



Union Township

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ZONING COMMISSION AGENDA

Wednesday, December 18th, 2024

7:00 P.M.

Location: *Queen City Room; Union Township Civic Center

- A. CALL TO ORDER**
- B. PLEDGE OF ALLEGIANCE**
- C. ROLL CALL**
- D. ACTION ON MINUTES**
- E. OLD BUSINESS – NONE TO BE RE-OPENED**
- F. NEW BUSINESS**

Request:

CASE# 2-24-Z

A Zone Map Amendment from R-1 and B-1 to PD to allow an expansion to an existing multi-family residential area.

| | |
|------------------|---|
| Applicant: | Daniel Lowenstein |
| Owner: | VA7 Southwind LLC, c/o Alliance Tax Advisors |
| Site Location: | 909 State Route 125, and State Route 125 |
| Parcel #s | 413217G047. and 413217G251. |
| Existing Zoning: | Single Family Detached Structure Residential (R-1), and Business (B-1) Zone |
| Size: | 4.232 Acres |

- G. ADMINISTRATIVE**

RECORD OF PROCEEDINGS

Minutes of

Meeting

GOVERNMENT FORMS & SUPPLIES 844-224-3338 FORM NO. 10148

Held Union Township Zoning Commission

July 24, 20 2024

The July 24th, 2024 meeting of the Union Township Zoning Commission was called to order, at 7:00 PM by Mr. Cory Wright, with the invitation to join in the Pledge of Allegiance. Members, Bill Shannon, Eric Louis, Michael Outrich, Bradley Toft and Robert Wing II were in attendance. Cory Wright, Township Administrator, represented the Planning & Zoning Department.

Roll Call: Mr. Outrich, aye; Mr. Wing II, aye; Mr. Shannon, aye; Mr. Louis, aye; Mr. Toft, aye.

Mr. Wing called for approval of the minutes as distributed from the March 27th, 2024 meeting. Mr. Toft seconds the motion.

Roll Call: Mr. Wing II, aye; Mr. Toft, aye; Mr. Outrich, aye; Mr. Shannon, aye; Mr. Louis, aye.

Mr. Louis starts the meeting off by heading into case #1-24-Z, as there was no old business on the agenda. Mr. Wright introduces the case with some background information on the property. This case involves 5 parcels, approximately four acres of property currently zoned as R-1, R-2 and PD. The applicant is asking for all parcels to be changed to Planned and Development. The majority of the surrounding property is zoned PD and is made up of multifamily, commercial and retail uses. Union Township Comprehensive Land Use Plan indicates that the proposal is located within the Ivy Pointe Mixed Use Corridor, which identifies this particular area as being appropriate for mixed-use developments—*including entertainment uses, small-scale retail, restaurant, and lodging and convention-type uses, with “...an eye toward creating synergy among land uses.”* The Plan also calls for design strategies aimed at fostering a sense of place, high quality facade design, pedestrian connectivity and accessibility, and parking oriented towards the rear of structures, with buildings oriented toward the public street—and with building orientation to be designed to create and foster a “streetscape” appearance to streets and / or access drives. Additionally, the Plan calls for high quality landscaping, monument signage, and identifies the Planned Development (PD) District as the most appropriate zoning classification to achieve the stated goals and objectives within the designated corridor. Gleneste-Withamsville Road is a Major Collector 2-lane roadway that transitions to a 4-lane roadway with additional turn lanes approximately 500-600 feet north of the site, with a traffic volume of approximately 11,000 average daily trips (ADT) in the area south of the Clepper Lane intersection (to the north). Clepper Lane is primarily a Major Collector 2-lane roadway (with additional turn lanes at the Gleneste-Withamsville intersection), with a traffic volume of approximately 4,400 average daily trips (ADT) in the area of the intersection—*prior to recent road construction activities.*

The Applicant acquired the five (5) subject parcels from October of 2016 to December of 2020. In April of 1995, the Retail Land Limited Partnership rezoned the northern-most parcel to Planned Development (PD)—in accordance with a concept plan submittal—to provide an additional landscaping buffer as well as more commercial land to the existing Planned Development to the north (which includes Sam’s Club, Steak-n-Shake, Aldi, etc.). The current, proposed plan for the northern-most parcel is for commercial uses and will also involve significant landscaping / buffers (so the proposed uses would essentially remain the same); however, this parcel would become part of a new Planned Development (PD) District to the south, if approved. **Please refer to the Applicant’s statements, plans, and other application enclosures for more information regarding this application / request.*

The Applicant’s proposal meets the objectives of the Horizon 2030: Union Township Comprehensive Land Use Plan’s Future Land Use Policies and Recommendations for the Ivy Pointe Mixed Use Corridor. This proposal will establish a mixed-use site with an entertainment use, small-scale retail, a restaurant, and an amphitheater gathering space—and will involve the consolidation of fragmented and underutilized parcels. The vegetative buffering provided on the plan will result in the enhancement of the overall condition of the site and surrounding area. Furthermore, as mentioned earlier in this report, the utilization of Planned Development (PD) District is the precise mechanism to achieve planning goals. Most importantly, the Applicant’s current plans and renderings for the site illustrate that all of the Plan’s major (applicable) Policies and Recommendations for this portion of the Ivy Pointe Mixed Use Corridor will be achieved:

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the use of high-quality design and building materials, the provision of pedestrian connectivity and accessibility, locating parking towards the rear of the proposed structures, with buildings oriented toward the public street—and fostering a streetscape appearance and creating a firm sense of place that will help synergize the land uses in the area.

If the Board should choose to forward a favorable recommendation to this PD Zone Map Amendment request, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant will need to address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant should explore the feasibility of creating a cross-access easement and collective/joint parking easements with the adjoining property to the south.
- 3) The Applicant will ultimately need to provide additional details for the proposed landscaping plan. *The landscaping plan must include elements for a decorative streetscape appearance and shall also include street trees. Additionally, all landscaping buffers should be marked as preservation areas, and any vegetation disturbed should be repaired, supplemented, or replaced.* This is an item that can be addressed administratively by staff.
- 4) The Applicant shall finalize all renderings and proposed building materials, which shall be subject to administrative review and approval by staff. Traditional building materials such as brick, stone, and other architectural enhancements shall be consistent with the proposed renderings, as to present a cohesive design.
- 5) A signage plan will ultimately need to be submitted. All free-standing signage should be limited to monument signage, capped at a height of not more than 10' from finished grade, subject to administrative review and approval.
- 6) A lighting or photometric plan will ultimately need to be submitted. All lighting will need to be downward directed, dark-sky compliant and of sufficient intensity to illuminate without projecting onto the adjoining residential property. *Details / specs of proposed lighting would be necessary; however, this is an item that can be addressed administratively by staff.
- 7) Ultimately, a new survey and legal description of all consolidated acreage will need to be provided, prior to any final action. This is an item that can be addressed administratively by staff.
- 8) A Site Plan that meets all of the requirements set forth in Article 11, Section 1131 of the Union Township Zoning Resolution would also ultimately need to be submitted and approved, prior to the issuance of a subsequent (commercial) zoning certificate by Township staff. *This is an item that could be addressed administratively by staff.*
- 9) The Zoning Commission recommended that a sound study for the amphitheater (ultimately) be provided, to minimize sound infiltration from the amphitheater into the

RECORD OF PROCEEDINGS

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Meeting

GOVERNMENT FORMS & SUPPLIES 844-224-3338 FORM NO. 1014B

Held Union Township Zoning Commission

July 24, 20 2024

residential neighborhood across the street. *The Zoning Commission finds that the amphitheater should be rotated 180 degrees.*

Mr. Louis asks about the signage that is located on the roof of the proposed building. Usually signage like this is not permitted in the Township however in the PD Zone we have the ability to grant things and have some flexibility in that Mr. Wright answers. Mr. Wright tells the board the signage is up to their discretion and explains what the Township would like to see and what they have discussed in past cases as far as signage. The changes in elevation in the building and bump outs on the side makes the building more interesting, Mr. Wright states.

Mr. Louis asks the applicant to step forward, introduce himself and provide some information about the case. John Dart with Dart Architecture speaks on behalf of the developers of the project. He states that in the concept of designing this project they wanted a walkable area for residents that would be a community space. Mr. Louis asks if there was any discussion about the amphitheater facing residential property during the design process. Mr. Dart says it is still very early in the process, that the seating points in the opposite direction that they wanted to be able to see the stage area from the road way. Louis asks for thoughts on rotating the amphitheater 180 degrees to face away from the residential area so the sound would not be amplified towards them. Dart states that it is possible and they could look at different options for the pedestrian to be able to filter into the site. The board discusses different options for the amphitheater and talks about sinking in more into the ground to contain more of the sound instead of flipping it to the parking lot. The board also discusses with Mr. Dart how tall the signage is and what the developers are willing to change about the signage. Mr. Toft asks if the concrete pads located throughout the development are flush with the ground and if they are interested in tying the parking lot into the apartment complex located behind the proposed development. Mr. Dart answers that the entire development is ADA compliant and they are certainly open to the idea of tying in with other developments. He believes this concept benefits everyone in the Township.

Justin Clecamp, who represents the partnership that owns the 5-acre parcel Clepper and Gleneste-Withamsville adjacent to the site, steps forward to voice his approval for the development. He also speaks about an easement through his property that he is willing to share for more access to the development.

The board closes discussion to the public and begins with a private discussion. The main concern with the board is the sound from the amphitheater. The board agrees that placing restrictions on when the amphitheater can be used can solve most of the issues with sound.

Mr. Louis makes a motion. Regarding Case 1-24-Z, involving Applicant Union Township Clermont County CIC Incorporated, and Parcel numbers 413104A204, 413104A201, 413104A118, 413104A200, 413104A085: The Zoning Commission finds that the submitted PD application and zone change request is consistent with the Horizon 2030 Land Use Plan but does not meet all of the plan development application requirements of a PD district plan. Therefore, this Commission recommends a submitted plan be approved contingent upon adherence to the noted modifications as specified in this motion. All required supplemental information and plan modifications must be completed and submitted to the Planning Director no later than one week prior to the Trustees hearing of this case. First on the recommended list is of Findings of Fact, these properties lie in two focus areas. The Central Retail State Route 32 Commercial Corridor and the Ivy Pointe Mixed Use Commercial Corridor. Both districts call for monument style signage as preferred signage style used and that multi-tenant consolidated signage shall be encouraged. Development patterns should be organized into blocks and building configurations of an appropriate scale with development oriented as to foster strong streetscape impressions sidewalks and / or shared use pathways shall be installed with all public street frontages for developing properties and all sites shall provide for pedestrian access from the street. Now for the modification list, the Board references the eight (8) recommended modifications listed in the

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GOVERNMENT FORMS & SUPPLIES 844-224-3338 FORM NO. 10148

Held Union Township Zoning Commission July 24 20 2024

staff report that are listed on page 6. All eight (8) of those will be incorporated into this motion. As an additional item, number nine (9), the Board recommends a sound study for the amphitheater to be provided. Ten (10) to minimize sound infiltration from the amphitheater into the residential neighborhood across the street. This Commission finds that the amphitheater should be rotated 180 degrees.

