 10,533 trips per day prior to the SR 32 road construction work. *Once the improvements to SR 32 are complete, a significant increase is expected.*

Gleneste-Withamsville Road is a Major Collector 3-lane roadway that transitions to a 2-lane roadway with multiple turn lanes in the area adjacent to the site. Clepper Lane is a Major Collector 2-lane roadway, with multiple turn lanes at the Gleneste-Withamsville Road intersection.

## **ZONING**

As referenced earlier, the affected property is zoned Planned Development (PD)—with the adjoining properties to the north, south, east and west also zoned Planned Development (PD), with the exception of one property to the east is zoned Business (B-1). *All of the adjacent land uses are commercial in nature.*

## **RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN**

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the proposal is located within the Central (S.R. 32) Retail Corridor. Currently, this portion of the corridor contains a variety of commercial / business uses. As this Corridor continues to remain the primary commercial area within Union Township, new development activities (including infill development) have remained steady.

Among other things, the Plan calls for architectural standards that promote cohesive and attractive design resulting in an enhanced quality of life and spurring additional investment — *with development oriented to foster strong streetscape impressions*—the installation of sidewalks along all public street frontages, shared driveway and parking configurations whenever practical, the establishment of maximum parking limits, and site development to be conducted in a manner that focuses on maximizing land use efficiency with infill development. For commercial development, the use of traditional building materials, multi-tenant consolidated signage, adequate vegetative buffering, and landscaping enhancements along the corridor frontage and along shared property lines is also required, in accordance with the Plan.

## **RELATIONSHIP TO THE UNION TOWNSHIP ZONING RESOLUTION**

**Please refer to Article 6, Sections 680-684 and Section 687 of the Union Township Zoning Resolution with respect to “PD” Planned Development District regulations:**

**680. “PD” Planned Development District.**

The “PD” District’s purpose is to provide sites for business or mixed business/residential developments at appropriate locations in relation to existing and potential land uses; to afford an attractive setting for developments; and to harmonize proposed developments with surrounding land uses. These regulations are established pursuant to authorization under Ohio Revised Code Chapter 519 (2001), as amended, for townships to adopt Planned-unit Development zoning.

**681. Regulation Conflict.**

If a conflict arises between these “PD” regulations or an approved “PD” plan and other sections of this resolution, the “PD” regulations and approved plan shall prevail for land zoned Planned Development District.

**682. Approved Plan Governs Use.**

Land use for any property in the “PD” District shall be consistent with the use, design, and details contained in the approved “PD” plan for that property and any conditions of approval. Other applicable regulations from this resolution, such as nuisance regulations, also apply to “PD” property. Pursuant to an approved plan, allowed uses in the “PD” District may include those stated in the “B-1” and “M-1” Districts, or substantially similar uses as determined by the Zoning Commission and Board of Trustees. Integrated residential use with commercial development may be considered for approval in the “PD” District, with residential density not to exceed that of the “R-1” District.

**683. Procedure to Rezone Property to “PD.”**

1. The property owner may submit an application for a zone change to “PD” Planned Development District to the Union Township Planning & Zoning Department. The application shall contain fifteen (15) copies of the completed form, attachments, a site plan conforming to the “site plan requirements” below, and the required fee.
2. The application shall be processed in accordance with Ohio Revised Code Chapter 519 (2001), as amended.

**684. “PD” Plan Requirements.**

1. All site plans shall contain the elements stated in Section 1131. In addition, the following shall be included on the plan:
  - a. Building lot area coverage percentage.
  - b. Residential density, if applicable.
  - c. Detailed description of façade materials for all proposed structures.
2. The site plan shall contain on the cover the following signature lines to be signed by the property owner and Planning & Zoning Director before a zoning certificate is issued...
3. A separate landscaping page shall be included in the plan, illustrating the following:
  - a. Landscaping over ten percent of the lot area. Detention/retention areas are not considered part of the ten percent requirement.
  - b. Location and description of landscape plantings, groundcover, and specific treatment of any other open spaces
  - c. A ten-foot landscaped buffer yard along any public right-of-way or private street easement. A continuous three-foot grass (or other plant covered) berm or continuous row of three-foot-tall (at planting) shrubs, setback at least three feet from the right-of-way or easement line, shall be provided within the buffer yard.
  - d. A twenty-foot landscaped buffer yard along any adjoining residential zone. The buffer yard must also contain one of the following screening mechanisms:
    - (1) A continuous wood privacy fence at least six feet high and at least one tree four feet tall (at planting) spaced every ten feet on the neighbor's side of the fence; or
    - (2) A continuous row of evergreens at least six feet tall (at planting), spaced no more than five feet; or
    - (3) A continuous grass (or other plant covered) berm at least five feet tall and at least one tree four feet tall (at planting) spaced every ten feet along the berm crest.
    - (4) If existing natural vegetation is proposed as screening, the landscape plan must provide detail of existing conditions sufficient to show screening equivalent to the above exists, and with sufficient detail for future zoning enforcement purposes.
  - e. Buffer yards must be landscaped and may not contain any other uses. Landscaped detention/retention may be placed in the buffer yard provided it does not interfere with the adjoining property.
  - f. In addition to the ten percent general landscaping requirement, internal planting islands equal to five percent of the entire parking lot area shall be placed within parking lots. The islands shall be dispersed so to break up the pavement expanse. Internal planting islands shall be curbed, and contain a minimum area of one hundred twenty square feet and eight feet of width. At least one shade-type tree a minimum of eight feet tall at installation shall be included for each two hundred square feet of internal planting area. Developments with twenty or fewer total parking spaces are exempt from this requirement.

**687. Supplemental Provisions.**

1. Signage shall be consistent with the nature and scope of the development exclusive of Article 9.
2. Buffer yards, screening, landscaping, vegetation, and all other plan elements shall be in place by the time the Union Township Planning & Zoning Department issues a certificate of occupancy, or at such time as construction substantially ceases, whichever occurs first.
3. The failure to maintain open spaces, hard surfaces, and landscaping in good condition is a violation of the “PD” plan.
4. Forty feet of right-of-way shall be dedicated for all properties fronting on public streets. The forty feet of right-of-way is “half” right-of-way, i.e., measured from the center of the road. By specific motion, the Zoning Commission or Board of Trustees may exempt a development from this requirement if appropriate. If total right-of-way equals eighty feet or more, no additional right-of-way shall be required unless necessary for special circumstances or improvements.
5. Prior to issuance of a zoning certificate, the property owner shall provide to the Planning & Zoning Department copies of executed and recorded cross easements to all adjoining property owners that share a common street frontage (public or private) with the “PD” property. The cross easements shall allow, at a minimum, use by automobile and delivery vehicle traffic. The general location of the cross connections shall be shown on the “PD” plan. By specific motion, the Zoning Commission or Board of Trustees may waive this requirement if appropriate. The requirement is waived automatically if a publicly dedicated frontage road serves both the development and adjoining properties.
6. Prior to issuance of a zoning certificate, the Applicant shall record all necessary plats consolidating, dividing, and dedicating right-of-way consistent with the boundaries represented on the “PD” plan and/or conditions or approval.
7. Any exterior pole lighting, canopy lighting, or similar lighting shall be flat lens design and shielded so that all light is down directed. Sag lens lighting is prohibited. Where the “PD” property adjoins or is within one hundred fifty feet of a residential zone, lighting shall be directed away from the residential property. Any building mounted lighting shall contain shields directing lighting downward preventing spillover onto adjoining property. If within fifty feet of a residential zone, building mounted lighting facing the residential property (other than recessed soffit mounted lights) shall be installed no higher than four feet from grade.

8. Parking requirements shall comply with Article 8, Off-Street Parking and Loading Regulations, unless otherwise modified in the plan. A justification note shall accompany any modification on the plan.
9. Building lot area coverage may not exceed thirty-five percent and building height may not exceed seventy-five feet.
10. Minimum building separation shall be maintained in accordance with fire and building codes. The number of buildings per lot, minimum setbacks (except for residential and right-of-way buffer yards), and minimum lot size are otherwise variable for the "PD" District.
11. The Applicant shall make available in advance of any hearing by the Zoning Commission the results of any site distance or traffic study requested by the Clermont County Engineer. The Applicant shall also provide confirmation from the appropriate governmental agency showing resolution of any issues raised pertaining to the development. Failure to provide this information in adequate time or advance review by Zoning Commission members may be grounds for denial of the application.
12. The standards and conditions stated in these regulations are minimums. The Planning & Zoning Director, Zoning Commission, and Board of Trustees may impose higher standards if warranted based upon the unique circumstances of a given development.
13. No construction shall proceed prior to the issuance of a zoning certificate. No property shall be used or occupied prior to issuance of a certificate of occupancy endorsement from the Union Township Planning & Zoning Department.
14. The Board of Zoning Appeals is without authority to alter or amend "PD" plans.

## **BACKGROUND**

This property was zoned as a R-2 (Residential Single Family Detached Residential) District, since the advent of zoning in the Township in 1959. *In 1990, the affected property was rezoned—in association with an approved concept development plan—to PD-Planned Development as part of a larger development area.* Between 1994 and 1995, three (3) commercial developments were proposed—including a Kohls, a Baby Superstore, and a Steak 'n Shake. From 2001 to 2003, Aldi, Sams Club, Gordon Food Service (GFS), and Chipotle were (all) approved as Major Amendments by the Board of Trustees. An expansion for Aldi was subsequently approved in 2017. Of all of the previous plans for the site, no Major Amendments have been approved involving detailed plans for the site; it has been reserved for "future retail."

## **STAFF REVIEW & ANALYSIS**

The Applicant's current proposal meets some, but not all, of the objectives of the Horizon 2030: Union Township Comprehensive Land Use Plan's Future Land Use Policies and Recommendations for the Central (S.R. 32) Retail Corridor. The Applicant has proposed three (3) commercial buildings that would include a mix of dining, retail, office, and educational / child care uses—which would increase the land use efficiency with infill development for this site. The height of the proposed structures would range from 14'-4" for the proposed bank to 23'-4" and 26'-4" for the retail and dining uses (for the former) and the educational / child care uses (for the latter). With respect to the current architectural plans, a majority of the visible building elevations appear to consist of traditional building materials, as required by the Zoning Resolution and Comprehensive Plan for this Corridor; *however, the proposed bank structure would need to be modified to satisfy this particular requirement.* Overall, there is a cohesive and attractive design for this project, as called for in the Land Use Plan—to enhance the quality of life in the area and spur additional investment. *Staff recommends that some additional architectural design features be incorporated to the east side of all of the proposed structures, to break up blank façade area(s) and be more compatible with the Corridor's stated objective of having "...development oriented to foster strong streetscape impressions."*



In terms of access to the site, four (4) access-points are currently proposed. The northern access from Clepper Lane to the site is an existing right-in/right-out (only) access, to the east of Steak 'n Shake. The proposed, new primary access intended to serve the site would be from Gleneste-Withamsville Road, directly across from Kennedy's Landing. This access point, *which would require approval from the County Engineer's Office*, is intended to be a shared access point that would serve both this site and the future development site to the south (currently owned by the Union Township, Clermont County CIC, Inc.). *This is an item that needs to be addressed with a cross-access easement agreement.* The two (2) other access points are designed to tie into the existing parking and internal driveway areas serving Aldi, Steak'n Shake, and Sams Club. Finally, in terms of pedestrian and / or multi-modal access to the site, a sidewalk is proposed along Gleneste-Withamsville Road, however, no sidewalk appears to be proposed along Clepper Lane on the current plans. *Per the Horizon 2030: Union Township Comprehensive Land Use Plan a sidewalk is required along Clepper Lane (as well as Glenete Withamsville Road).*

*Although a landscaping plan has been submitted, the current plan is lacking detailed information (to accurately reflect the plant types and sizes)—and would need to be enhanced in the areas adjacent to the proposed dumpsters as well as along the frontage / road right-of-way areas of the site (which should include street trees). Additional details with respect to proposed retaining walls would also be needed as part of a subsequent commercial zoning permit review.*

A proposed monument sign location has been identified along Gleneste-Withamsville Road, however, there appears to be no other proposed free-standing monument signage locations on the current plans. This singular, proposed monument sign is presumed to be a multi-tenant sign, rather than signage for a specific business—although a monument sign detail has been submitted for the proposed educational / child care use. No multi-tenant signage plans have been produced by the Applicant. Although some of the architectural information shows wall signage, more detailed plans would need to be submitted and reviewed.

A lighting/photometric plan has been provided. Most of the plan meets the Township's requirements with respect to proposed foot-candle measurements; however, there are some areas in the southern and southwestern portion of the property where the plan would need to be revised. Additionally, details and spec sheets with respect to all proposed lighting would need to be submitted.

The current development plans indicate that two (2) of the three (3) proposed dumpsters are intended to be located along public street frontage (Gleneste-Withamsville Road)—which would be in direct contradiction to the Land Use Plan, and would counteract *Corridor's stated objective of having "...development oriented to foster strong streetscape impressions."* Therefore, staff finds that the two (2) dumpsters currently shown along the road rights-of-way / frontage would need to be moved to the interior development area(s).

### **ACTION REQUIRED**

In accordance with Section 680-687 of the Zoning Resolution, the Board of Trustees is to enter a motion to approve, approve with some modification, or deny the Applicant's request to approve a Major Amendment to an approved Planned Development (PD) District and the accompanying Formal Development Plan as submitted, and / or with any further modifications as deemed necessary by the Board.

### **RECOMMENDED MODIFICATIONS**

If the Board should choose to grant favorable consideration to this Major Amendment application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant would need to address any concerns of the County Engineer (*including access points and sidewalk locations*), Clermont County Water & Sewer District, Clermont County Building Department (including Water Management and Sediment Control), the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant must acknowledge on all plans that the Gleneste Withamsville primary access for the site is intended to be a shared access point that would serve both this site and the future development site to the south. *This is an item that must be addressed with a cross-access easement agreement.*
- 3) The Applicant would need to install a 6-foot sidewalk along the both Clepper Lane and Gleneste-Withamsville Road rights-of-way around the perimeter of the northern and eastern property boundary. *This is an item that could be addressed administratively by staff.*
- 4) The Applicant would need to modify the proposed building materials for the proposed bank structure, so that a majority of the structure would consist of traditional, high-quality building materials. Additionally, staff recommends that some additional architectural design features be incorporated to the east side of the proposed structures, to break up blank façade area(s). *This is an item that could be addressed administratively by staff (through review and approval of updated elevations).*
- 5) The top of all proposed buildings must include adequate screening of the mechanicals, to demonstrate consistency with the Focus Overlay District Area and the Comprehensive Plan. *This is an item that could be addressed administratively by staff.*
- 6) The Applicant would need to provide a more detailed, enhanced landscaping plan—to accurately reflect the plant types and sizes, enhance plantings in the areas adjacent to the proposed dumpsters, and to provide street trees and plantings along the frontage / road right-of-way areas of the site. Details with respect to proposed retaining walls would also be needed. *This is an item that could be addressed administratively by staff.*

- 7) A signage plan would ultimately need to be submitted. All free-standing signage should be limited to monument signage, preferably multi-tenant signage, capped at a height of not more than 10' from finished grade. *This is an item that could be addressed administratively by staff.*
- 8) A lighting / photometric plan for the proposed site has been submitted. All lighting would need to be noted as “inward or downward directed and shielded, dark-sky compliant” and of sufficient intensity to illuminate without projecting onto the adjoining residential property (i.e. less than or equal to 1.0-foot candle at the property lines and road rights-of-way). Additionally, a 1.0-foot candle measurement along the proposed property boundaries (if a parcel split is to occur) would need to be addressed properly. \*Details / specs of proposed lighting must be provided; however, *this is an item that can be addressed administratively by staff.*
- 9) Staff finds that the two (2) dumpsters currently shown along the road rights-of-way / frontage would need to be moved to acceptable interior development area(s), with adequate vegetative buffering and appropriate brick and / or masonry dumpster enclosures. *This is an item that could be addressed administratively by staff.*
- 10) The Applicant would need to provide documentation of parcel/lot split and addressing of said parcels. *This is an item that could be addressed administratively by staff.*
- 11) As of July 1<sup>st</sup>, 2025, there are a number of administrative items related to the Site Plan requirements set forth in Article 11, Section 1131 and Article 6, Sections 684-687 of the Union Township Zoning Resolution that would also ultimately need to be addressed, prior to the issuance of a subsequent (commercial) zoning permit(s) by the staff. These items include, but are not limited to: parcel data; development data; floodplain information; parking and circulation information; stormwater management facility location(s); construction schedule, etc. *These items can be addressed administratively by staff.*

**UNION TOWNSHIP APPLICATION FOR  
PLANNED DEVELOPMENT DISTRICT  
MAJOR AMENDMENT**

**PLEASE TYPE OR PRINT**

I. ZONING CASE NUMBER \_\_\_\_\_

II. PROPERTY INFORMATION

Address Clepper Lane & Glen Este-Withamsville Road

Clermont County Auditor's Tax Parcel Number (PIN#) 413104A117

III. PROPERTY OWNER INFORMATION

Property Owner Name KENNETH J KLEKAMP INC ETAL

Contact person who is a regular employee or officer of property owner

Chris Nachtrab

Contact person phone 513-272-6800

Mailing Address 2950 Hebron Park Drive, Suite G. Hebron, Kentucky 41048

IV. APPLICANT INFORMATION (if same as property owner, check here \_\_\_\_\_ and skip to next section)

Applicant Contact Person Tony Giuffre Phone (513) 932-6010

Company Bunnell Hill Development Co

Relationship to Owner Director of Development

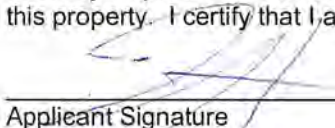
Mailing Address 3000 Henkle Drive, Lebanon, Ohio 45036

V. PLEASE ATTACH A PAGE DESCRIBING THE PROPOSED AMENDMENTS

VI. PLEASE ATTACH WRITTEN AUTHORIZATION FROM THE OFFICES OF THE  
CLERMONT COUNTY ENGINEER; THE CLERMONT COUNTY WATER AND SOIL  
CONSERVATION DISTRICT; AND THE CLERMONT COUNTY WATER AND SEWER  
DISTRICT CONFIRMING THAT THE AMENDMENTS CONFORM TO THEIR REGULATIONS

VII. PLEASE PROVIDE 10 COPIES OF PROPOSED PLAT CONFORMING TO SECTION 686

I hereby request the above amendments to the approved "PD" Planned Development District plat governing this property. I certify that I am duly authorized by the property owner to submit this application.

  
Applicant Signature

TONY GIUFFRE  
Print name

**QUESTIONS? PLEASE CALL THE PLANNING & ZONING DEPARTMENT AT (513) 753-2300**

June 10, 2025

Mr. Mark McCormack  
Development Director | Dept. of Planning & Zoning  
Union Township, Clermont County  
4350 Aicholtz Road  
Cincinnati, OH 45245

Re: Clepper Lane & Glen Este-Withamsville Road  
Major Modification to Planned Development

Dear Mr. McCormack:

Enclosed please find documents in support of a Major Modification to Planned Development application for a project to be located at the corner of Clepper Lane and Glen Este-Withamsville Road. The following are enclosed:

- 1) Check in the amount of \$400.00
- 2) Executed Application
- 3) (2) full size and (6) reduced size copies of the PD Plan
- 4) (2) full size and (6) reduced size copies of the Landscape Plan
- 5) (2) full size and (6) reduced size copies of the Site Photometric Plan
- 6) (2) full size and (6) reduced size copies of the Building Elevations

The project consists of 3 individual buildings on the property which may be subdivided at a later date. The southernmost building is planned as The Learning Experience daycare which consists of approximately 10,000 square feet of floor area. The middle building, containing approximately 8,400 SF of floor area, is planned as a 3-unit retail building including potential restaurants or other users with one drive-thru located on the east side of the building and a dining patio located on the west end of the building. The northernmost building, containing approximately 3,700 SF is planned as a bank or other similar use with a drive thru located on the north side. Details showing the proposed buildings and site improvements are contained in the design documents listed above.

Please place this item on the July 8<sup>th</sup> Board of Trustees Meeting agenda. Should you have any questions, or need any additional information, please do not hesitate to contact us.  
Sincerely,

A handwritten signature in blue ink, appearing to read 'John A. Bayer'.

John A. Bayer, PE

Enclosures

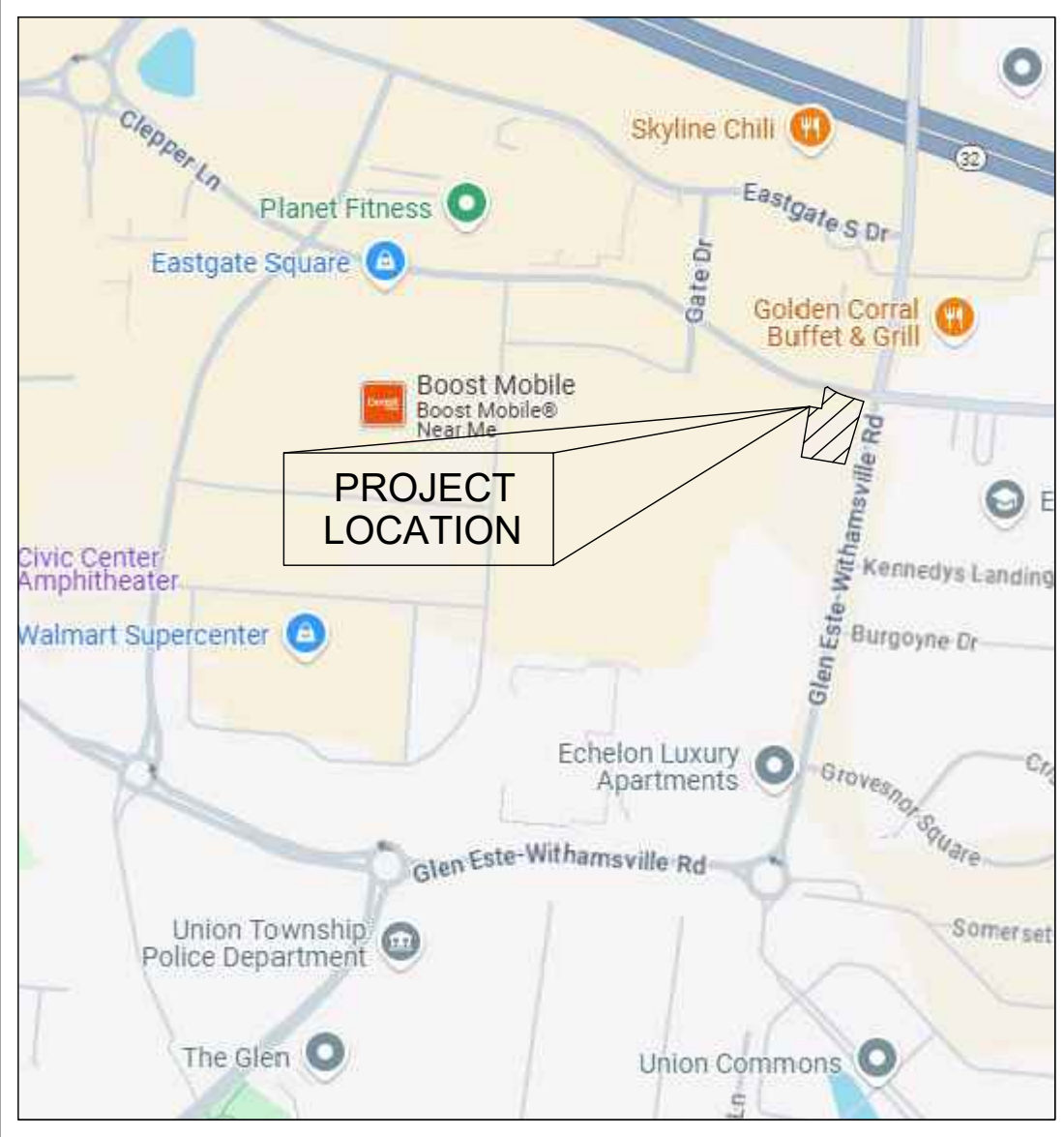
Cc: Tony Giuffre, Bunnell Hill Development



CLEPPER LN. & GLEN ESTE-WITHAMSVILLE RD

UNION TOWNSHIP, CLERMONT COUNTY, OHIO

JUNE, 2025



### VICINITY MAP

NO SCALE



APPLICANT

BUNNELL HILL DEVELOPMENT CO  
3000 HENKLE DRIVE  
LEBANON, OHIO 45036  
PH: (513) 932-6090

## OWNERS

KENNETH J KLEKAMP INC ETAL  
2950 HEBRON PARK DRIVE, SUITE G  
HEBRON, KY 41048

## GENERAL NOTES

1. SANITARY TO BE TIED INTO CLERMONT COUNTY WATER RESOURCES
2. WATER TO BE TIED INTO CLERMONT COUNTY WATER RESOURCES.
3. DETENTION PROVIDED BY PROPOSED UNDERGROUND STORMWATER MANAGEMENT SYSTEM(S) PER CLERMONT COUNTY REGULATIONS.
4. DUKE TO BE PROVIDER FOR ELECTRIC AND GAS.
5. ONE (1) C&G TO BE PROVIDED FOR PROPOSED PARKING AREAS.
6. EASEMENT TO BE CREATED TO ALLOW FOR CROSS ACCESS BETWEEN THIS DEVELOPMENT AND FUTURE DEVELOPMENT PARCEL IMMEDIATELY ADJACENT TO SOUTH. ADDITIONAL EASEMENT TO BE CREATED TO ALLOW FOR CONSTRUCTION OF STORM SEWER IN SOUTHWEST CORNER OF PARCEL BY FUTURE DEVELOPMENT ADJACENT TO SOUTH.