Mr. Wing seconds.

Roll Call: Mr. Louis, aye; Mr. Wing II, aye; Mr. Shannon, aye; Mr. Outrich, aye; Mr. Toft, aye. The motion carried.

Mr. Louis called for any administrative business. With none, Mr. Louis calls to adjourn. Mr. Outrich makes a motion to adjourn, Shannon seconds.

Roll Call: Mr. Outrich, aye; Mr. Wing II, aye; Mr. Shannon, aye; Mr. Louis, aye; Mr. Campbell, aye. The motion carried.

Meeting Adjourned at 7:45pm.

APPROVED BY:

Mr. Outrich, Chairman



**UNION TOWNSHIP ZONING COMMISSION
DECEMBER 18, 2024 MEETING**

ZONE MAP AMENDMENT

**DANIEL LOWENSTEIN, Applicant
VA7 SOUTHWIND LLC, C/O ALLIANCE TAX ADVISORS., Owner**

909 STATE ROUTE 125; STATE ROUTE 125

Staff Report, Case# 2-24-Z:

NATURE OF REQUEST

The Applicant has applied for a Zoning Map Amendment, requesting that two (2) parcels (PIN #s referenced below) totaling 4.232 acres be rezoned from Single-Family Detached Structure Residential (R-1) and Business Zone (B-1) to Planned Development (PD)—to allow an expansion to an existing multi-family residential area.

LOCATION

The subject property, owned by VA7 Southwind LLC c/o Alliance Tax Advisors, is located on the south side of State Route 125 across from / between the intersections of Pharo Drive and Benjamin Street (both to the north). *PIN #s #413217G047., and 413217G251.*

ZONING

As mentioned earlier in this report, the zoning of the affected property is Single-Family Detached Structure Residential (R-1) and Business Zone (B-1). The adjoining properties to the north, northwest, and northeast are situated partially, if not wholly, within a Business Zone (B-1) along State Route 125. The property to the south and southeast is zoned Single-Family Detached Structure Residential (R-1). The adjoining property to the southwest is zoned Planned Multi-Family Residential (R-3).

RELATIONSHIP TO THE UNION TOWNSHIP COMPREHENSIVE PLAN

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the subject property is located within the Ohio Pike (SR 125) Corridor. Currently, the Ohio Pike Corridor is heavily developed and traveled, and experiences delays associated with poor access management. The corridor has been rejuvenated of late through numerous reinvestment projects that have resulted in enhanced commercial activity and increased appeal. Among other things, the Plan calls for land use efficiencies, access control, and aesthetic improvement and reinvestment are priorities in this area of the Township. Additionally, the plan calls for monument style signage, pedestrian network enhancement where possible, adequate vegetative buffering, landscaping enhancements along the corridor frontage, and the use of the Planned Development (PD) District to achieve desired objectives in this corridor.

RELATIONSHIP TO THE UNION TOWNSHIP ZONING RESOLUTION

Please refer to Article 6, Sections 680-684 and Section 687 of the Union Township Zoning Resolution with respect to “PD” Planned Development District regulations:

- 680. “PD” Planned Development District.**
The “PD” District’s purpose is to provide sites for business or mixed business/residential developments at appropriate locations in relation to existing and potential land uses; to afford an attractive setting for developments; and to harmonize proposed developments with surrounding land uses. These regulations are established pursuant to authorization under Ohio Revised Code Chapter 519 (2001), as amended, for townships to adopt Planned-unit Development zoning.
- 681. Regulation Conflict.**
If a conflict arises between these “PD” regulations or an approved “PD” plan and other sections of this resolution, the “PD” regulations and approved plan shall prevail for land zoned Planned Development District.
- 682. Approved Plan Governs Use.**
Land use for any property in the “PD” District shall be consistent with the use, design, and details contained in the approved “PD” plan for that property and any conditions of approval. Other applicable regulations from this resolution, such as nuisance regulations, also apply to “PD” property. Pursuant to an approved plan, allowed uses in the “PD” District may include those stated in the “B-1” and “M-1” Districts, or substantially similar uses as determined by the Zoning Commission and Board of Trustees. Integrated residential use with commercial development may be considered for approval in the “PD” District, with residential density not to exceed that of the “R-1” District.
- 683. Procedure to Rezone Property to “PD.”**
1. The property owner may submit an application for a zone change to “PD” Planned Development District to the Union Township Planning & Zoning Department. The application shall contain fifteen (15) copies of the completed form, attachments, a site plan conforming to the “site plan requirements” below, and the required fee.
2. The application shall be processed in accordance with Ohio Revised Code Chapter 519 (2001), as amended.
- 684. “PD” Plan Requirements.**
1. All site plans shall contain the elements stated in **Section 1131**. In addition, the following shall be included on the plan:
a. Building lot area coverage percentage.
b. Residential density, if applicable.
c. Detailed description of façade materials for all proposed structures.
2. The site plan shall contain on the cover the following signature lines to be signed by the property owner and Planning & Zoning Director before a zoning certificate is issued...
3. A separate landscaping page shall be included in the plan, illustrating the following:
a. Landscaping over ten percent of the lot area. Detention/retention areas are not considered part of the ten percent requirement.
b. Location and description of landscape plantings, groundcover, and specific treatment of any other open spaces
c. A ten-foot landscaped buffer yard along any public right-of-way or private street easement. A continuous three-foot grass (or other plant covered) berm or continuous row of three-foot-tall (at planting) shrubs, setback at least three feet from the right-of-way or easement line, shall be provided within the buffer yard.

- d. A twenty-foot landscaped buffer yard along any adjoining residential zone. The buffer yard must also contain one of the following screening mechanisms:
 - (1) A continuous wood privacy fence at least six feet high and at least one tree four feet tall (at planting) spaced every ten feet on the neighbor's side of the fence; or
 - (2) A continuous row of evergreens at least six feet tall (at planting), spaced no more than five feet; or
 - (3) A continuous grass (or other plant covered) berm at least five feet tall and at least one tree four feet tall (at planting) spaced every ten feet along the berm crest.
 - (4) If existing natural vegetation is proposed as screening, the landscape plan must provide detail of existing conditions sufficient to show screening equivalent to the above exists, and with sufficient detail for future zoning enforcement purposes.
- e. Buffer yards must be landscaped and may not contain any other uses. Landscaped detention/retention may be placed in the buffer yard provided it does not interfere with the adjoining property.
- f. In addition to the ten percent general landscaping requirement, internal planting islands equal to five percent of the entire parking lot area shall be placed within parking lots. The islands shall be dispersed so to break up the pavement expanse. Internal planting islands shall be curbed, and contain a minimum area of one hundred twenty square feet and eight feet of width. At least one shade-type tree a minimum of eight feet tall at installation shall be included for each two hundred square feet of internal planting area. Developments with twenty or fewer total parking spaces are exempt from this requirement.

687. Supplemental Provisions.

- 1. Signage shall be consistent with the nature and scope of the development exclusive of Article 9.
- 2. Buffer yards, screening, landscaping, vegetation, and all other plan elements shall be in place by the time the Union Township Planning & Zoning Department issues a certificate of occupancy, or at such time as construction substantially ceases, whichever occurs first.
- 3. The failure to maintain open spaces, hard surfaces, and landscaping in good condition is a violation of the "PD" plan.
- 4. Forty feet of right-of-way shall be dedicated for all properties fronting on public streets. The forty feet of right-of-way is "half" right-of-way, i.e., measured from the center of the road. By specific motion, the Zoning Commission or Board of Trustees may exempt a development from this requirement if appropriate. If total right-of-way equals eighty feet or more, no additional right-of-way shall be required unless necessary for special circumstances or improvements.
- 5. Prior to issuance of a zoning certificate, the property owner shall provide to the Planning & Zoning Department copies of executed and recorded cross easements to all adjoining property owners that share a common street frontage (public or private) with the "PD" property. The cross easements shall allow, at a minimum, use by automobile and delivery vehicle traffic. The general location of the cross connections shall be shown on the "PD" plan. By specific motion, the Zoning Commission or Board of Trustees may waive this requirement if appropriate. The requirement is waived automatically if a publicly dedicated frontage road serves both the development and adjoining properties.
- 6. Prior to issuance of a zoning certificate, the Applicant shall record all necessary plats consolidating, dividing, and dedicating right-of-way consistent with the boundaries represented on the "PD" plan and/or conditions or approval.
- 7. Any exterior pole lighting, canopy lighting, or similar lighting shall be flat lens design and shielded so that all light is down directed. Sag lens lighting is prohibited. Where the "PD" property adjoins or is within one hundred fifty feet of a residential zone, lighting shall be directed away from the residential property. Any building mounted lighting shall contain shields directing lighting downward preventing spillover onto adjoining property. If within fifty feet of a residential zone, building mounted lighting facing the residential property (other than recessed soffit mounted lights) shall be installed no higher than four feet from grade.
- 8. Parking requirements shall comply with Article 8, Off-Street Parking and Loading Regulations, unless otherwise modified in the plan. A justification note shall accompany any modification on the plan.
- 9. Building lot area coverage may not exceed thirty-five percent and building height may not exceed seventy-five feet.
- 10. Minimum building separation shall be maintained in accordance with fire and building codes. The number of buildings per lot, minimum setbacks (except for residential and right-of-way buffer yards), and minimum lot size are otherwise variable for the "PD" District.
- 11. The Applicant shall make available in advance of any hearing by the Zoning Commission the results of any site distance or traffic study requested by the Clermont County Engineer. The Applicant shall also provide confirmation from the appropriate governmental agency showing resolution of any issues raised pertaining to the development. Failure to provide this information in adequate time or advance review by Zoning Commission members may be grounds for denial of the application.
- 12. The standards and conditions stated in these regulations are minimums. The Planning & Zoning Director, Zoning Commission, and Board of Trustees may impose higher standards if warranted based upon the unique circumstances of a given development.
- 13. No construction shall proceed prior to the issuance of a zoning certificate. No property shall be used or occupied prior to issuance of a certificate of occupancy endorsement from the Union Township Planning & Zoning Department.
- 14. The Board of Zoning Appeals is without authority to alter or amend "PD" plans.

BACKGROUND

The current Owner appears to have acquired the two (2) subject parcels in June of 2023. The Owner appears to have acquired the tract to the west—which contains 12 apartment buildings, each with 12 units per building (144 units total)—in 2023. *The existing apartment buildings were built between 1980 and 1991. Staff research found that the 1 and 2-bedroom units in these buildings property appear to have been recently remodeled / updated.* The single access point (from State Route 125) for this adjoining 9.696-acre tract is intended to serve the proposed expansion area, which involves the construction of an additional two (2) new apartment buildings.

STAFF REVIEW & ANALYSIS

The current, proposed plan for the expansion area involves two (2) points of access to Old Savannah Drive—the northern access connection being approximately 280 feet from Old Savannah Drive that serves 2 existing buildings (24 units total) and the southern access connection being approximately 900 feet from the Old Savannah Drive / State Route 125 intersection (immediately adjacent to an existing dog park and firepit and gathering space). It is not clear if the Ohio Department of Transportation (ODOT) has reviewed and approved the proposed additional dwelling units to the existing access point onto State Route 125—or whether or not any improvements to this access point or to State Route 125 will be necessary to accommodate the additional traffic anticipated for this type of project.