## PROJECT SUMMARY

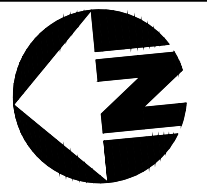
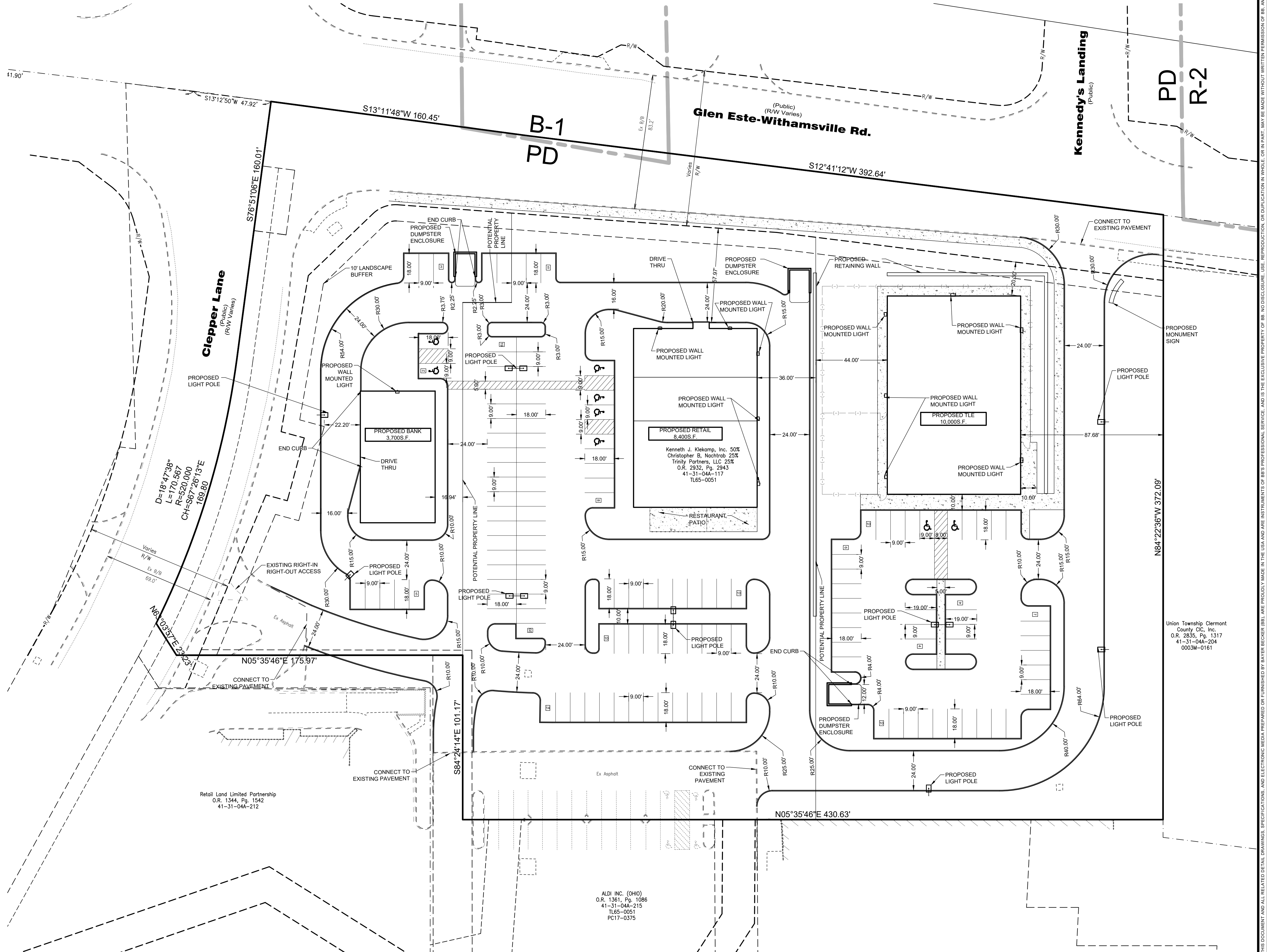
ZONE	PD PLANNED DEVELOPMENT		
ACREAGE:	4.23 AC. (EXCL R/W)		
LOT COVERAGE:	BANK: TOTAL                   0.75 AC. IMPERVIOUS       0.49 AC. (65%) RETAIL: TOTAL                   1.79 AC. IMPERVIOUS       1.52 AC. (85%) TLE: TOTAL                   1.69 AC. IMPERVIOUS       1.27 AC. (75%)		
PARKING: PROVIDED:	140 SPACES		
PROPOSED ADA PARKING: MIN. REQUIRED:	5 SPACES (FOR 101 TO 150 SPACES)		
PROVIDED:	8 SPACES		

## FLOOD INFORMATION

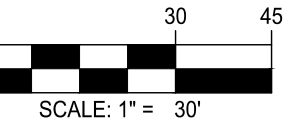
PROPERTY SURVEYED IS LOCATED WITHIN ZONE X  
ZONE X- AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE  
FLOODPLAIN PER FEMA MAP 39025C0225G (NOT PRINTED)  
MAP REVISED MARCH 16, 2006

## LEGEND

CONCRETE WALK  
# PARKING SPACES



Basis of Bearing:  
ate Plane NAD83 (2011)



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# PLANNED DEVELOPMENT PLAN

## CLEPPER LN. & GLEN ESTE-WITHAMSVILLE RD

UNION TOWNSHIP, CLERMONT COUNTY, OHIO

FOOD PLAN



6900 Tylersville Road, Suite A  
Mason, OH 45040 - 513.336.6600

24-0218 PUD

own by: EDO

Checked By: JAB

6-10-25

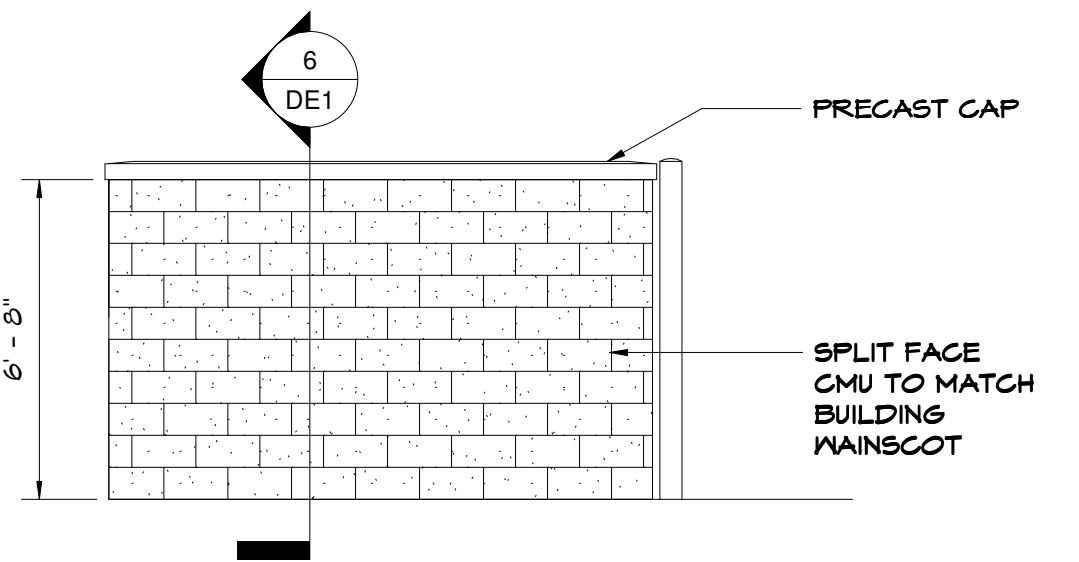
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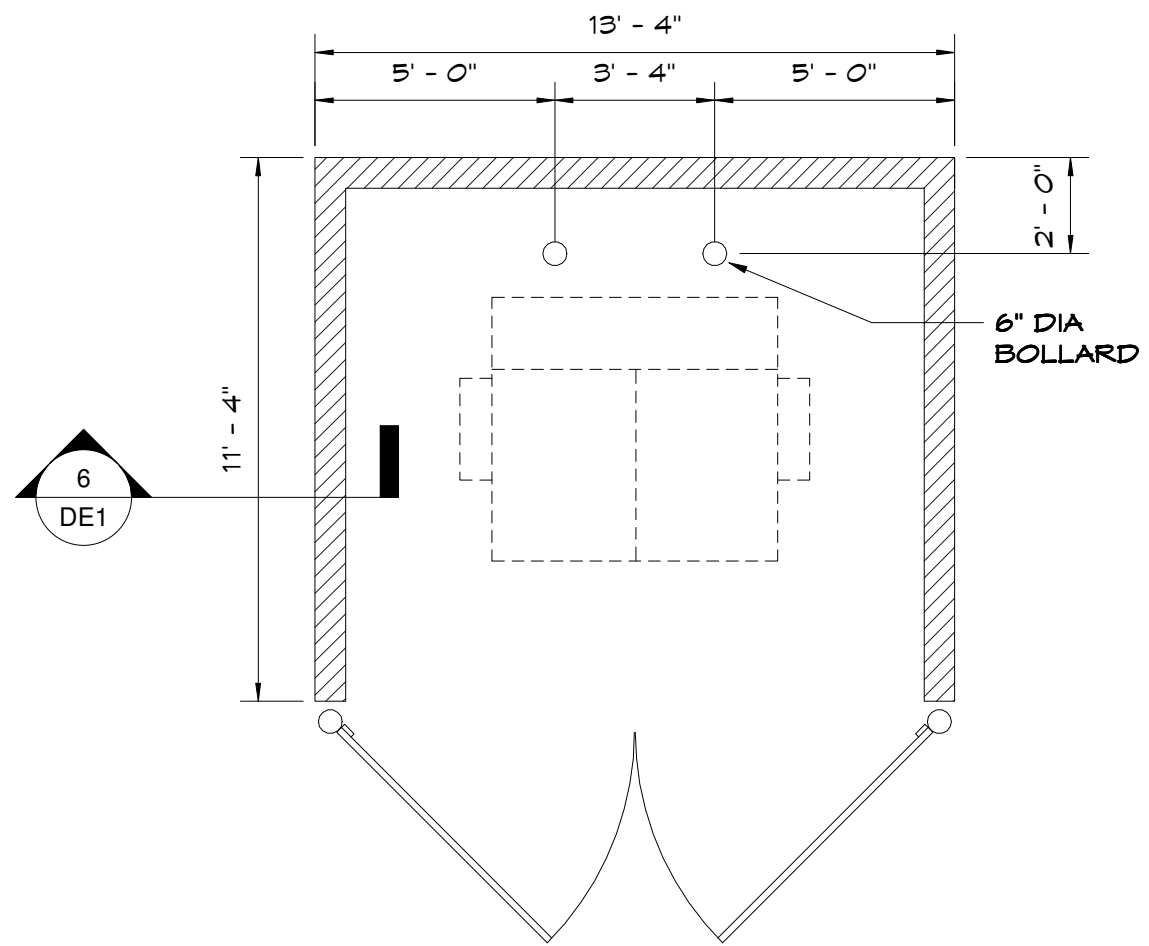




DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"

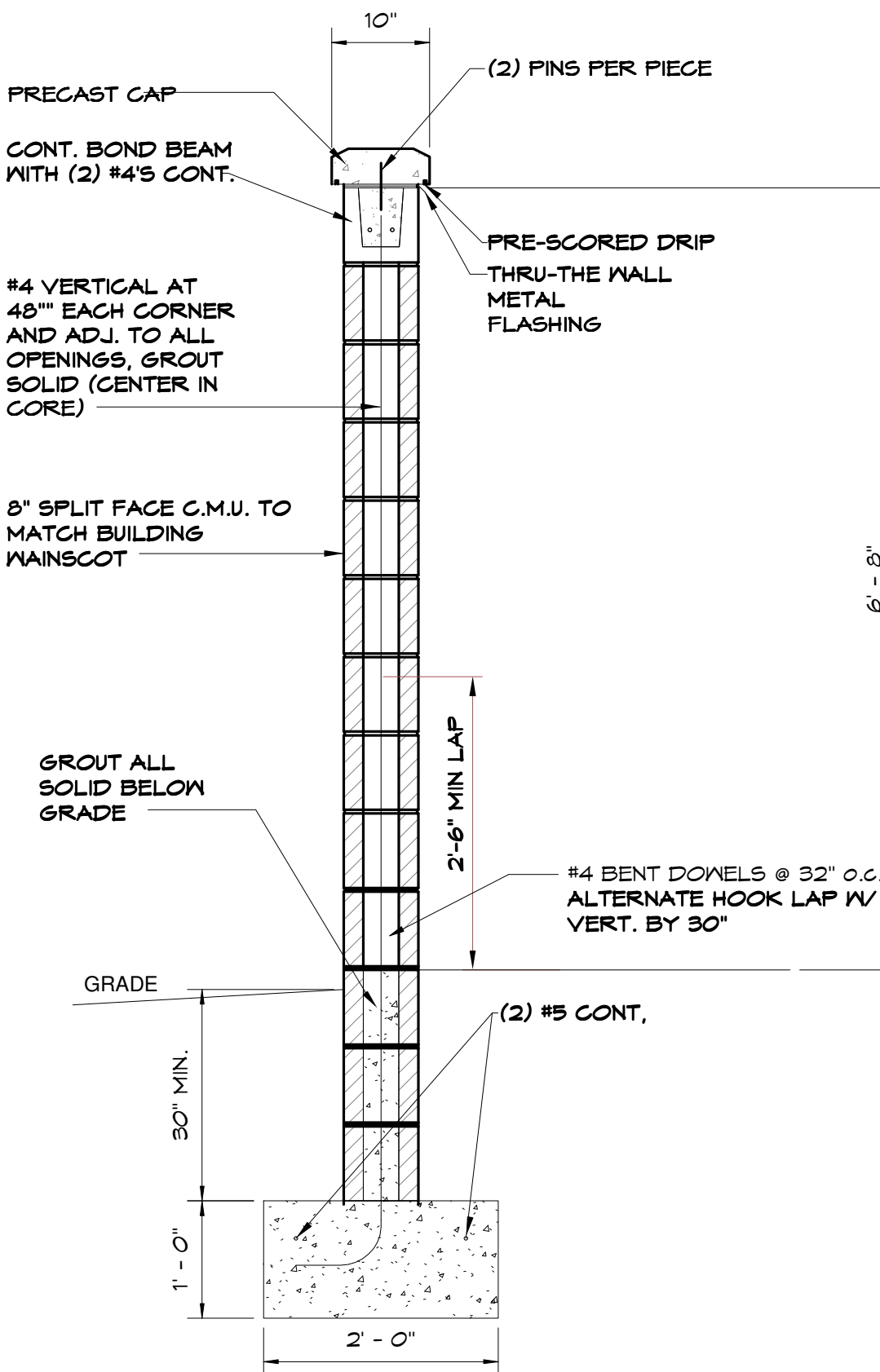
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DE1