The two (2) proposed apartment buildings are proposed to create 72 new dwelling units, averaging 732 square feet in size. Each building—primarily consisting of Hardie plank lap siding materials—is planned to house 36 units, with three (3) floors of twelve (12) units per floor. The overall height of the buildings is intended to be 42 feet to the peak, which would require relief in other residential zoning districts (R-1 and R-2). In addition to the proposed buildings and parking areas and drives, the Applicant is proposing landscaping improvements along the eastern and western portions of the proposed building areas, as well as a walking path and passive park along the rear of the property (approximately 300 feet from the adjoining residential property to the south), and a detention pond approximate 45 feet from the edge of State Route 125 (with a 3-foot high berm as a barrier). **Please refer to the Applicant's statements, plans, and other application enclosures for more information regarding this application / request.*

A review of this particular Zone Map Amendment application indicates that the current proposal appears to be somewhat consistent with both the recommendations of the adopted Land Use Plan, as well as the Findings and Specific Purpose(s) of the Overlay District zoning regulations. As noted earlier, the Applicant intends to utilize an existing access point to serve the site from State Route 125. The parking and driveway areas on the current plans appear to be sufficient, at least in terms of zoning, for the proposed use. Although the landscaping / buffer plans would ultimately need to be enhanced / adjusted along the road frontage as well as the eastern and western property lines (adjacent to the proposed building and parking areas), this does not appear to be an issue that can't be addressed. Additionally, although a sidewalk along State Route 125 is not currently shown, a sidewalk would be required for this project to proceed, unless relief is requested and granted. The proposed buildings do not match, and are not really complementary to, the existing buildings in the Renew Apartments development. *As such, staff finds that the incorporation and use of traditional building materials into the design(s) of the proposed buildings would make this project much more harmonious with the existing residential units in the area—through which this proposed project would be accessed—and would also allow it to align with the Union Township Horizon 2030 Comprehensive Plan's Future Land Use Policies and Recommendations (for the Ohio Pike Corridor Overlay Area).* Overall, the proposed improvements to the site would bring investment to a property and area that has been underutilized—likely, in part, due to the unusual property configuration. Finally, the Applicant's intent to advance this project through the use of a Planned Development (PD) District helps achieve desired objectives in this corridor.

At present, the current remaining technical questions and issues are set forth in the "Recommended Modifications" section of this report.

ACTION REQUIRED

In accordance with Sections 680-687 of the Zoning Resolution, the Zoning Commission's role in this process is to either enter a motion to recommend approval, approval with some modification(s), or denial of the Applicant's request to rezone the subject property, as submitted.

RECOMMENDED MODIFICATIONS

If the Board should choose to forward a favorable recommendation to this PD Zone Map Amendment request, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant will need to address any concerns of the Ohio Dept. of Transportation (ODOT), Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant must explore the feasibility of creating a cross-access easement and collective/joint parking easements with the adjoining property to the west—particularly if it is not intended to remain under the same common ownership.

- 3) A sidewalk, consistent with ODOT's specs (if within the road right-of-way) or otherwise ADA specs, including a tree lawn, shall be required along all of the SR 125 frontage—either in or out of the road right-of-way.
- 4) The landscaping plan must be updated to better reflect the proposed plantings. Additionally, the staff recommends some evergreens or street trees to be shown / planted on the berm in the front of the property. All landscaping buffers should be marked as preservation areas, and any vegetation disturbed should be repaired, supplemented, or replaced. *This is an item that can be addressed administratively by staff.*
- 5) The Ohio Pike Corridor Overlay Area within the Township's Horizon 2030 Comprehensive Plan acknowledges that "*the use of high-quality building materials and innovative design strategies is strongly encouraged in order to continue to promotion of high-quality development along this corridor.*" With this in mind, staff finds that the proposed buildings need to contain some brick, wood, stone or simulated stone, or other masonry or veneer (excluding stucco, concrete block, and the like), sufficient to meet the "traditional building materials" definition in Appendix A of the Union Township Zoning Resolution. *This is an item that could be addressed administratively by staff.*
- 6) Dumpster details need to be provided—and be in accordance with the building material standards for the Overlay Area, subject to administrative review and approval.
- 7) A signage plan will ultimately need to be submitted, if applicable. All free-standing signage should be limited to monument signage, capped at a height of not more than 10' from finished grade, subject to administrative review and approval.
- 8) All proposed lighting must be acknowledged to be "downward directed, dark-sky compliant" and of sufficient intensity to illuminate without projecting onto the adjoining residential property. Staff recommends a 0.5-foot candle measurement along common property lines in residential areas. *This is an item that could be addressed administratively by staff.*
- 9) Ultimately, a new survey and legal description of all consolidated acreage will need to be provided, prior to any subsequent permitting process. *This is an item that could be addressed administratively by staff.*
- 10) A Site Plan that meets all of the requirements set forth in Article 11, Section 1131 of the Union Township Zoning Resolution would also ultimately need to be submitted and approved, prior to the issuance of a subsequent (commercial) zoning certificate by Township staff. *This is an item that could be addressed administratively by staff.*



NOTES

- ## 1. PROPERTY LINE BEARINGS & DISTANCES DETERMINED BY GIS.

SFAI:

11. *What is the primary purpose of the following statement?*

RENEW ARTMENTS UNION TOWNSHIP

230633.000

2024-11-20

20 40 80

20 40 60

EXISTING

CONDITIONS &

POSITION PLAN

11. *What is the primary purpose of the following statement?*

200

200

For more information, contact the Office of the Vice President for Research and Economic Development at 515-294-6456 or research@iastate.edu.

NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A
COMPILATION OF AVAILABLE RECORD INFORMATION AND
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE
EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY
PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY
PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



The logo for OHIO811.org features the word "OHIO" in a large, bold, black font, with "811.org" in a smaller, black font to its right. A thick, black, horizontal line extends from the top of the "O" in "OHIO" to the right, ending with a small downward-pointing arrowhead. Below the main text, the tagline "Before You Dig" is written in a smaller, black, sans-serif font. In the top right corner of the logo area, the word "SHEET" is printed vertically in a smaller, black, sans-serif font.

TERMS CONDITIONS & SOLUTION PLAN

C200



PARKING INFORMATION:

72 TOTAL APARTMENTS IN 2 (3) STORY MULTI-FAMILY BUILDINGS

SPACE PER UNIT: 732 SF
UNITS PER FLOOR: 12

TOTAL PROVIDED RESIDENTIAL SPACE: 8,784 SF X 6 FLOORS = 52,704

PROPOSED PARKING SPACE

PARKING RATIO: 1.65

LOT COVERAGE INFORMATION:

TOTAL SITE AREA: 3.97 ACRES

TOTAL BUILDING COVERAGE AREA: 0.23 ACRES
BUILDING COVERAGE PERCENTAGE: 5.82%

TOTAL PARKING LOT COVERAGE AREA: 0.98 ACRES
PARKING LOT COVERAGE PERCENTAGE: 24.69%

TOTAL OPEN SPACE AREA: 2.76 ACRES

NOTES

- ## 1. PROPERTY LINE BEARINGS & DISTANCES DETERMINED BY GIS.

REAL:

1. **What is the primary purpose of the following sentence?**

RENEW ARTMENTS

**UNION TOWNSHIP
ARMONT COUNTY, OH**

PRO/ECT NO: 230623 000

DATE: **2024-11-20**

SCALE:

A bar chart with four bars of equal height. The x-axis is labeled with the numbers 20, 25, 30, and 35. The y-axis is unlabeled.

| Age Group | Number of Students |
|-----------|--------------------|
| 20 | 1 |
| 25 | 1 |
| 30 | 1 |
| 35 | 1 |

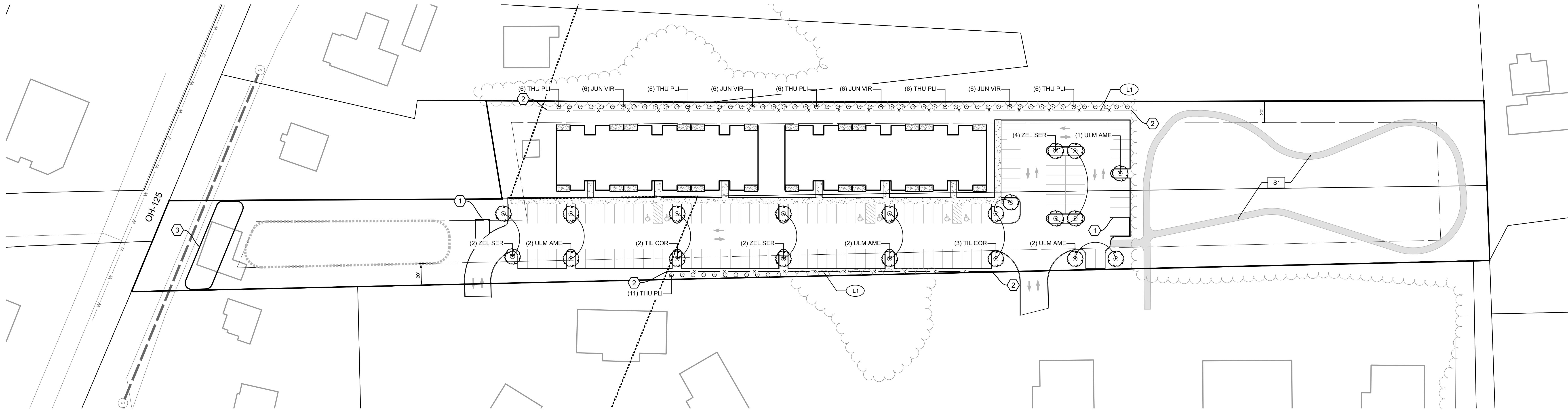
• 20 40 60

LOCATION PLAN

NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A
COMPILATION OF AVAILABLE RECORD INFORMATION AND
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE
EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY
PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY
PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



C300



GENERAL NOTES

1. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
2. SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
3. ALL CONCRETE FORMS SHALL BE FIELD STAKED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONCRETE INSTALLATION.
4. THE VERTICAL LAYOUT SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE TO ENSURE GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
5. PROVIDE ISOLATION JOINT WHERE CONCRETE PAVING ABUTS BUILDINGS, COLUMNS, AND STRUCTURES. VERIFY COLOR OR SEALANT WITH OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
7. PROVIDE PLANS FOR THE PROJECT SITE SUPERINTENDENT, APPROPRIATE AGENCIES, AND PLANS FOR LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES.
8. CONTRACTOR TO REPORT TO ENGINEER ANY ADDITIONAL UTILITY LINES FOUND DURING CONSTRUCTION.