DUMPSTER ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"

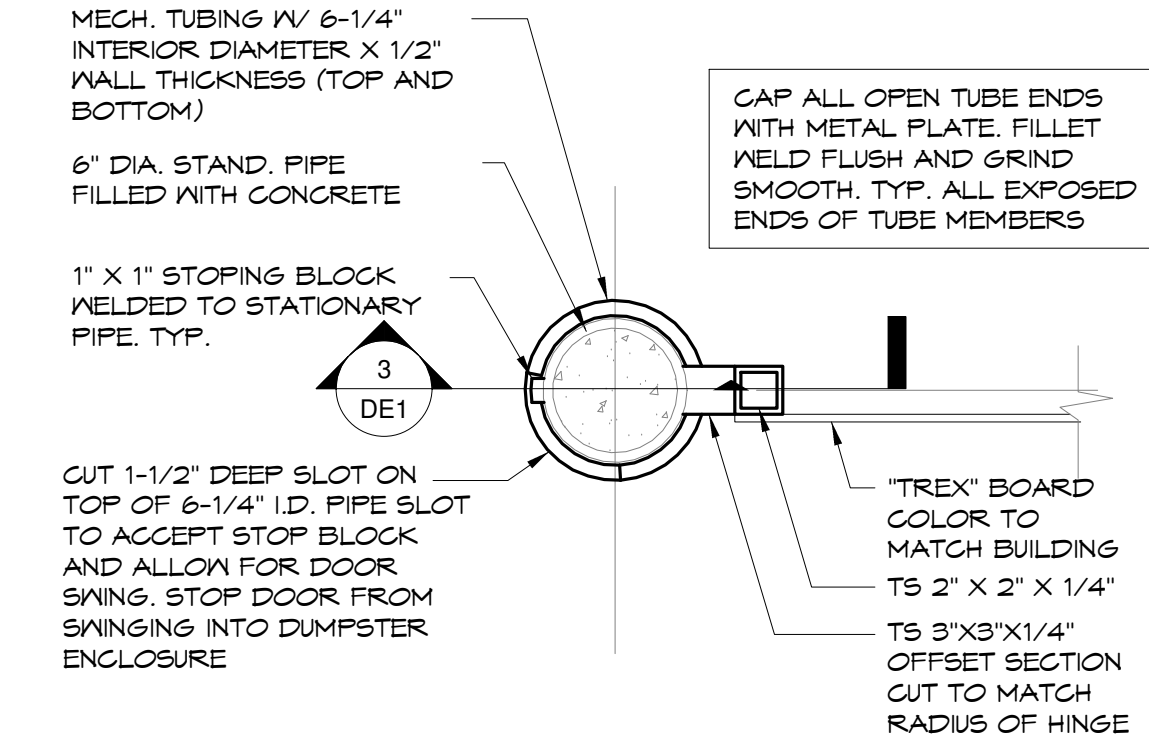
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DUMPSTER SECTION

SCALE: 3/4" = 1'-0"

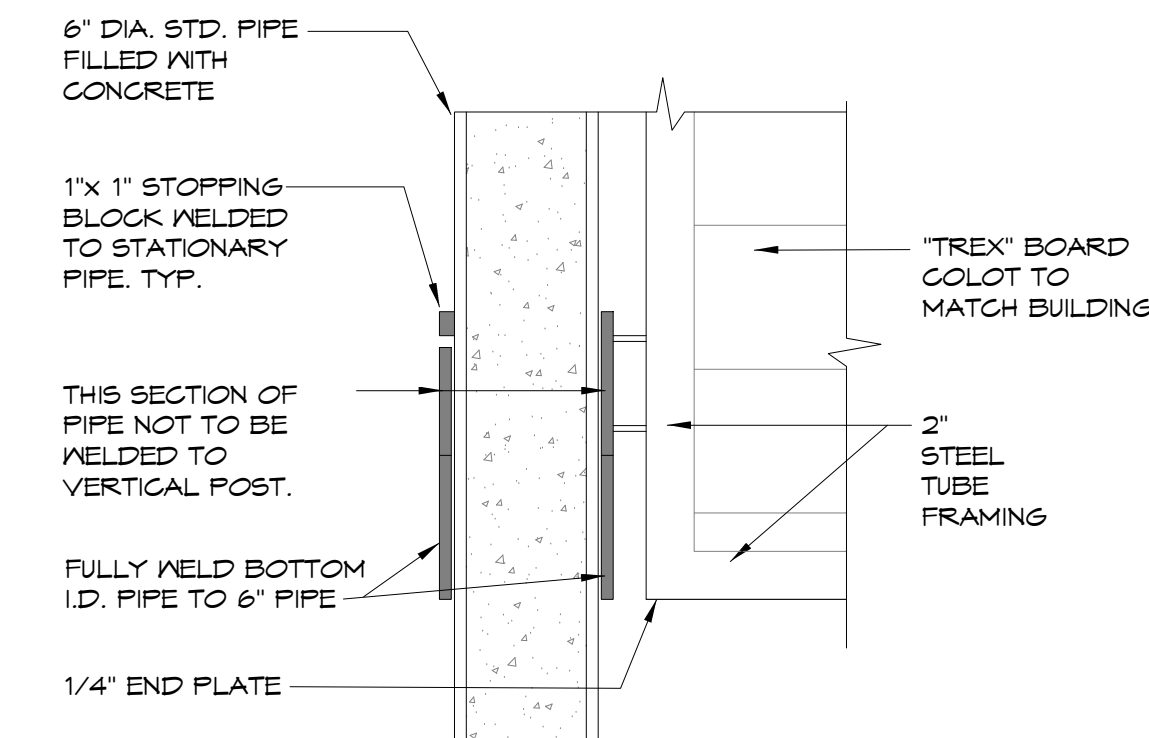
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DE1



DUMPSTER GATE HINGE PLAN

SCALE: 1 1/2" = 1'-0"

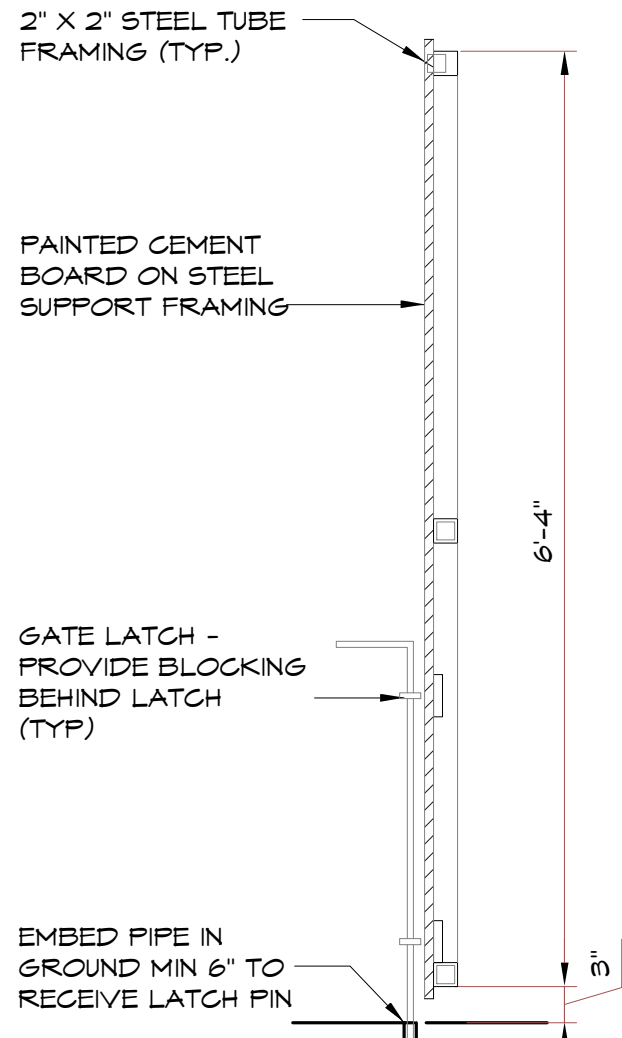
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DUMPSTER GATE HINGE SECTION

SCALE: 1 1/2" = 1'-0"

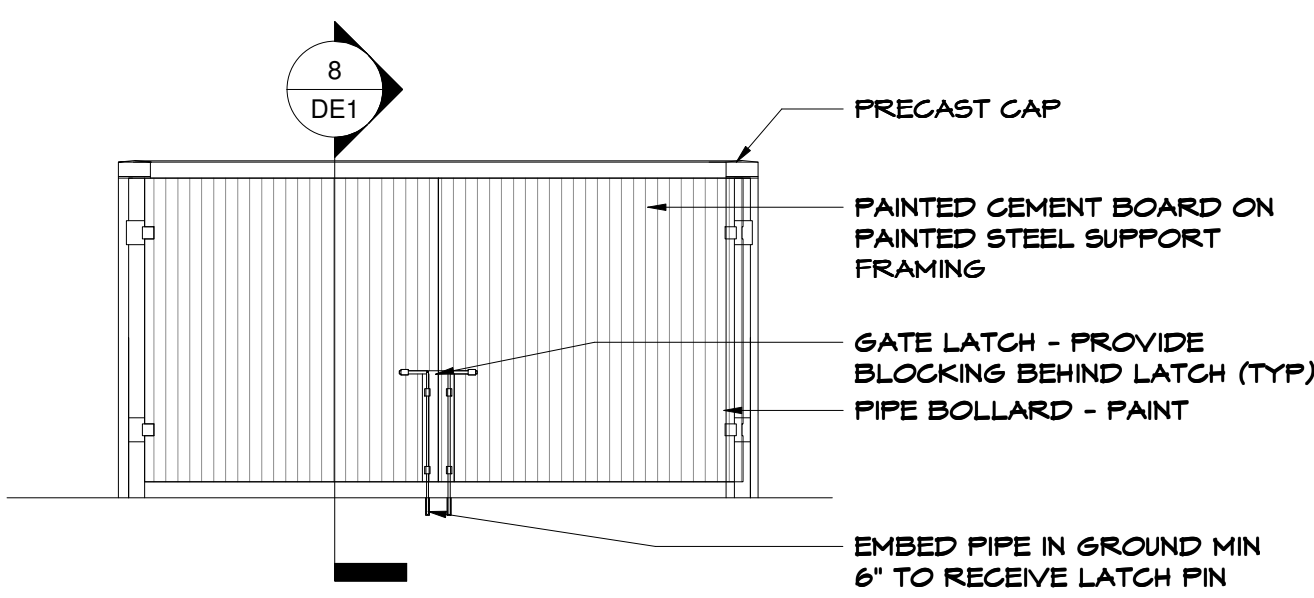
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DE1



DUMPSTER GATE SECTION

SCALE: 3/4" = 1'-0"