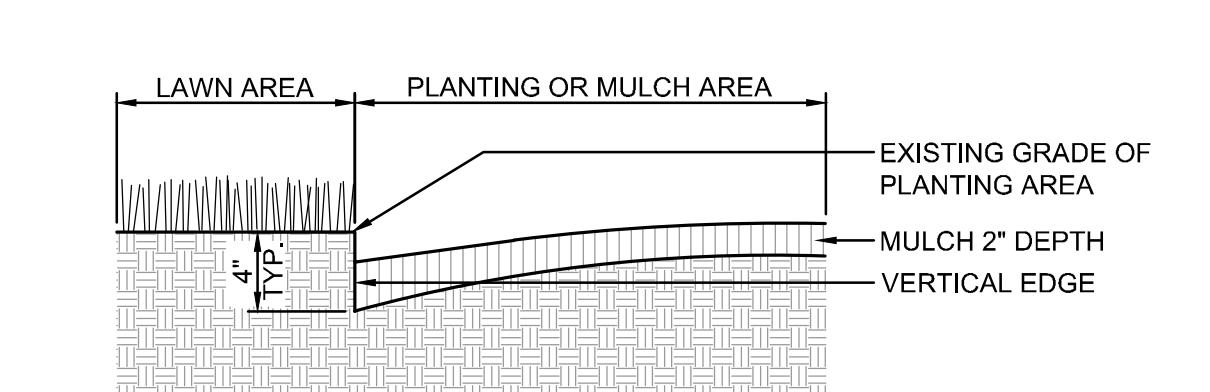
UNION TOWNSHIP, CLERMONT COUNTY - LANDSCAPE ZONING REQUIREMENTS

| | REQUIRED | PROPOSED |
|--|---|--|
| ARTICLE 6 ESTABLISHMENT OF DISTRICTS | | |
| PROCEDURE TO REZONE PROPERTY TO "PD" 683.3.A | LANDSCAPING OVER TEN PERCENT (10%) OF THE LOT AREA, DETENTION/RETENTION AREAS ARE NOT CONSIDERED PART OF THE TEN PERCENT (10%) REQUIREMENT. 173,106 SF SITE = 17,311 SF LANDSCAPING REQUIRED | 68,112 SF IMPERMEABLE SURFACE 104,994 SF PERVIOUS SURFACE 7,538 SF DETENTION |
| PROCEDURE TO REZONE PROPERTY TO "PD" 683.3.C | A TEN (10') FOOT LANDSCAPED BUFFER YARD ALONG ANY PUBLIC RIGHT-OF-WAY OR PRIVATE STREET EASEMENT, A CONTINUOUS THREE (3') FOOT GRASS (OR OTHER PLANT COVERED) BERM OR CONTINUOUS ROW OF THREE FOOT TALL (AT PLANTING) SHRUBS, SETBACK AT LEAST THREE (3') FEET FROM THE RIGHT-OF-WAY OR EASEMENT, SHALL BE PROVIDED WITHIN THE BUFFER YARD. | 3' BERM PROVIDED |
| PROCEDURE TO REZONE PROPERTY TO "PD" 683.3.D | A TWENTY (20') FOOT LANDSCAPED BUFFER YARD ALONG ANY ADJOINING RESIDENTIAL ZONE. THE BUFFER YARD MUST ALSO CONTAIN ONE OF THE FOLLOWING SCREENING MECHANISMS: (1) A CONTINUOUS WOOD PRIVACY FENCE AT LEAST SIX (6') FEET HIGH AND AT LEAST ONE (1) TREE FOUR (4') FEET TALL (AT PLANTING) SPACED EVERY TEN (10') FEET ON THE NEIGHBOR'S SIDE OF THE FENCE; OR (2) A CONTINUOUS ROW OF EVERGREENS AT LEAST SIX (6') FEET TALL (AT PLANTING), SPACED NO MORE THAN TEN (10') FEET APART IN A STAGGERED PLANTING ARRANGEMENT; OR (3) A CONTINUOUS GRASS (OR OTHER PLANT) COVERED BERM AT LEAST FIVE (5') FEET TALL AND AT LEAST ONE (1) TREE FOUR (4') FEET TALL (AT PLANTING) SPACED EVERY TEN (10') FEET ALONG THE BERM CREST. (4) IF EXISTING NATURAL VEGETATION IS PROPOSED AS SCREENING, THE LANDSCAPE PLAN MUST PROVIDE DETAIL OF EXISTING CONDITIONS SUFFICIENT TO SHOW SCREENING EQUIVALENT TO THE ABOVE EXISTS, AND WITH SUFFICIENT DETAIL FOR FUTURE ZONING ENFORCEMENT PURPOSES. | EAST & WEST BUFFERYARDS: A 6' TALL WOOD PRIVACY FENCE WITH EVERGREEN TREES SPACED 10' ON CENTER ALONG THE NEIGHBOR'S SIDE IS PROVIDED ALONG THE EAST AND WEST PROPERTY LINES. EXISTING WOODED AREA TO REMAIN WITH A PROPOSED MULCH WALKING PATH |
| PROCEDURE TO REZONE PROPERTY TO "PD" 683.3.F | IN ADDITION TO THE TEN PERCENT (10%) GENERAL LANDSCAPING REQUIREMENT, INTERNAL PLANTING ISLANDS EQUAL TO FIVE PERCENT (5%) OF THE ENTIRE PARKING LOT AREA SHALL BE PLACED IN THE PARKING LOT. INTERNAL PLANTING ISLANDS SHALL BE CURVED, AND CONTAIN A MINIMUM AREA OF ONE HUNDRED TWENTY (120 SF.) SQUARE FEET AND EIGHT (8') FEET OF WIDTH, AT LEAST ONE (1) SHADE-TYPE TREE A MINIMUM OF EIGHT (8') FEET TALL AT INSTALLATION SHALL BE INCLUDED FOR EACH TWO HUNDRED (200 SF.) SQUARE FEET OF INTERNAL PLANTING AREA. DEVELOPMENTS WITH TWENTY (20) OR FEWER TOTAL PARKING SPACES ARE EXEMPT FROM THIS REQUIREMENT. 42,182 SF PARKING LOT AREA = 2,109 SF INTERNAL PLANTING ISLANDS REQUIRED 14 TREES REQUIRED | 3.923 SF INTERNAL PLANTING ISLANDS PROVIDED 20 TREES PROVIDED |

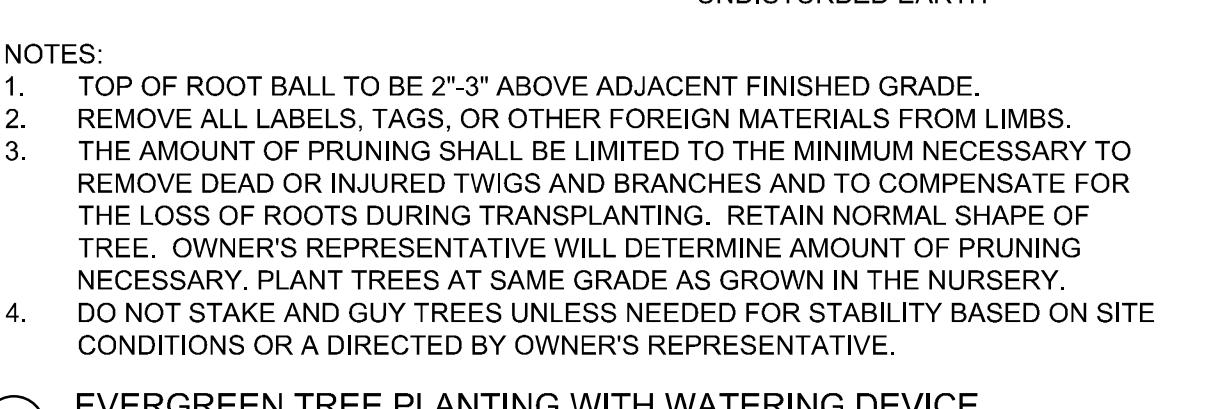
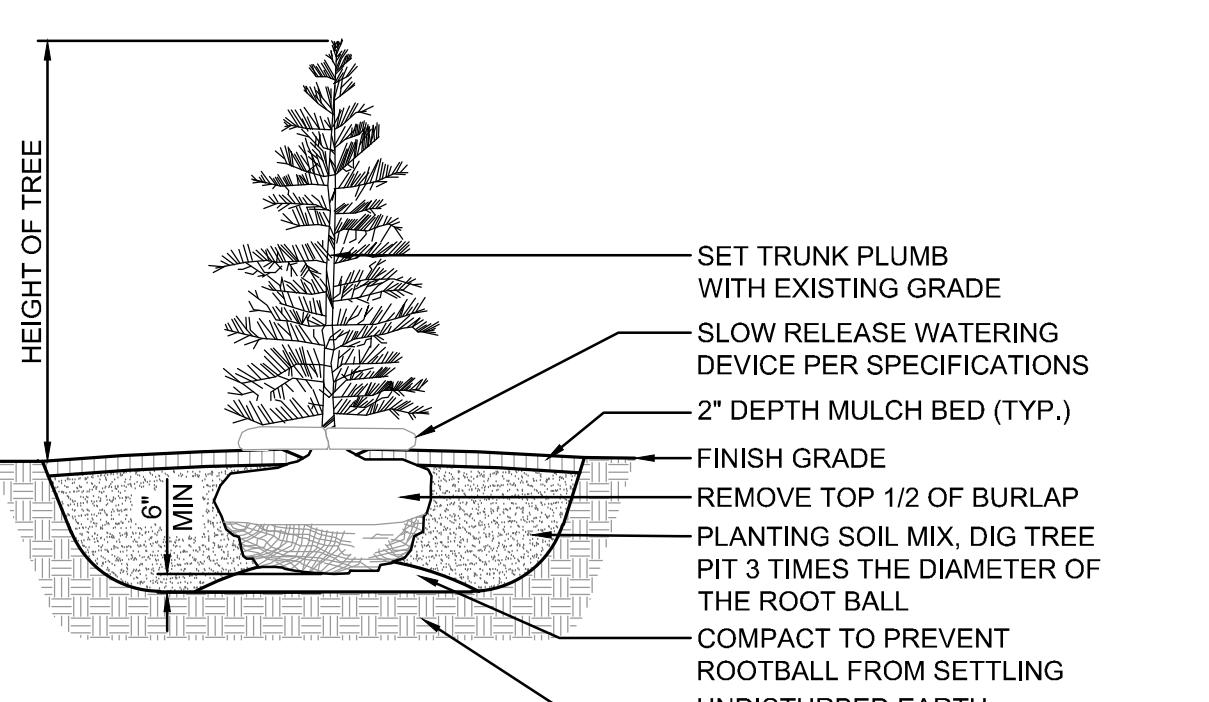
PLANT SCHEDULE

| KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | REMARKS |
|---|-------------------------------|------------------------------|-------------|------|---------|
| TIL COR | TILIA CORDATA 'GREENSPIRE' | GREENSPIRE LITTLELEAF LINDEN | 8' HT. MIN. | B&B | |
| ULM AME | ULMUS AMERICANA 'NEW HARMONY' | NEW HARMONY ELM | 8' HT. MIN. | B&B | |
| ZEL SER | ZELKOVA SERRATA 'GREEN VASE' | GREEN VASE ZELKOVA | 8' HT. MIN. | B&B | |
| EVERGREEN TREES: | | | | | |
| JUN VIR | JUNIPERUS VIRGINIANA 'BURKII' | BURK JUNIPER | 4' HT. MIN. | B&B | |
| THU PLI | THUJA PLICATA 'SMARAGD' | EMERALD GREEN ARBORVITAE | 4' HT. MIN. | B&B | |
| TURFGRASS SEED: SEE SPECIFICATIONS | | | | | |

- CONSTRUCTION NOTES:**
- ① DUMPSTER ENCLOSURE BY ARCHITECT.
 - ② BEGIN FENCE.
 - ③ 3 FT TALL BERM.