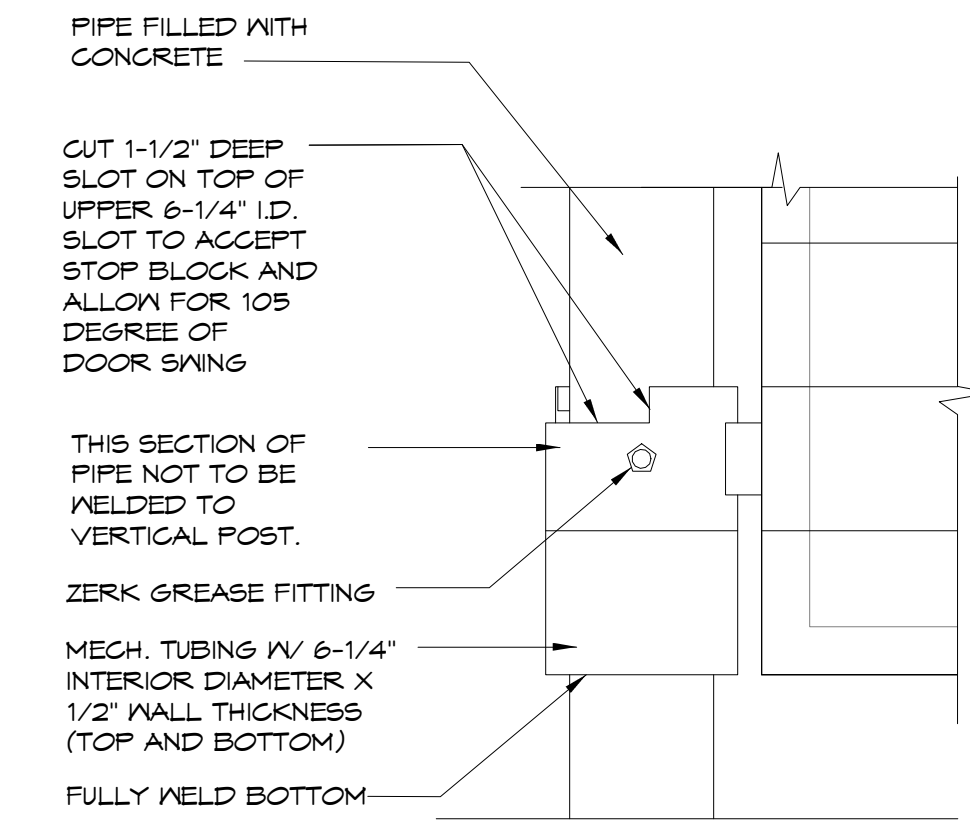
8  
DE1



DUMPSTER ENCLOSURE

SCALE: 1/4" = 1'-0"

7  
DE1



DUMPSTER GATE HINGE ELEVATION

SCALE: 1 1/2" = 1'-0"

4  
DE1

Proposed:  
Typical Dumpster Enclosure

REV. DATE CK'D

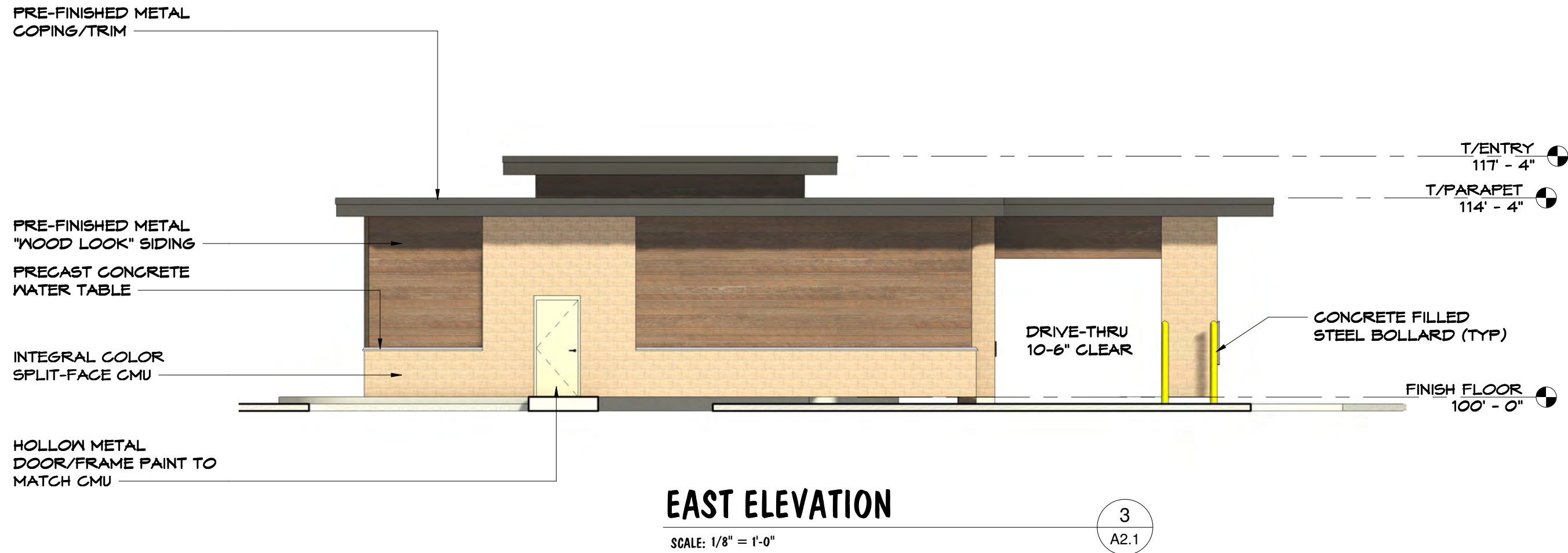
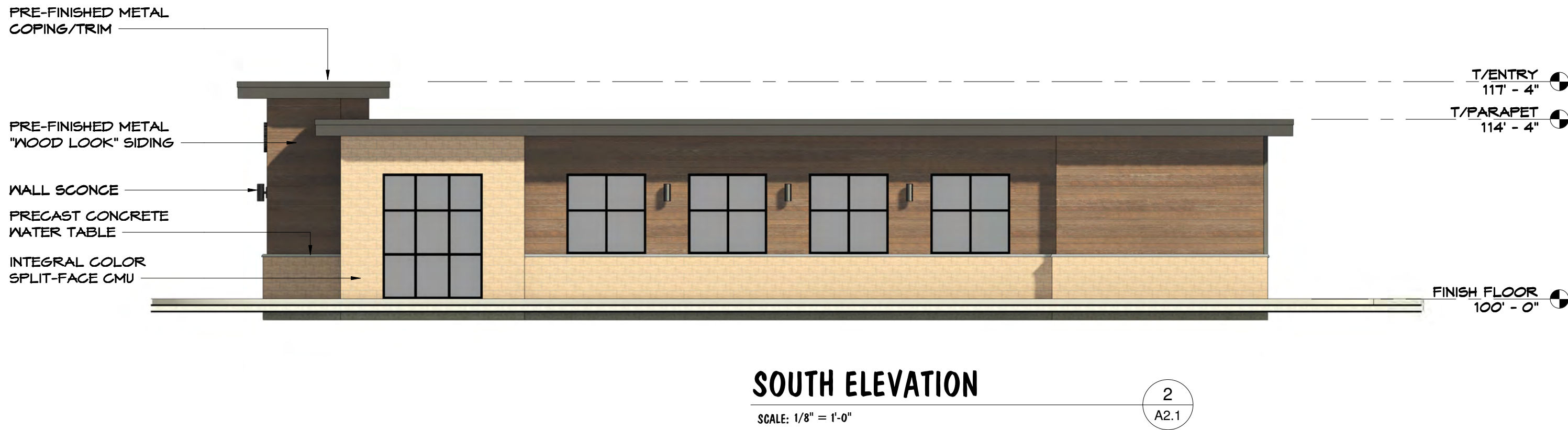
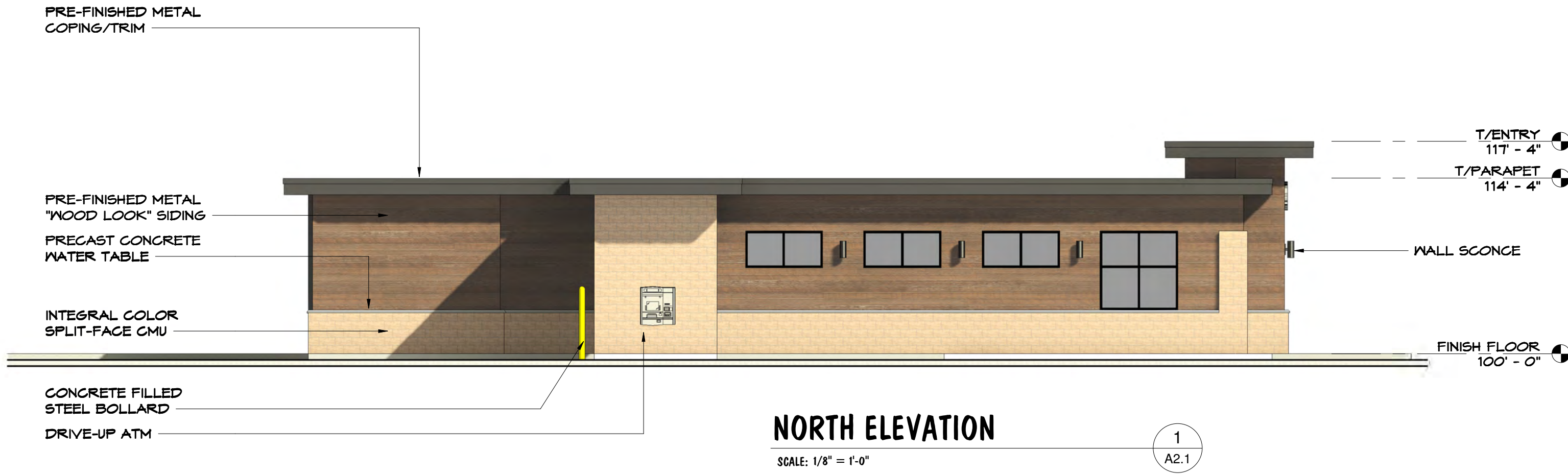
Drawn By: WNS Checked By: WNS

Preliminary  
Not For  
Construction

Date: 06.09.25 Job No:

DE1





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ARCHITECTS

29 HIGH STREET | 513.752.7800  
Milford, OH 45150 | www.kbainc.com

**SHEET CONTENTS:**  
ELEVATIONS

Proposed Bank Building  
**Clepper Lane**

REV. DATE CK'D

Drawn By: WNS Checked By: WNS

Preliminary  
Not For  
Construction

Date: 06.09.25 Job No:

**A2.1**





K|B|A INCORPORATED  
ARCHITECTS

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**SHEET CONTENTS:**  
RENDERINGS

Proposed Bank Building  
**Clepper Lane**

REV. DATE CK'D

Drawn By: WNS Checked By: WNS

Preliminary  
Not For  
Construction

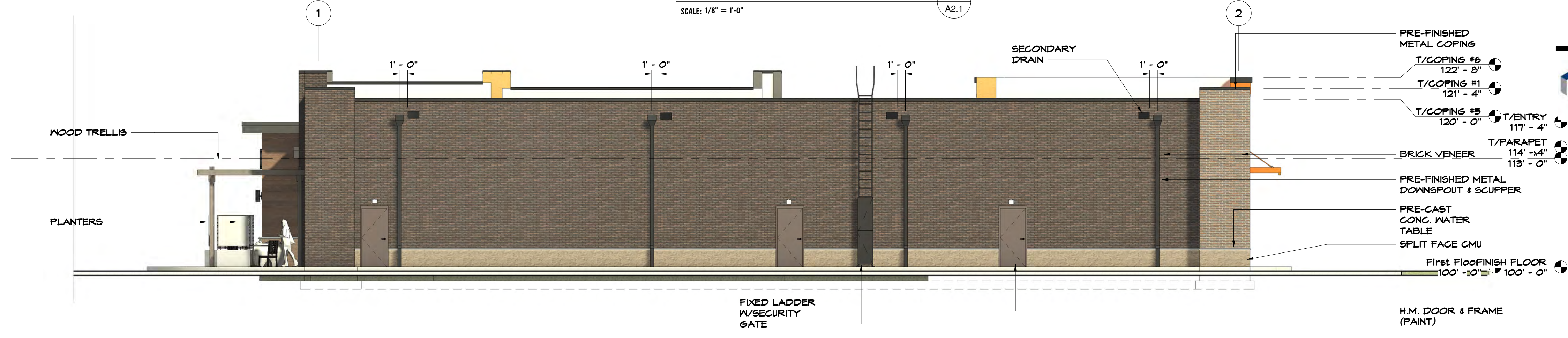
Date: 06.09.25 Job No:

**RND1**

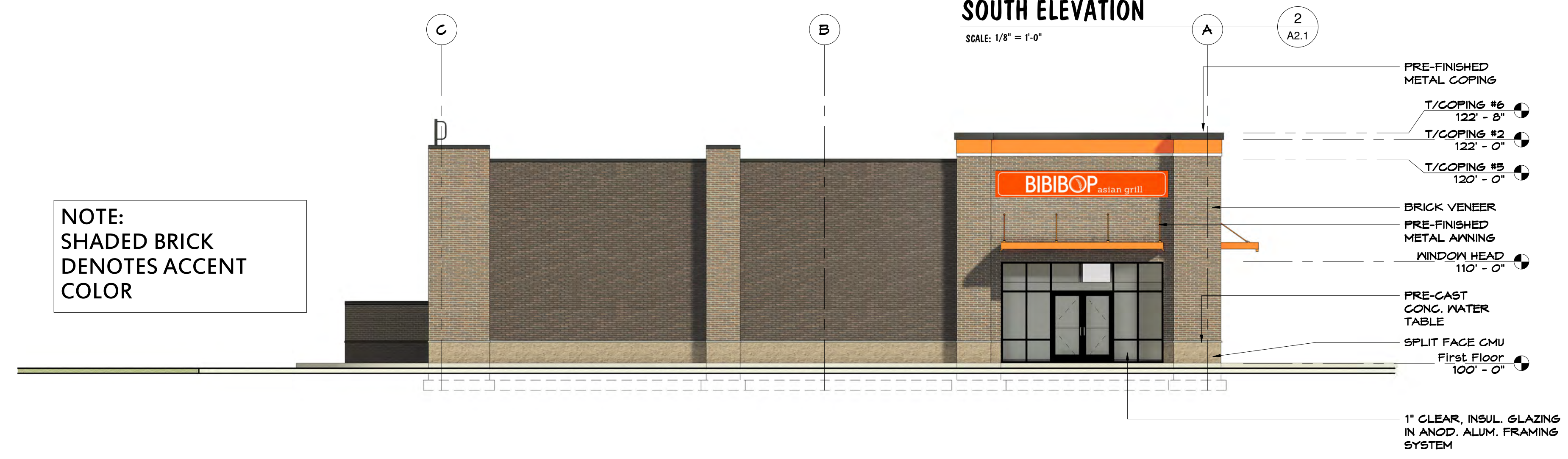




**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

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EST. 1991  
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ARCHITECTS  
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**SHEET CONTENTS:**  
ELEVATIONS

**Bunnell Hill Construction**  
A Division of the Schueler Group

**Proposed:**  
**Retail Center**

REV. DATE CK'D

Drawn By: WNS Checked By: WNS

**Preliminary  
Not For  
Construction**

Date: 06.09.25 Job No: 25.041

**A2.1**





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**SHEET CONTENTS:**  
Renderings



# Proposed: Retail Center

REV. DATE CK'D

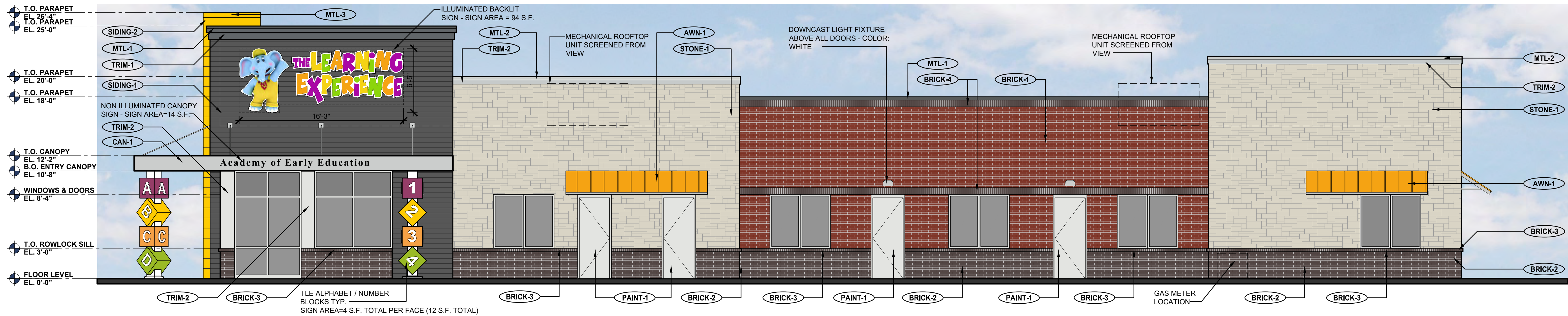
Drawn By: WNS Checked By: WNS

Preliminary  
Not For  
Construction

Date: 06.09.25 Job No: 25.041

# RND1





#### 4 PROPOSED RIGHT SIDE ELEVATION (SOUTH)

SCALE: 3/16"= 1'-0"

SOUTH WALL SIGN CALCULATIONS:

CODE: 1.5 S.F. PER ONE LINEAR FEET OF WALL FACADE OR 150 S.F. MAXIMUM FOR ONE SINGLE COMMERCIAL USE.

REQUIRED: 122 L.F. WALL FACADE X 1.5 S.F. = 183 S.F. TOTAL

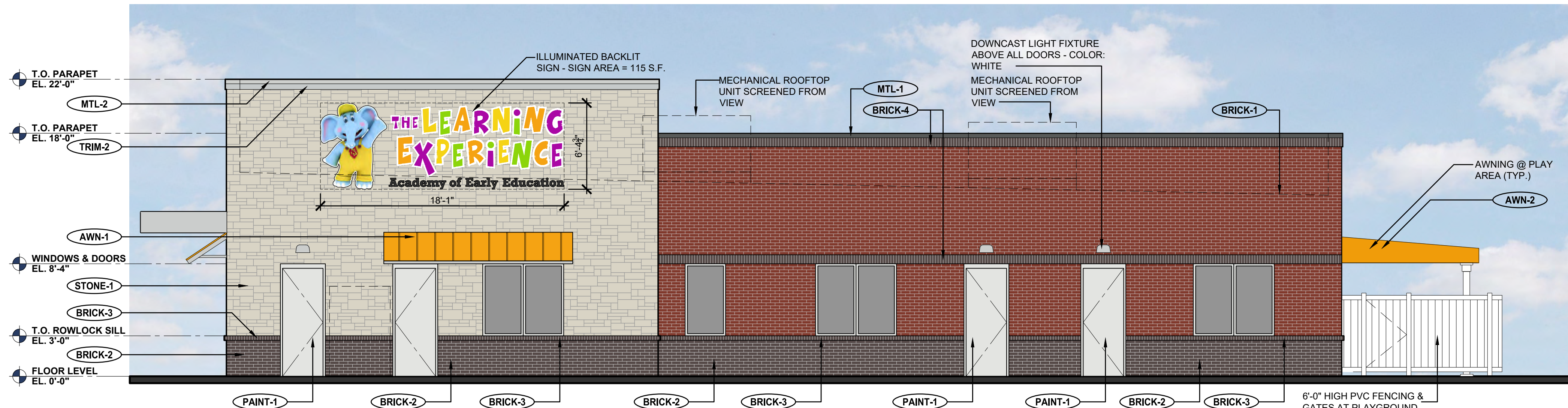
PROPOSED: 132 S.F. TOTAL

EAST WALL SIGN CALCULATIONS:

CODE: 1.5 S.F. PER ONE LINEAR FEET OF WALL FACADE OR 150 S.F. MAXIMUM FOR ONE SINGLE COMMERCIAL USE.

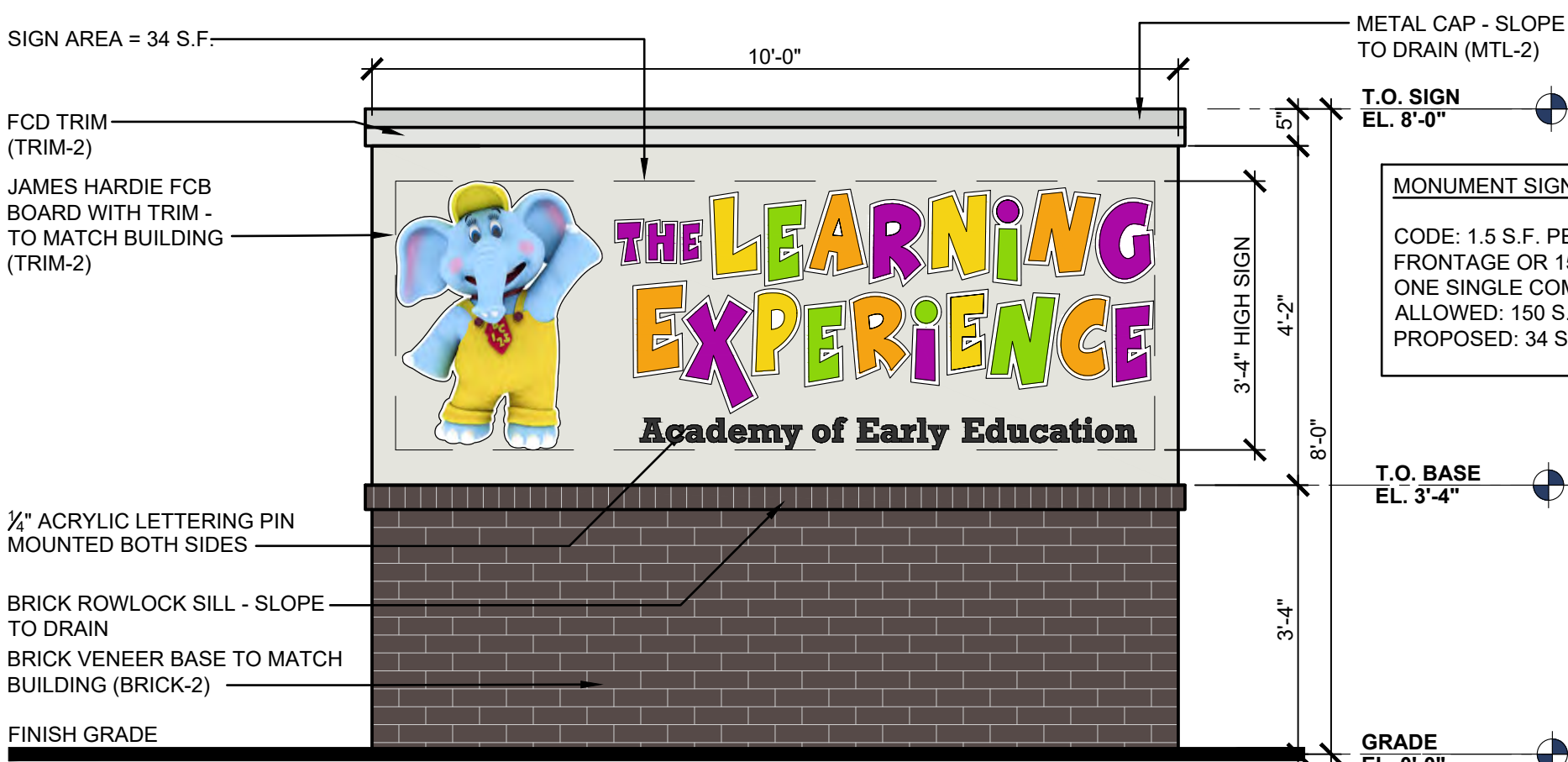
REQUIRED: 82 L.F. WALL FACADE X 1.5 S.F. = 123 S.F. TOTAL

PROPOSED: 115 S.F. TOTAL



#### 3 PROPOSED REAR ELEVATION (EAST)

SCALE: 3/16"= 1'-0"



#### 1 MONUMENT SIGN ELEVATION

SCALE: 1/2"= 1'-0"

MONUMENT SIGN CALCULATIONS:

CODE: 1.5 S.F. PER ONE LINEAR FEET OF FRONTAGE OR 150 S.F. MAXIMUM FOR ONE SINGLE COMMERCIAL USE.

ALLOWED: 150 S.F. MAXIMUM

PROPOSED: 34 S.F.

PRECAST ON TOP OF WALL - COLOR TO MATCH BRICK-2

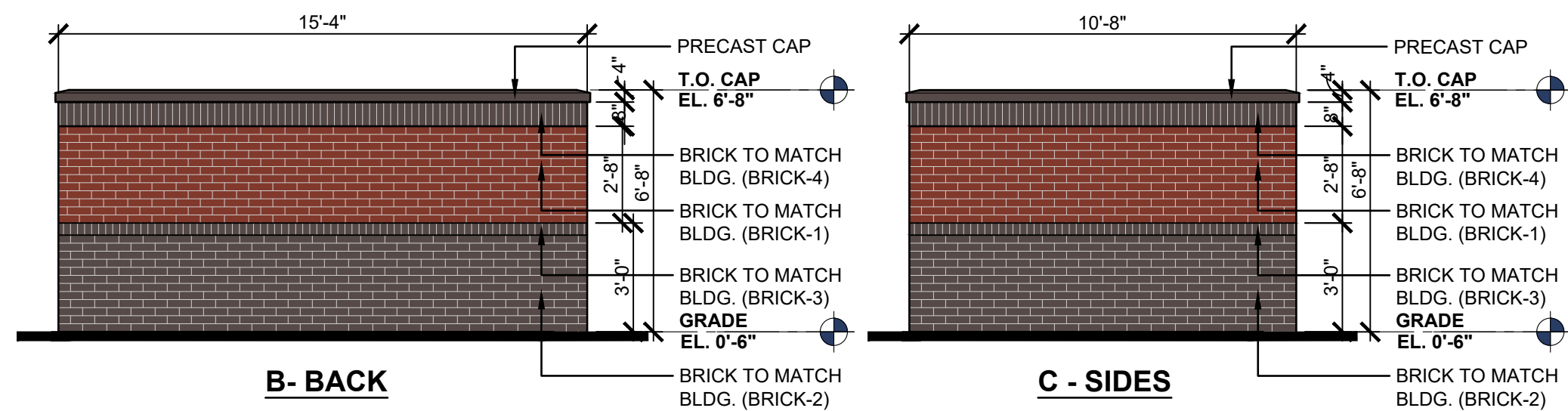
(2) 4" DIAMETER GATE POSTS - SET IN 18" DIA. X 30" DEEP CONCRETE FOOTING

METAL SLAT PANEL INFILL AT GATES (PAINT-1)