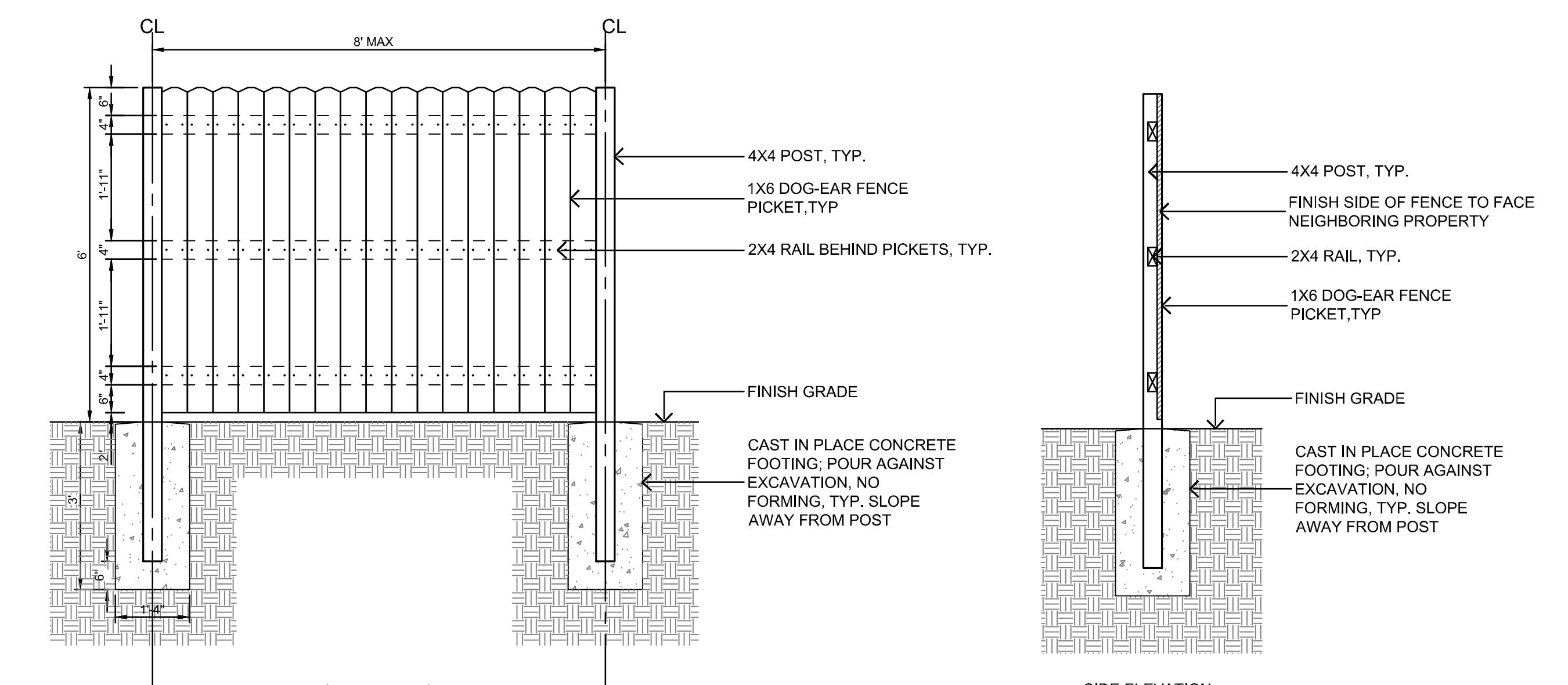


1 PLANTING BED / TREE PIT EDGING DETAIL
N.T.S.

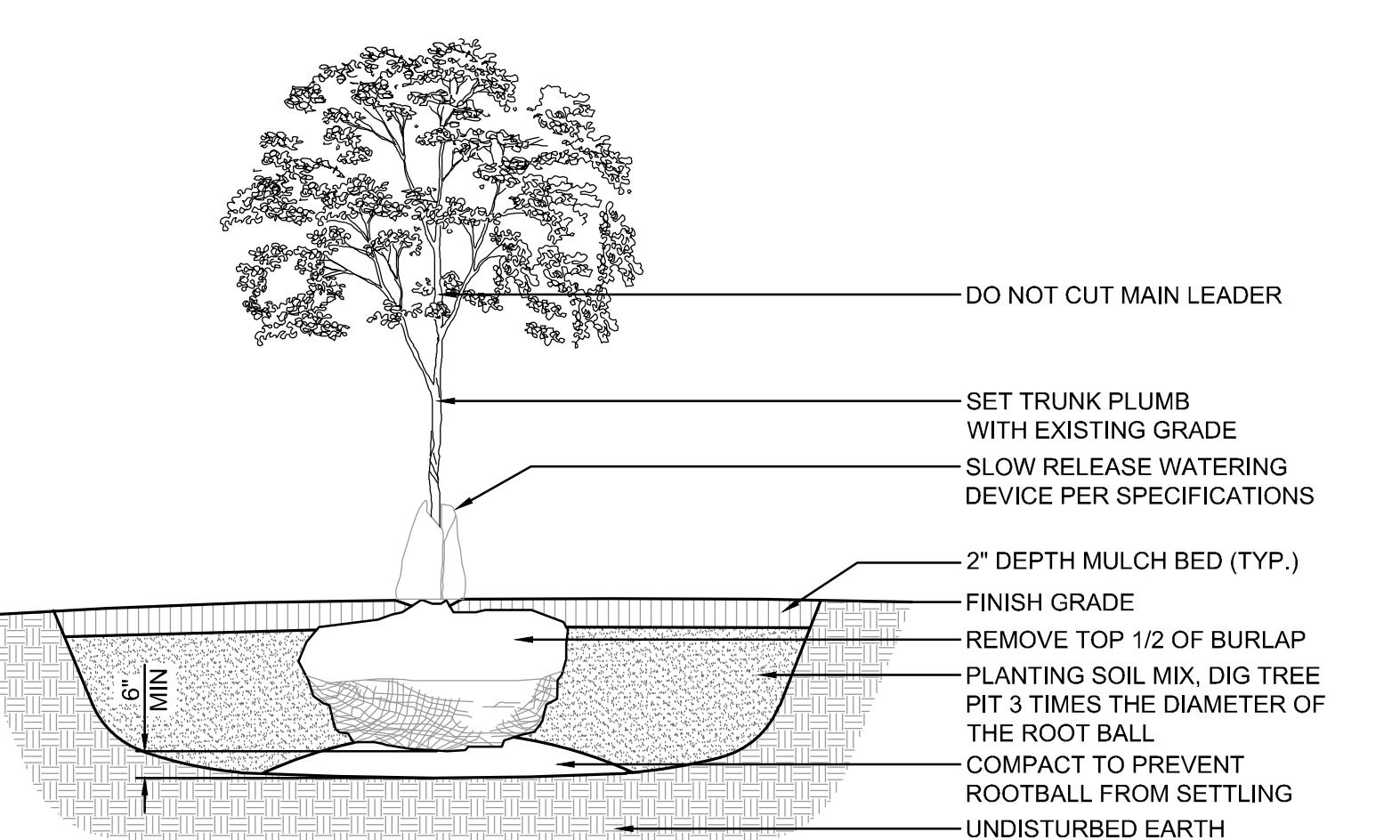


3 EVERGREEN TREE PLANTING WITH WATERING DEVICE
N.T.S.

4 DECIDUOUS TREE PLANTING WITH WATERING DEVICE
N.T.S.



5 6' WOOD FENCE
N.T.S.



NOTES:

1. TOP OF ROOT BALL TO BE 2'-3" ABOVE ADJACENT FINISHED GRADE.
2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
3. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS OR BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.
4. DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. PROVIDE SLOW RELEASE WATERING DEVICE. ONE PER TREE. REFER TO SPECIFICATIONS.

| NO. | DATE | DESCRIPTION |
|--|------|-------------|
| RENEW APARTMENTS UNION TOWNSHIP CLERMONT COUNTY, OH | | |

| | |
|-------------|------------|
| PROJECT NO: | 230633.000 |
| DATE: | 2024-11-20 |
| SCALE: | 1:100 |

SHEET NAME:

LANDSCAPE PLAN

SHEET NO.:

L100

Before You Dig

OHIO811.org

L100



BUILDING TYPE 5 LEFT ELEVATION

BUILDING TYPE 5 FRONT ELEVATION

1/8" =



BUILDING TYPE 5 REAR ELEVATION

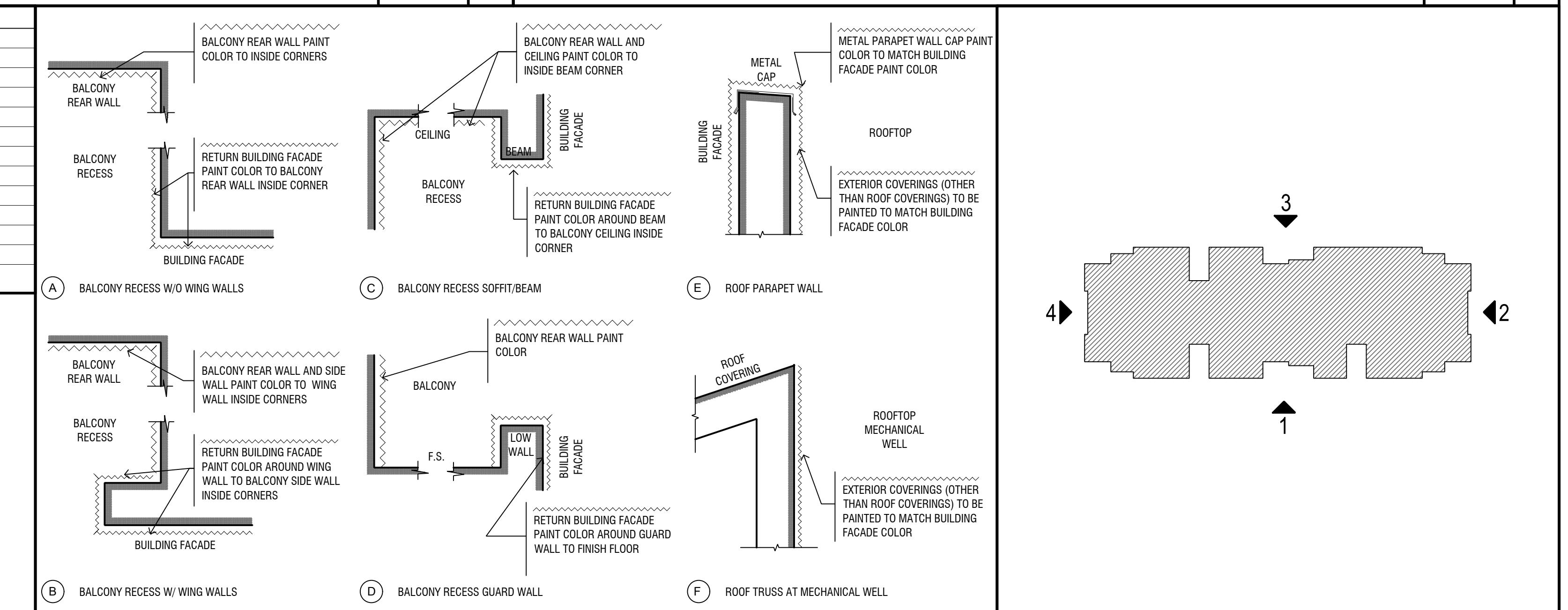
1/8"