A - FRONT

#### 2 TRASH ENCLOSURE ELEVATIONS

SCALE: 1/4"= 1'-0"



B - BACK

C - SIDES

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STOREFRONT	KAWNEER	TRIFAB 451	CLEAR ANODIZED
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED COLOR: PAINT-1
FIXED WINDOW	PLYGEM, SILVERLINE OR ANDERSEN	PER WINDOW SCHEDULE	WHITE
STONE-1	QUALITY STONE VENEER (OR EQUAL)	CALIZA OHIO	CALACATTA
BRICK-1	GENERAL SHALE (OR EQUAL)	MODULAR RUNNING BOND	DONAMIRE
BRICK-2	GENERAL SHALE (OR EQUAL)	MODULAR RUNNING BOND	VINTAGE PORT
BRICK-3	GENERAL SHALE (OR EQUAL)	ROWLOCK SILL RUNNING BOND	VINTAGE PORT
BRICK-4	GENERAL SHALE (OR EQUAL)	SOLDIER COURSE RUNNING BOND	VINTAGE PORT
SIDING-1	JAMES HARDIE "V" GROOVE SIDING	HARDIEPLANK 6" EXPOSURE - SMOOTH	IRON GRAY
SIDING-2	JAMES HARDIE "V" GROOVE SIDING	HARDIEPLANK 12" EXPOSURE - SMOOTH	SHERWIN WILLIAMS CONFIDENT YELLOW (#SW6911)
TRIM-1	JAMES HARDIE SIDING SIDING	HARDIEPLANK TRIM BOARDS - SMOOTH	IRON GRAY
TRIM-2	JAMES HARDIE SIDING SIDING	HARDIEPLANK TRIM BOARDS - SMOOTH	ICE CUBE (SW #6252)
PAINT-1	SEMI-GLOSS	SHERWIN WILLIAMS	ICE CUBE (SW #6252)
PAINT-2	SEMI-GLOSS	SHERWIN WILLIAMS	AFRICAN GRAY (#SW 9162)
MTL-1	BERRIDGE	SHEET METAL TRIM / COPING CAP	CHARCOAL GREY
MTL-2	BERRIDGE	SHEET METAL TRIM / COPING CAP	SHASTA WHITE
MTL-3	PRIMERED	SHEET METAL TRIM COPING CAP	SHERWIN WILLIAMS POWDURA SAFETY YELLOW (#PYS8-C0007)
AWN-1	AWNING	ALUM. PREFAB. METAL STANDING SEAM AWNING	METAL PANELS: SW POWDURA - GOLDEN CORN - #PYS8-C0000 FRAMING: SW POWDURA GRAY SHELL - #PAS8-C0000
AWN-2	AWNING	VINYL FABRIC PREFAB. AWNING	ORANGE
CAN-1	CANOPY	ALUMINUM PREFAB. CANOPY W/ TURNBUCKLES	CLEAR ANODIZED
KBOX-1	KNOX BOX (MAIN ENTRY & MECHANICAL ROOM)	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	COLOR: DARK BRONZE (REF. NOTE 2 BELOW)

CLEPPER LN. & GLEN-ESTE  
WITHAMSVILLE RD.  
UNION TWP., OHIO 45245  
TLE SITE ID: 10H0041

THE LEARNING  
EXPERIENCE  
Academy of Early Education

REVISION		ISSUE	
NO.	DESCRIPTION	NO.	DESCRIPTION
01	ARCHITECTURAL SITE PLAN	01	ARCHITECTURAL SITE PLAN
02	SCHEMATIC DESIGN	02	SCHEMATIC DESIGN

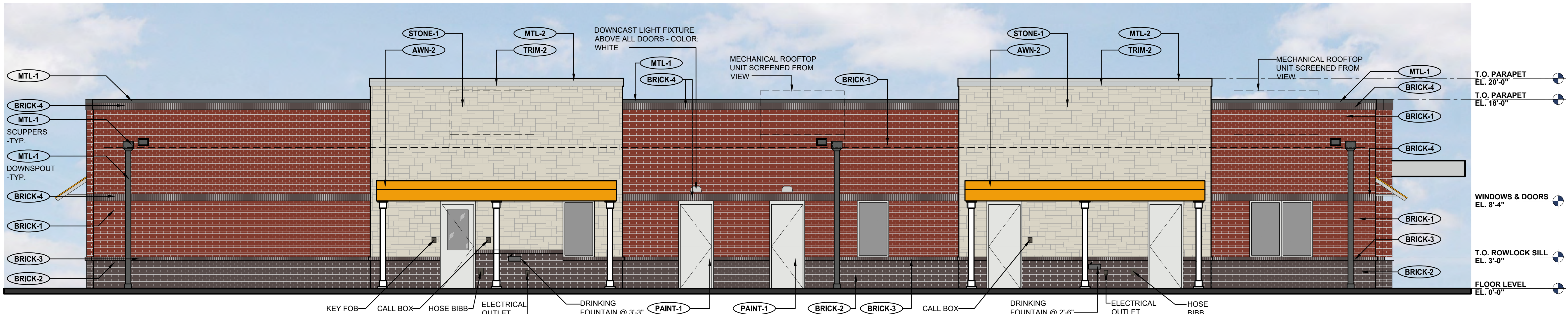
25.012  
PROJECT NUMBER  
BDG  
DRAWN BY  
SAB  
APPROVED BY

PRELIMINARY  
NOT FOR  
BIDDING OR  
CONSTRUCTION

PROPOSED  
EXTERIOR  
ELEVATIONS

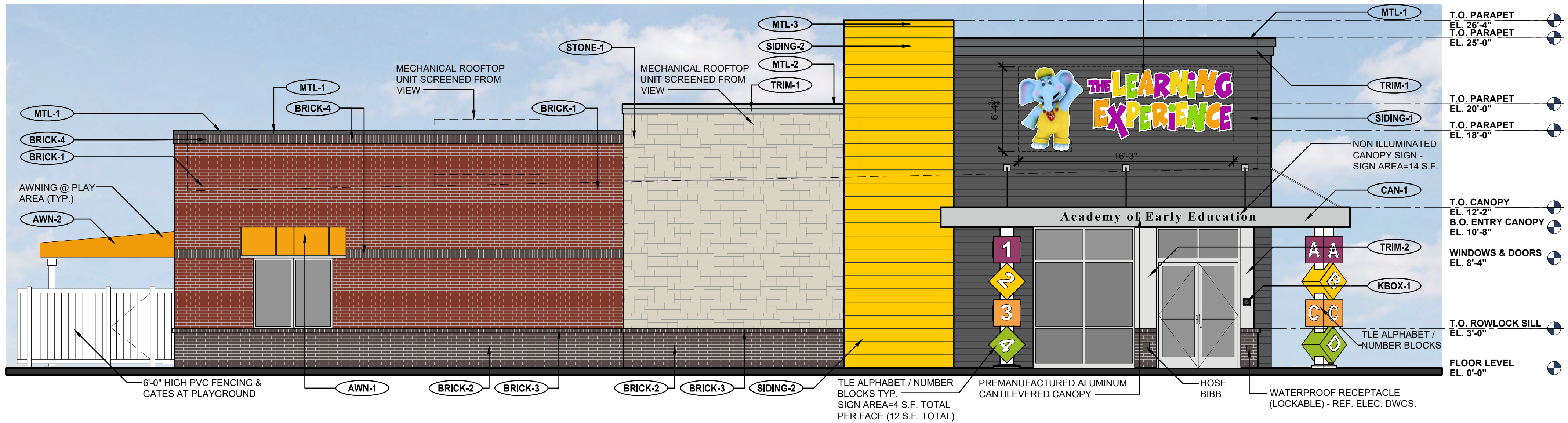
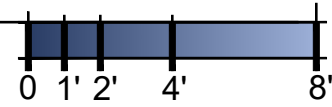
A-2





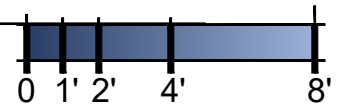
#### 4 PROPOSED LEFT SIDE ELEVATION (NORTH)

SCALE: 3/16"= 1'-0"



#### 3 PROPOSED FRONT ELEVATION (WEST)

SCALE: 3/16"= 1'-0"

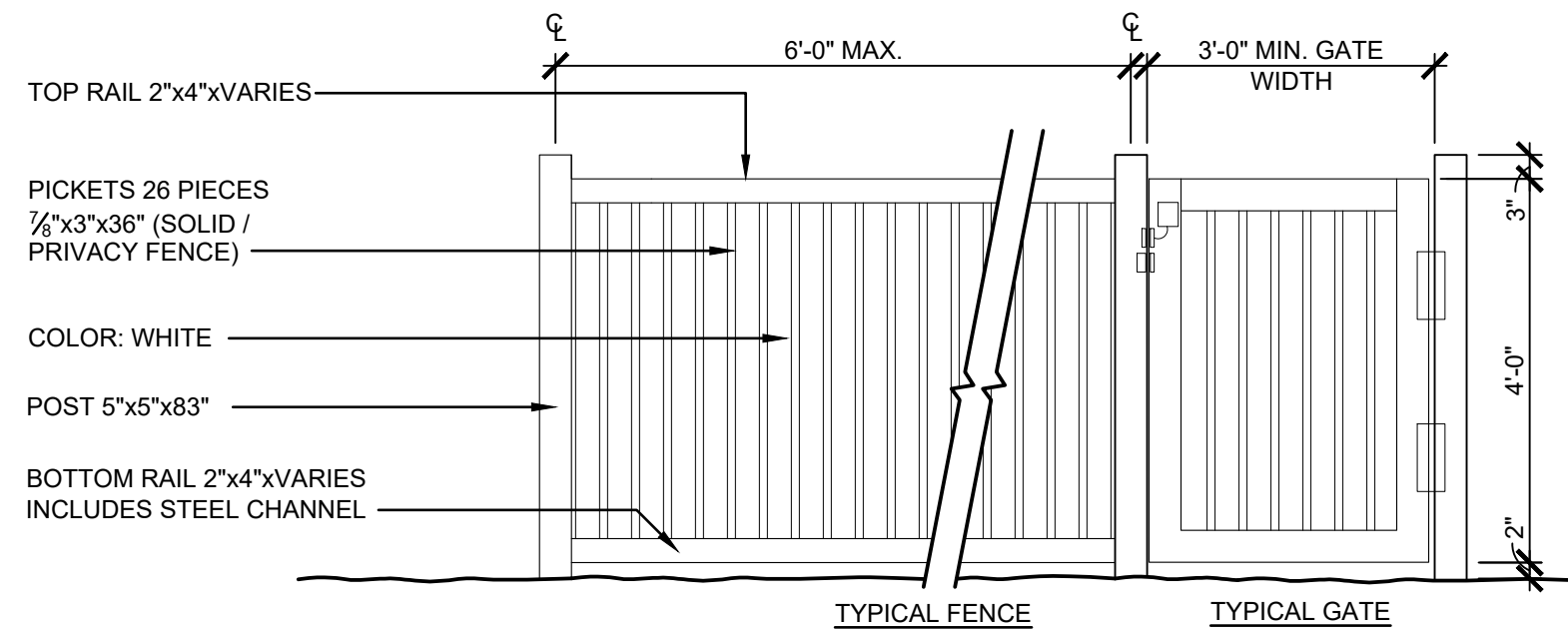


##### WEST WALL SIGN CALCULATIONS:

CODE: 1.5 S.F. PER ONE LINEAR FEET OF WALL FACADE OR 150 S.F. MAXIMUM FOR ONE SINGLE COMMERCIAL USE.