BUILDING TYPE 5 RIGHT ELEVATION

1/8" =

- name: r:\2021\2021-295 red tail w pointe pkwy postfalls id\04 dd-cd\adpts\cad\2021-295\at7_bldg type 5 elevations.dwg

 1. SEE A0.2 SHEETS FOR BUILDING DATA, BUILDING TABULATIONS, BUILDING OCCUPANCY CLASSIFICATION, CONSTRUCTION TYPE, FIRE-RATING REQUIREMENTS AND FIRE SPRINKLER SYSTEM INFORMATION.
 2. SEE A0.3 SHEETS FOR ARCHITECTURAL GENERAL NOTES.
 3. SEE A2 SHEETS FOR BUILDING EGRESS PLANS.
 4. SEE A6 SHEETS FOR BUILDING PLANS AND A7 SHEETS FOR BUILDING ELEVATIONS.
 5. SEE S, E, M AND P SHEETS FOR STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS.
 6. SEE C SHEETS FOR CIVIL REQUIREMENTS.
 7. SEE OWNER SPECIFICATIONS FOR MATERIALS, FINISHES AND PRODUCT MODEL NOS.
 8. VERIFY ALL DIMENSIONS W/ MANUFACTURERS WRITTEN DOCUMENTATION.
 9. NOTIFY THE ARCHITECT IN WRITING WHERE INFORMATION IS UNCLEAR OR CONFLICTS ARE FOUND IN THE PLANS. OBTAIN WRITTEN DIRECTION FROM ARCHITECT DIRECTION PRIOR TO PROCEEDING WITH THE WORK.
 10. ABBREVIATED CODE SECTIONS, PRODUCT NUMBERS, AND REFERENCE DESCRIPTIONS IN THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ASSIST THE CONTRACTOR. OBTAIN COPIES OF REFERENCED CODE SECTIONS OR LISTINGS AND INSTALL CONSTRUCTION IN CONFORMANCE SECTION OR LISTING INDICATED.
 11. HORIZONTAL DIMENSIONS ARE TO THE EXTERIOR FACE OF PLYWOOD SHEATHING. EXTERIOR FACE OF PLYWOOD SHEATHING AT EXTERIOR WALLS TO ALIGN WITH THE FACE OF CONCRETE FOUNDATION IMMEDIATELY BELOW, U.O.N.
 12. VERTICAL FLOOR HEIGHT DIMENSIONS ARE TO FINISH FLOOR. FINISH FLOOR = TOP OF CONCRETE SLAB AT FIRST FLOOR. FINISH FLOOR = TOP OF WOOD SUBSTRAIGHT PER STRUCTURAL REQUIREMENTS AT UPPER FLOORS.
 13. PROVIDE FURRING OF SAME THICKNESS AS STRUCTURAL SHEATHING PANELS AT GAPS BETWEEN PANELS WHERE OCCURS ON THE SAME WALL PLANE.
 14. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF-CEILINGS ASSEMBLIES SHALL BE PROTECTED AS REQUIRED IN IBC SECTIONS 711 THRU 714. SEE AD1 SHEETS FOR FIRE-RATED ASSEMBLY AND PENETRATION DETAILS.
 15. SEE DETAIL 24/AD1.1.2 FOR FIRE/SOUND-RATED WALL, FLOOR-CEILING AND ROOF-CEILING ASSEMBLY REQUIREMENTS.
 16. SURFACES OF WALLS, CEILINGS, FLOORS, ROOFS, SOFFITS AND SIMILAR SURFACES EXPOSED TO WEATHER SHALL BE PROTECTED BY EXTERIOR COVERINGS, EXCEPT FOR THE FOLLOWING:
 - A. CEILINGS AND ROOF SOFFITS ENCLOSED BY WALLS, FASCIA AND BULKHEADS OR BEAMS THAT EXTEND NOT LESS THAN 12 INCHES BELOW SUCH CEILING OR SOFFIT.
 - B. WALLS OR PORTIONS OF WALLS BENEATH AN ENCLOSED ROOF AREA, WHERE LOCATED A HORIZONTAL DISTANCE FROM AN OPEN EXTERIOR OPENING EQUAL TO NOT LESS THAN TWICE THE HEIGHT OF THE OPENING.
 - C. CEILING AND ROOF SOFFITS LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10 FEET FROM THE OUTER EDGES OF THE CEILING OR ROOF SOFFITS.
 17. ORIENTED STRAND BOARD (O.S.B.) IS NOT PERMITTED AS A SUBSTRATE FOR ROOF, BALCONY, DECK OR ANY OTHER HORIZONTAL SURFACES.
 18. ALIGN VENTS, GRILLES AND ANY OTHER EXTERIOR BUILDING FAÇADE PENETRATIONS VERTICALLY AT STACKING UNITS. DRYER, BATHROOM, RESTROOM AND RANGE HOOD EXHAUST DISCHARGE SHALL BE LOCATED NOT LESS THAN 3 FEET FROM OPERABLE PORTIONS OF WINDOWS AND DOORS.
 19. DRYER, BATHROOM, RESTROOM AND RANGE HOOD EXHAUST DISCHARGE SHALL BE LOCATED NOT LESS THAN 3 FEET FROM PASSIVE INTAKE AIR, AND NOT LESS THAN 10 FEET FROM FORCED INTAKE AIR.
 20. RAIN GUTTERS AND DOWNSPOUTS:
 - A. INSTALL RAIN GUTTERS AND DOWNSPOUTS PER S.M.A.C.N.A. ARCHITECTURAL SHEET METAL MANUAL.
 - B. RAIN GUTTERS TO BE 5" STYLE "K" Ogee GUTTERS W/ FACTORY FINISH. DOWNSPOUTS TO BE NOT LESS THAN 3"X4" RECTANGULAR OR 4" ROUND W/ FACTORY FINISH
 - C. PROVIDE CONCRETE SPLASH BLOCKS W/ FLOW BARRIERS AND FLEXIBLE 90 DEGREE DIVERTERS AT GRADE AT ALL DOWNSPOUTS UNLESS DOWNSPOUTS ARE CONNECTED TO A PIPED STORM DRAIN SYSTEM.
 - D. PROVIDE "RAIN QUIET" INSERT OR EQUAL AT 90 DEGREE DOWNSPOUT BENDS AT BUILDINGS 2 OR MORE STORIES IN HEIGHT.
 21. PAINT AND FINISH MATERIALS:
 - A. RETURN PAINT COLORS AND EXTERIOR FINISH MATERIALS AROUND EXTERIOR FIELD CORNERS AND AT TERMINATE AT INSIDE CORNERS, U.O.N.
 - B. UNDERSIDES AND TOPS OF PROJECTING ELEMENTS (FRAMES, FINS, BALCONY OR DECK EXTENSIONS, ROOF EAVES, ETC.) TO BE PAINTED THE SAME COLOR AS THE EXTERIOR VERTICAL FACE FIELD COLOR.
 - C. WRAP PAINT COLOR SHOWN ON THE EXTERIOR FACE OF A BALCONY OR ROOF BEAM AROUND THE BEAM TO THE UNDERSIDE OF THE BALCONY OR ROOF.
 - D. THE CEILING AND SIDE WALLS W/I BALCONY TO BE PAINTED THE SAME COLOR AS THE BACK WALL OF THE BALCONY WHERE WING WALLS OCCUR. WHERE WING WALLS DO NOT OCCUR, THE PAINT COLOR ON THE SIDE WALLS SHALL BE THE SAME COLOR AS THE EXTERIOR VERTICAL FACE FIELD COLOR.
 - E. GUTTERS AND DOWN SPOUTS TO MATCH THE ADJACENT FIELD COLOR.
 - F. PAINT MECHANICAL VENTS AND LOUVERS TO MATCH PAINT COLOR OR FACTORY FINISH OF ADJACENT FINISH MATERIAL. DO NOT PAINT SCREENS.
 - G. BUILDING ADDRESS FINISH COLOR TO MATCH METAL GUARD PAINT COLOR.
 - H. ALL SERVICE DOORS, VENTS, OR OTHER ELEMENTS ON THE EXTERIOR SHOULD BE PAINTED TO MATCH THE ADJOINING BUILDING COLOR.

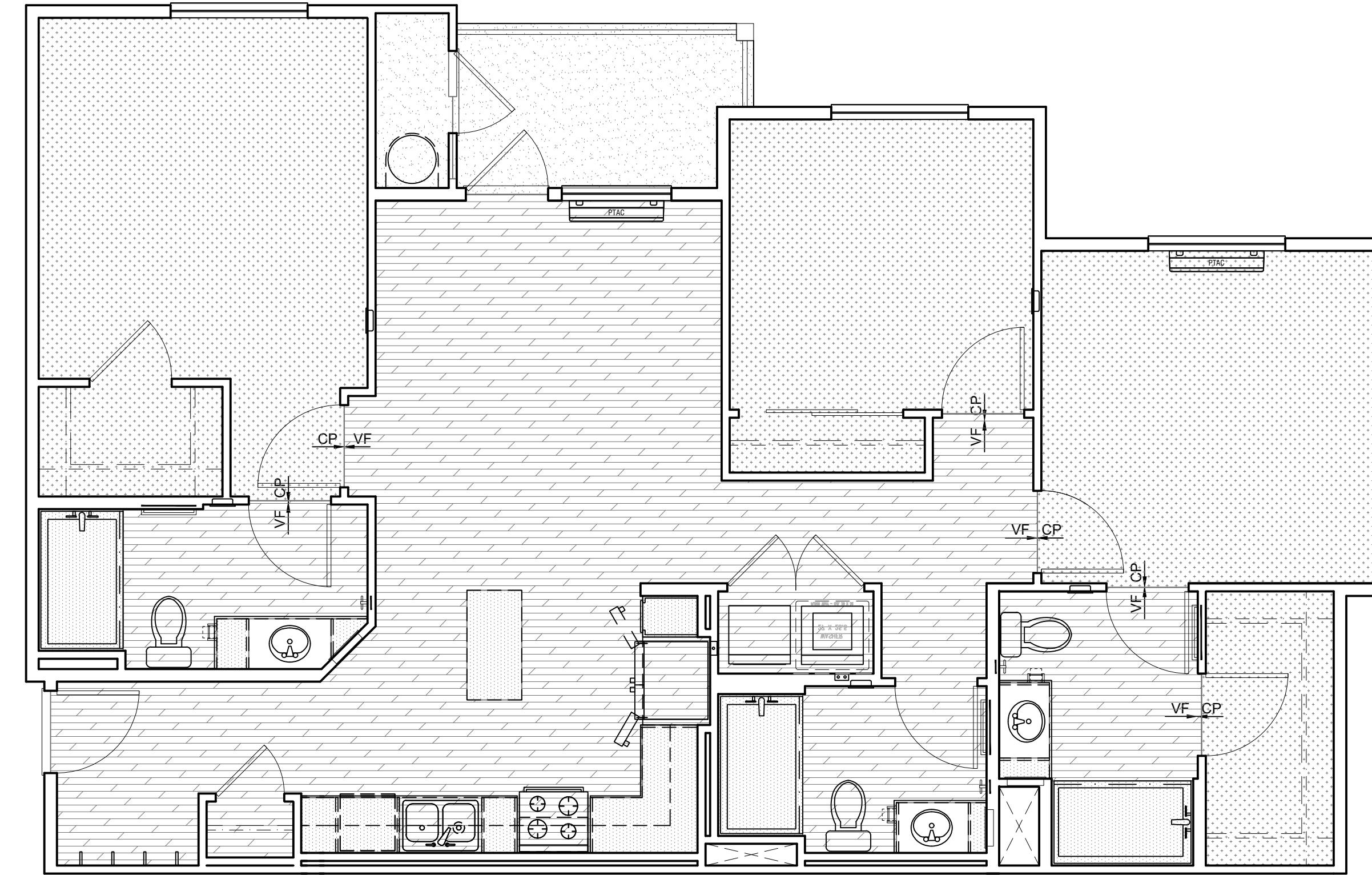


BUILDING ELEVATION NOTE

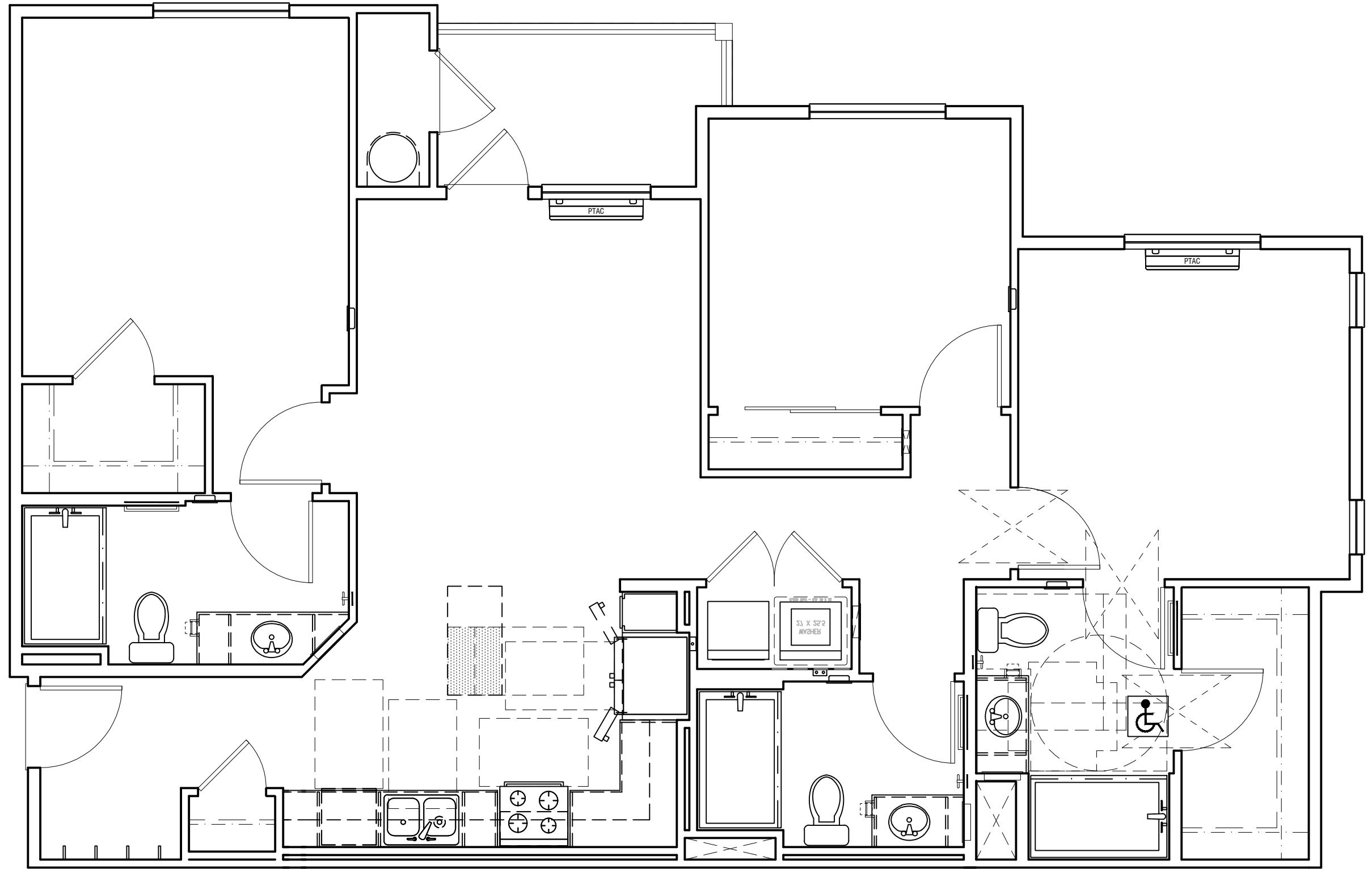
BUILDING ELEVATION KEYNOTES

PAINT COLOR TRANSITIONS

BUILDING KEY LEGEND



UNIT C1-ANSI (TYPE A) - FLOORING MATERIAL TRANSITION

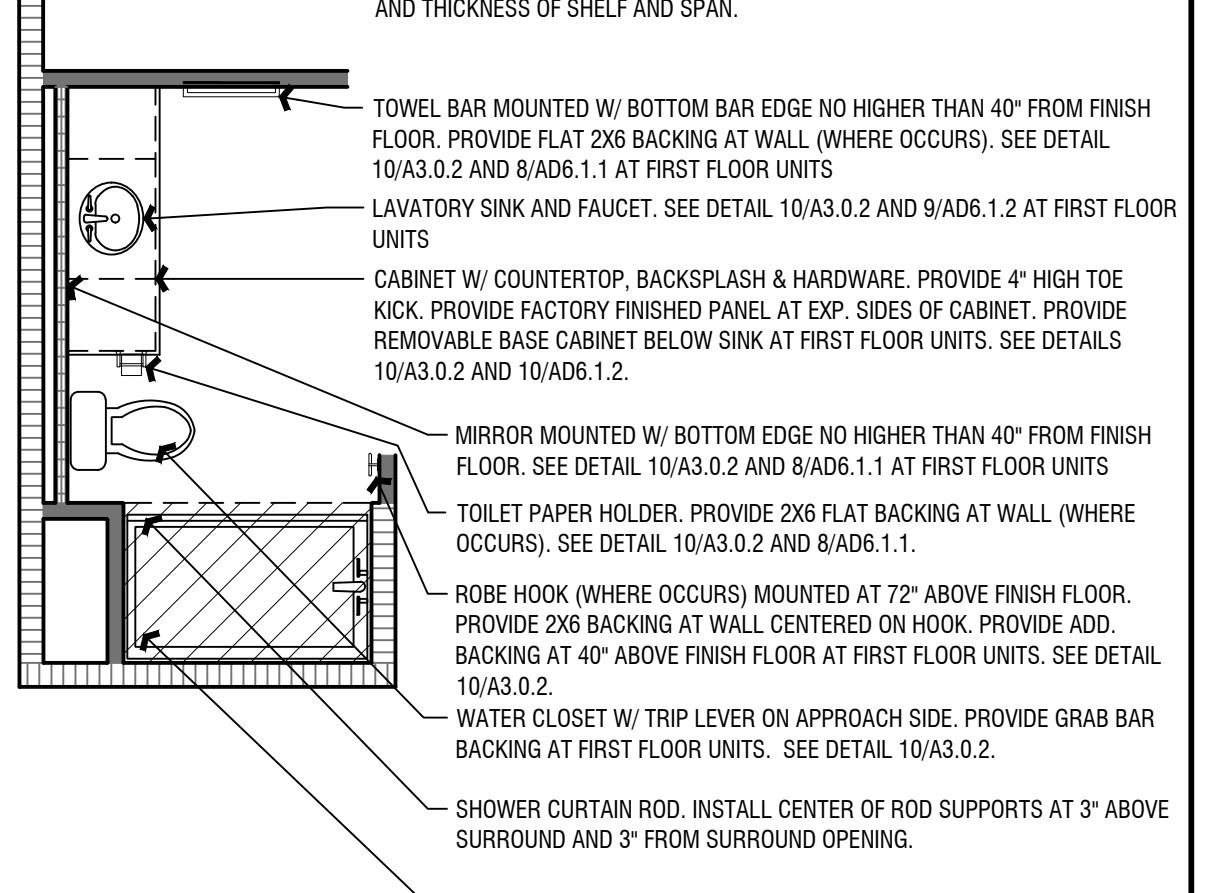
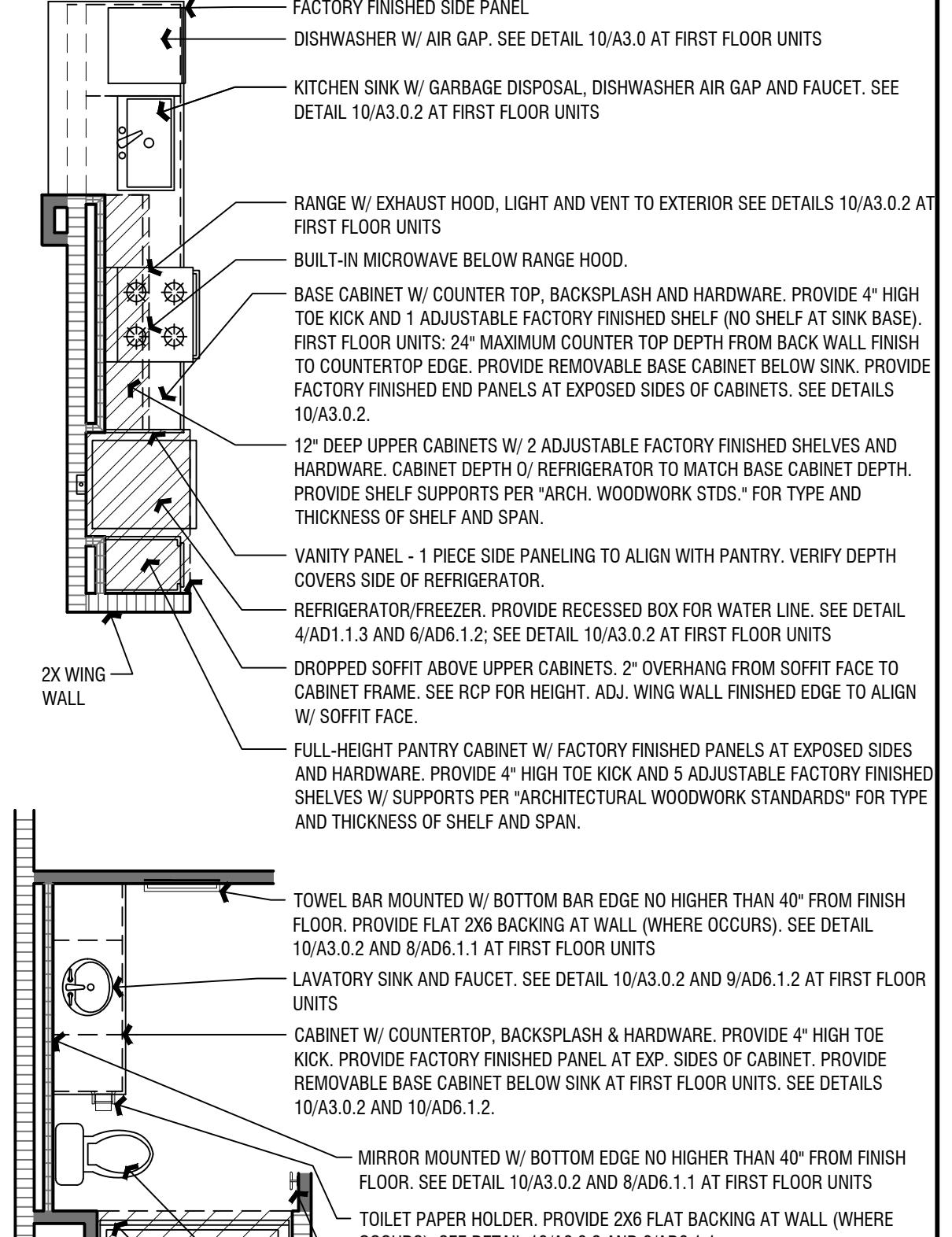