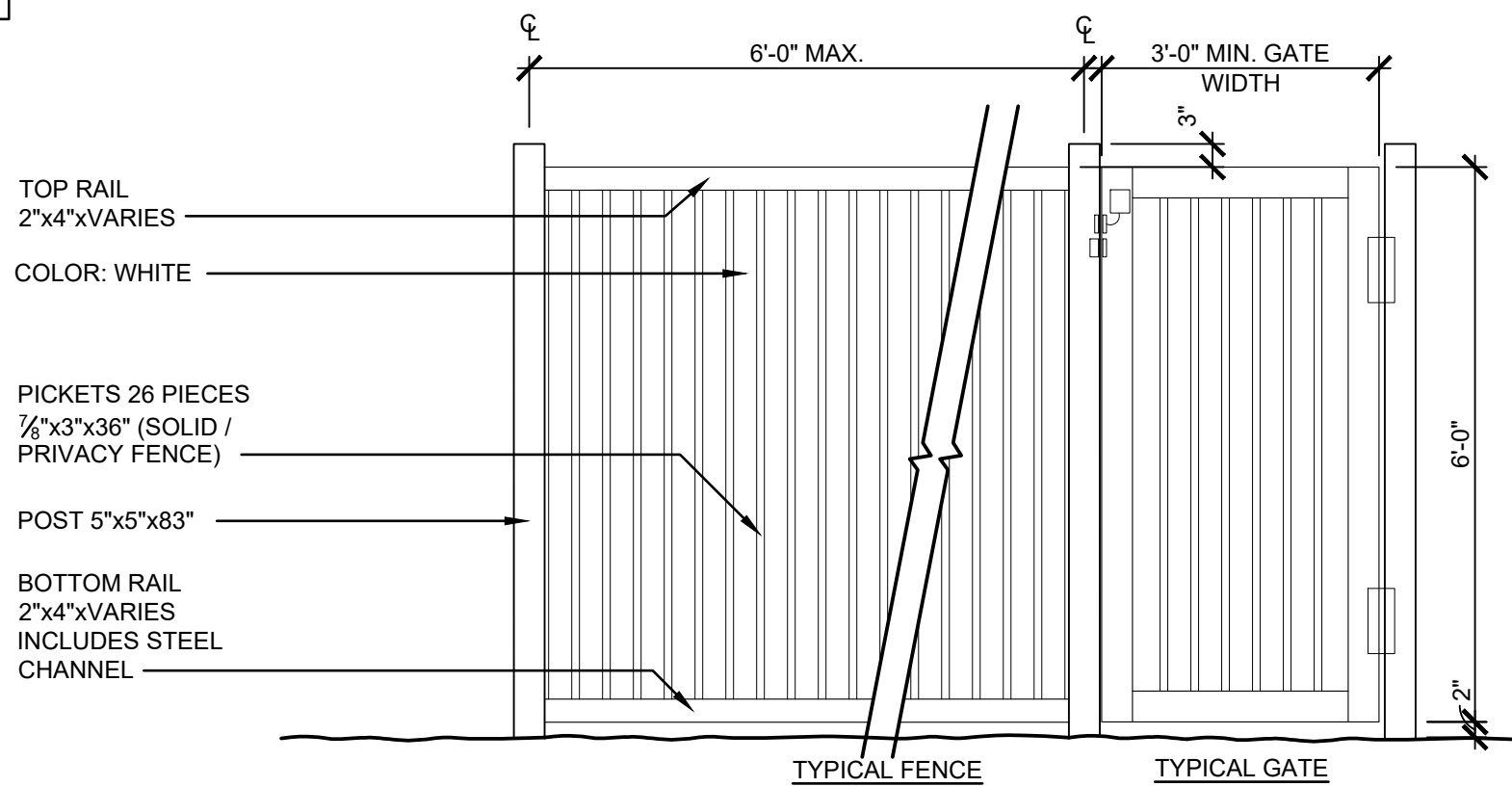
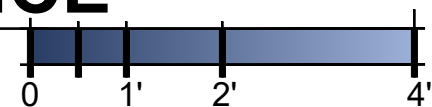
REQUIRED: 82 L.F. WALL FACADE X 1.5 S.F. = 123 S.F. TOTAL

PROPOSED: 120 S.F.



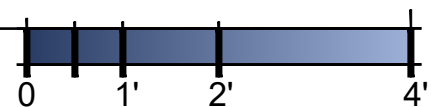
#### 2 TYP. PVC PERIMETER SIDEWALK FENCE

SCALE: 1/2"= 1'-0"



#### 1 TYP. PVC PLAYGROUND FENCE

SCALE: 1/2"= 1'-0"



##### EXTERIOR MATERIAL SCHEDULE

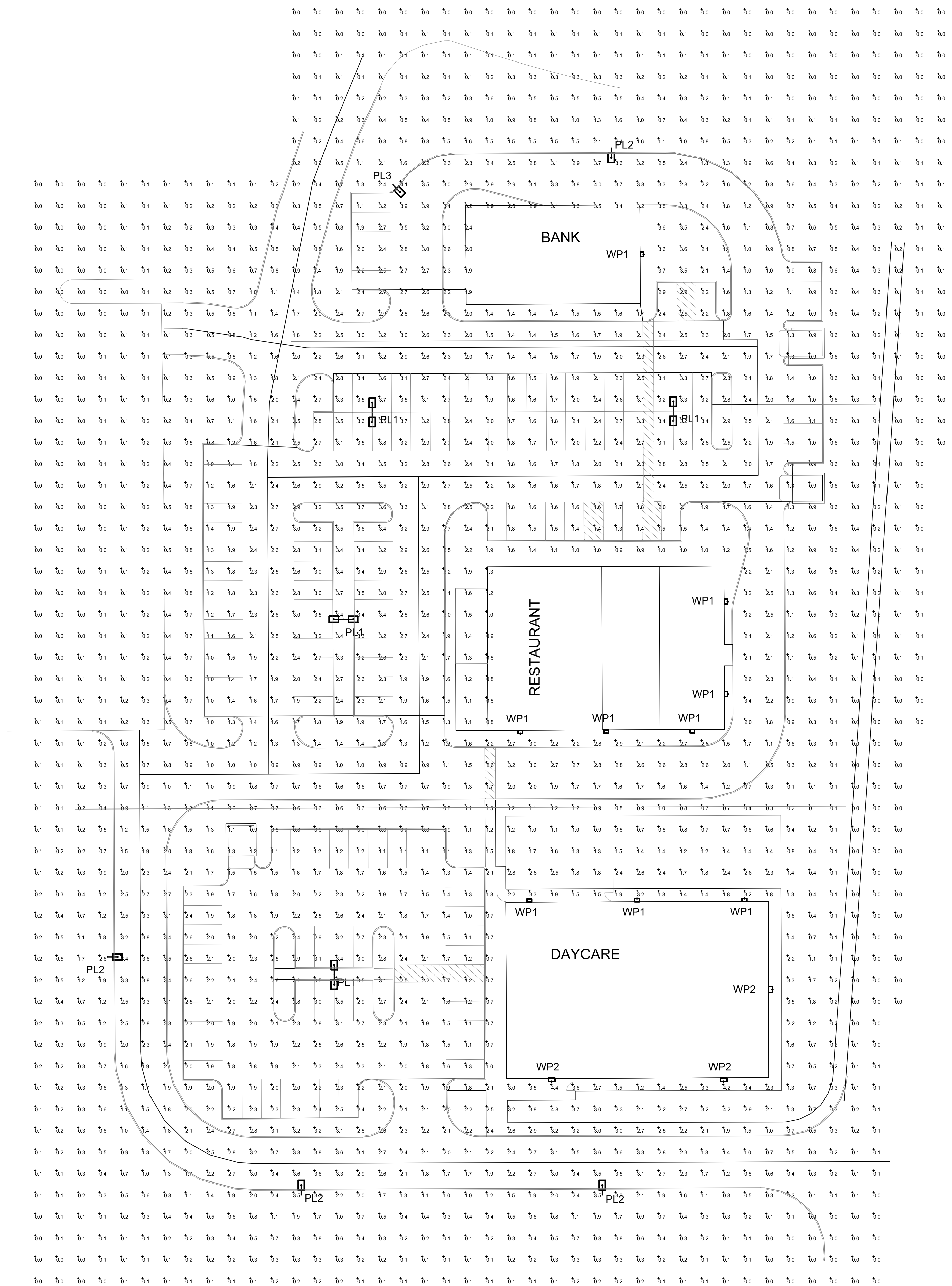
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STOREFRONT	KAWNEER	TRIFAB 451	CLEAR ANODIZED
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED COLOR: PAINT-1
FIXED WINDOW	PLYGEM, SILVERLINE OR ANDERSEN	PER WINDOW SCHEDULE	WHITE
STONE-1	QUALITY STONE VENEER (OR EQUAL)	CALIZA OHIO	CALACATTA
BRICK-1	GENERAL SHALE (OR EQUAL)	MODULAR RUNNING BOND	DONAMIRE
BRICK-2	GENERAL SHALE (OR EQUAL)	MODULAR RUNNING BOND	VINTAGE PORT
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TRIM-1	JAMES HARDIE SIDING SIDING	HARDIEPLANK TRIM BOARDS - SMOOTH	IRON GRAY
TRIM-2	JAMES HARDIE SIDING SIDING	HARDIEPLANK TRIM BOARDS - SMOOTH	ICE CUBE (SW #6252)
PAINT-1	SEMI-GLOSS	SHERWIN WILLIAMS	ICE CUBE (SW #6252)
PAINT-2	SEMI-GLOSS	SHERWIN WILLIAMS	AFRICAN GRAY (#SW 9162)
MTL-1	BERRIDGE	SHEET METAL TRIM / COPING CAP	CHARCOAL GREY
MTL-2	BERRIDGE	SHEET METAL TRIM / COPING CAP	SHASTA WHITE
MTL-3	PRIMERED	SHEET METAL TRIM COPING CAP	SHERWIN WILLIAMS POWDURA SAFETY YELLOW (#PYS8-C0007)
AWN-1	AWNING	ALUM. PREFAB. METAL STANDING SEAM AWNING	METAL PANELS: SW POWDURA - GOLDEN CORN - #PYS8-C0000 FRAMING: SW POWDURA GRAY SHELL - #PAS9-C0000
AWN-2	AWNING	VINYL FABRIC PREFAB. AWNING	ORANGE
CAN-1	CANOPY	ALUMINUM PREFAB. CANOPY W/ TURNBUCKLES	CLEAR ANODIZED
KBOX-1	KNOX BOX (MAIN ENTRY & MECHANICAL ROOM)	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	COLOR: DARK BRONZE (REF. NOTE 2 BELOW)

##### FINISH SCHEDULE NOTES:

- G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING/INSTALLATION.
- G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS' WARRANTY REQUIREMENTS.
- REFER TO SHEET A-031 FOR FLASHING FINISH SCHEDULE.



Disclaimer:  
AGI and Genlyte has made great efforts to ensure the accuracy of their program, however AGI, Genlyte and King Lighting Inc. assume no liability for the decisions made with the assistance of these design programs. Actual light levels generated by installed luminaires may differ from the light levels predicted by AGI or GENESIS for a number of reasons including (but not limited to) electrical supply, equipment tolerances, installation details, lamp/ballast interaction, thermal factors and obstructions from within the space.



Luminaire Schedule							
Project: Clepper Lane Eastgate - Site							
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Total Watts
	4	PL1	Back-Back	Lithonia 2-DSX0 LED P7 40K 70CRI T5W MVOLT SPA FINISH / SSS 20 4C DM28AS FINISH	0.903	21557	1366.48
	4	PL2	Single	Lithonia DSX0 LED P7 40K 70CRI T2M MVOLT SPA FINISH / SSS 20 4C DM19AS FINISH	0.903	20084	683.24
	1	PL3	Single	Lithonia DSX0 LED P7 40K 70CRI T4M MVOLT SPA FINISH / SSS 20 4C DM19AS FINISH	0.903	20621	170.81
	9	WP1	Single	Lithonia WDG22 LED P4 40K 80CRI TETM MVOLT SRM FINISH	0.903	4202	46.6589
	3	WP2	Single	Lithonia WDG22 LED P4 40K 80CRI T2M MVOLT SRM FINISH	0.903	4206	46.6589

Calculation Summary							
Project: Clepper Lane Eastgate - Site							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPits taken Overall	Illuminance	Fc	1.22	4.8	0.0	N/A	N/A
StatArea - Bank Parking Lot	Illuminance	Fc	2.40	4.0	0.8	3.00	5.00
StatArea - Daycare Parking Lot	Illuminance	Fc	2.07	3.5	1.0	2.07	3.50
StatArea - Restaurant Parking Lot	Illuminance	Fc	2.39	3.8	0.9	2.66	4.22

NOTES:  
TYPE PL1, PL2, & PL3 - FIXTURES ARE MOUNTED AT 22'-6" A.F.G. (20'-0" POLE & 2'-6" BASE)  
TYPE WP1 & WP2 - FIXTURES ARE MOUNTED ON BLDG AT 12'-0" A.F.G.  
READINGS ARE TAKEN AT 0'-0" A.F.G.

IF USING PRODUCTS WITH SELECTABLE KELVIN TEMPERATURES AND/OR ADJUSTABLE LUMEN PACKAGES, PLEASE ENSURE THOSE FIXTURES ARE SET IN THE FIELD TO THE DESIGN PROVIDED ON THIS DRAWING

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Design Criteria			
DESIGN FILE: ClepperLaneEastgate_Site052725.agi		FIXTURE LAYOUT IS BASED ON A 0.90LIGHT LOSS FACTOR AND REFLECTANCE VALUES UNLESS NOTED OTHERWISE.	
MINIMUM: MAXIMUM: AVERAGE:	AVE./MIN: MAX./AVE: MAX./MIN:	INTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.G. UNLESS NOTED OTHERWISE.	EXTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.G. UNLESS NOTED OTHERWISE.

**King Lighting, Inc.**  
700 West Pete Ross Way - Suite 215  
Cincinnati, OH 45203  
(859) 261-5511 Fax (859) 261-2228  
www.king-lighting.com

Lighting Calculations for  
Clepper Lane Eastgate - Site

LIGHTING SITE PLAN	SCALE 1"=30'-0"	DESIGNER JJ	CHECKED JJ	DATE 05/27/25	SHEET S1
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