T C1-ANSI (TYPE A) - ACCESSIBLE CLEARANCE PLAN

YEAR KEYNOTES - TYPE A

| ACCESS: CLEAR: REACHES TYPE A | | UNIT PLAN NOTES |
|-------------------------------|---|--|
| | DESCRIPTION | |
| 1 | KITCHEN SINK, PROVIDE 6" DEEP BASIN SO AS TO MAINTAIN 27" KNEE CLEARANCE BELOW BASIN. | 1. SEE A0.3 SHEETS FOR ARCHITECTURAL GENERAL NOTES. 2. SEE A3.0 SHEETS FOR UNIT GENERAL AND UNIT ACCESSIBILITY CODE REQUIREMENTS. 3. SEE A5 SHEETS FOR UNIT INTERIOR ELEVATIONS, A6 SHEETS FOR BUILDING PLANS, A7 SHEETS FOR BUILDING ELEVATIONS AND A8 SHEETS FOR BUILDING SECTIONS. 4. SEE S, E, M AND P SHEETS FOR STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS. 5. SEE OWNER SPECIFICATIONS FOR MATERIALS, FINISHES AND PRODUCT MODEL NOS. 6. VERIFY ALL DIMENSIONS W/ MANUFACTURERS WRITTEN DOCUMENTATION. |
| 2 | MICROWAVE OVEN, PLACE APPLIANCE WITHIN COMPLIANT REACH RANGE AND CLEAR FLOOR SPACE FOR ACCESS. | |
| 3 | HOOD EXHAUST, PROVIDE APPLIANCE WITH CONTROLS WITHIN REACH RANGE. | |
| 4 | REFRIGERATOR, COMBINATION FREEZER / REFRIGERATOR TO HAVE AT LEAST 50% OF THE FREEZER AT MAXIMUM HEIGHT OF 54" ABOVE F.F. | |
| 5 | WASHER WITH DRYER COMPACT MACHINE, PROVIDE ACCESSIBLE WASHER AND DRYER WITH 48" MAXIMUM PARALLEL APPROACH CONTROLS LOCATED AT THE FRONT OF THE MACHINE. | |
| 6 | RANGE OVEN, CONTROLS TO BE ON THE FRONT PANEL SO AS TO AVOID REACHING OVER THE BURNERS. | |

UNIT PLAN LEGEND

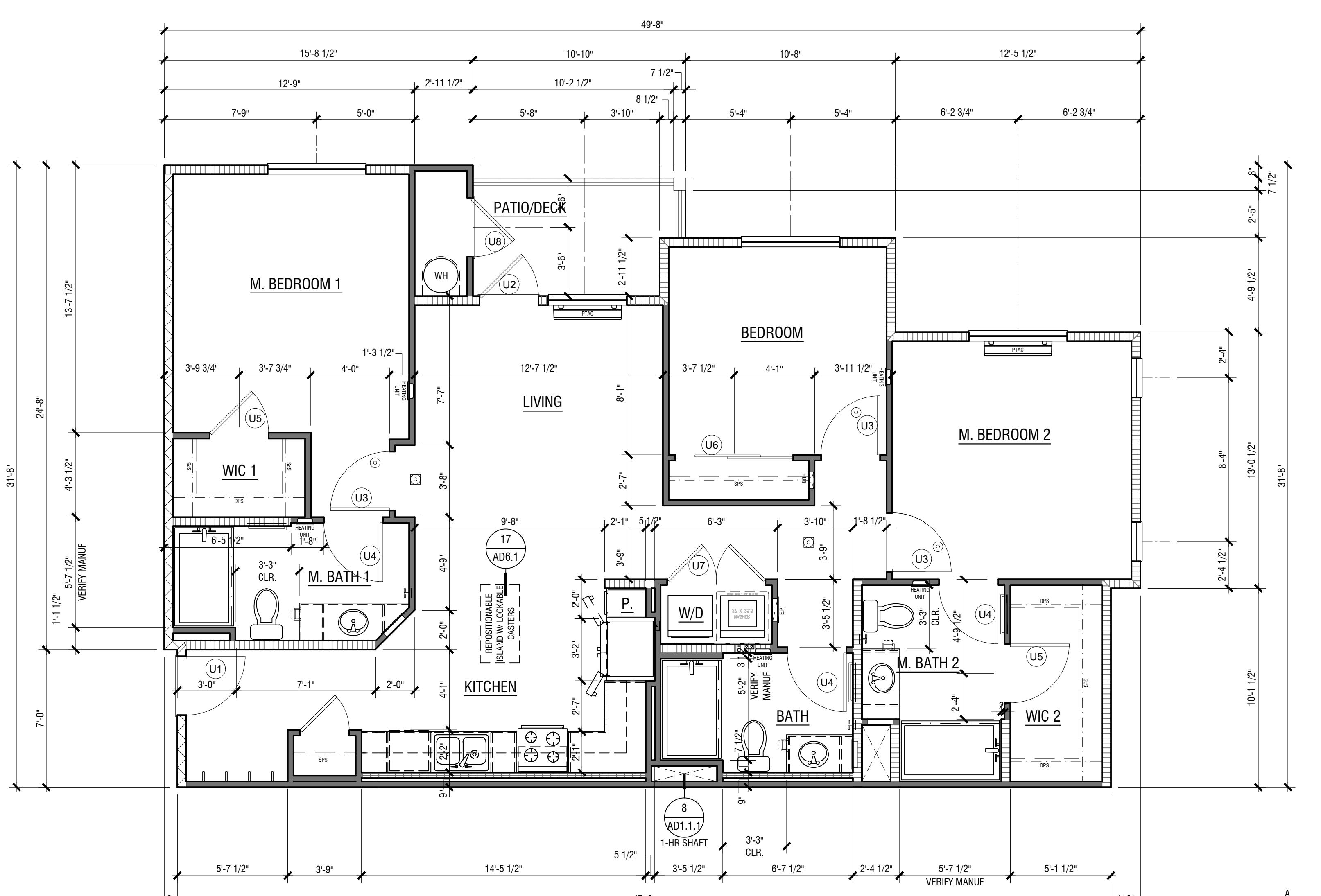


UNIT C1-ANSI (TYPE A) - FLOORING MATERIAL TRANSITIONS

1/4" = 1'-0"

This architectural floor plan illustrates the layout and flooring transitions for Unit C1-ANSI (Type A). The plan includes the following key features and dimensions:

- Rooms and Areas:** The layout includes multiple rooms and areas, each labeled with "ROOM" and a circled letter. Key areas include a large central room, a bathroom, and a kitchen.
- Dimensions:** Various dimensions are provided for rooms and openings, such as 3'-4 1/2", 2'-10", 4'-0", 2'-10", 1'-5", 3'-1 1/2", 5'-1 1/2", 3'-1 1/2", 2'-0", 2'-5", 3'-0", 4'-3", 3'-0", 2'-1", 3'-3", 2'-0", 1'-1", 3'-5", and 5'-0".
- Fixtures and Equipment:** The plan shows fixtures like bathtubs (TUB), sinks, and vanities. Equipment includes PTAC units and a central air handling unit (CAH).
- Lighting:** Light fixture symbols are placed throughout the plan.
- Walls:** Wall segments are labeled with "EQ." (Equal) and "EQ." (Equal).
- Flooring:** The plan indicates different flooring materials with hatching patterns. A specific transition detail is shown for a "3" STRIP VENT" located at the junction of a hatched floor and a solid floor, with a callout to "DETAILS 15 & 23/AD4.1.1".
- Doors:** Multiple doors are shown with their respective widths and opening directions.



UNIT C1-ANSI (TYPE A) - REFLECTED CEILING PLATE

10

UNIT C1-ANSI (TYPE A) - TYPICAL BASE PLAN

| | | |
|----------------|---|--|
| | SUFFIT. SEE SHEETS A6 AND A7. | |
| — — — — — — | LINED JOIST BAY, REFER TO DETAIL 15, AND 19/AD1.1.2. | DETECTOR PERMANENTLY WIRED W/ BATTERY BACKUP AND LOW BATTERY SIGNAL. INSTALLED TO MEET 2018 IBC, IFC, & IRC CODE REQUIREMENTS. |
| | INTERIOR ELEVATION KEY | |
| | MECHANICAL EQUIPMENT ACCESS PANEL. SEE DETAIL 23/AD6.1.1 AND MECHANICAL DRAWINGS. | CEILING-MOUNTED RETURN AIR GRILLE |
| | | |
| | | WALL-MOUNTED RETURN AIR GRILLE |
| | | |
| | | CEILING-MOUNTED SUPPLY AIR GRILLE |
| | | |
| | | WALL-MOUNTED SUPPLY AIR GRILLE |
| | | |
| | | CEILING-MOUNTED EXHAUST FAN |