



**UNION TOWNSHIP BOARD OF ZONING APPEALS
OCTOBER 3RD, 2024 MEETING**

CONDITIONAL USE; VARIANCE

**ARCADIA INFRASTRUCTURE I, LLC, Applicant
4762 TEALTOWN ROAD**



Staff Report: CASE # 5-24-A

NATURE OF REQUESTS

The Applicant is requesting that the Union Township Board of Zoning Appeals grant a Conditional Use, pursuant to Article 6, Section 612, item 3 (a-j) of the Zoning Resolution, to allow a wireless telecommunication tower facility on the subject property.

Additionally, the Applicant is requesting the Board to consider a Variance to exceed the maximum height requirement of 150 feet—to allow for a 195-foot tall cell tower, with a 4-foot lightning rod.
**Please refer to the Applicant's statements, plans, and other application enclosures.*

LOCATION

The subject property, owned by Mt Carmel Glen Este Boosters, is located approximately 1,285 feet to the northwest of the Tealtown Road and Baldwin Road intersection, on Parcel # 413106B106.

ZONING

The subject property is zoned Single Family Detached Structure Residential (R-1) zoning, with the property to the north, south, east, and west also zoned (R-1). The property to the southwest, across from the entrance into the property, is zoned Planned Development (PD).

BACKGROUND

The subject property has been zoned Single Family Detached Structure Residential (R-1) since the inception of zoning in the Township (1959). The property has been used as a ball park for decades. The current owners obtained a Conditional Use in 2003 for temporary additional dugouts. The owners obtained another Conditional Use in 2006 to add shelters.

Union Township officials became aware that the subject property was being reviewed for the purposes of siting a new wireless telecommunications facility in March of this year when Township officials—along with the residents adjoining the subject property—received written correspondence from PBM Wireless Services LLC (received 03/25/24). The Township responded on 03/26/24 through the Fiscal Officer, pursuant to the Ohio Revised Code (ORC), Section 519.211, to acknowledge / assert that the Township objected to the proposed wireless telecommunications facility's installation without the required Conditional Use review and approval process, as set forth in the Union Township Zoning Resolution. *If there had been no objections, the wireless telecommunications facility installation would have moved forward without Township review and approval.*

STAFF COMMENTS:

After reviewing the proposed application in totality, please note:

- 1) The Tealtown Ballpark property is considered in compliance at this time.
- 2) With respect to Article 6, Section 612, item 3 (a-j) of the Union Township Zoning Resolution, the requested Conditional Use may be permissible in a Single Family Detached Structure Residential (R-1) zoning district, if the Board finds that the Applicant has satisfied all of the following standards:
 - a. **Proof shall be provided by the Applicant in a form satisfactory to the Board that the proposal has been reviewed and / or approved by all agencies and governmental entities with jurisdiction, if required.** *The Applicant has provided proof that documentation regarding this proposal has been submitted to the Federal Communication Commission (FCC), or the successors to their respective functions. All other prerequisite approvals have been submitted.*
 - b. **The Applicant must demonstrate by clear and convincing evidence that its tower antennae cannot be located on any other communication tower, building or structure in the geographic area to be served, and that all reasonable means have been undertaken to avoid any undue negative impact caused by the “clustering” of towers within an area.** *With respect to this particular item, the Applicant has provided the locations of all other towers and tall structures within an a 2-mile+ radius—and has acknowledged that if approved, the new tower will accommodate up to 3 additional co-locations by other wireless telecommunications providers. The Applicant has submitted written statements indicating that the 2 closest towers to the subject site are too low in elevation and do not allow the Applicant's client to meet its coverage objective—which still appears to somewhat nebulous in nature, other than a reference to address capacity and coverage issues and to serve the Tealtown area, citing enormous growth in the number of customers and call blocking during peak hours.*

A ‘Current Predicted Coverage’ and a ‘Current Predicted Coverage with Tealtown site’ map along with a ‘Capacity Offload Map’ were also submitted as part of the RF Memo to identify a “service gap”—although the existing tower sites in the ‘Capacity Offload Map’ don’t match the other 2 maps.

- c. An application shall be disapproved unless the Applicant demonstrates that technically suitable and feasible sites are not available in a nonresidential district not within one hundred (100') feet of a residential dwelling and that the site is located in the least restrictive district that includes a technically suitable and feasible site. *The Application submittal does not acknowledge whether or not any of the adjacent Planned Development (PD) zoned property (which potentially allows institutional, business and industrial uses) or the property zoned Industrial approximately 0.5 miles to 1 mile north of the subject property was considered—nor does the information supplied illustrate Verizon’s existing service areas to show acceptable / strong areas vs. unacceptable / weak areas of service, to demonstrate the need for the tower in the identified “search ring,” which was determined according to “...network needs and existing sites.”*
- d. Monopole installations are required. It is required that any building constructed to service a telecommunications tower be designed in an architecturally compatible manner to adjacent buildings. It is further required that the tower itself and any support equipment located on the ground shall be painted or have a finish in earth tones to reduce visual impact. *The Applicant is proposing a monopole installation, and has noted that “all equipment cabinets located at the base of the tower shall be of earth tones.”*
- e. Pole, tower and/or structure placement be only on a lot meeting not less than the square footage requirements of zone district located within, with a maximum height being one hundred fifty (150') feet. The minimum setback from all property lines shall be 40 feet for property zoned R-1. *The proposed tower will meet the minimum setback from all property lines. The proposed tower height is one hundred and ninety-five (195') feet, with a 4-foot tall lightning rod—increasing the overall height to one hundred and ninety-nine (199') feet. Therefore, a Variance for the overall height of up to forty-nine (49') feet is required. Please see page 7 of this report with respect to Article 4, Section 431 (e) of the Zoning Resolution, which outlines the findings that are necessary for Variance requests.*

- f. **For reasons of aesthetics and public safety such facilities shall be effectively screened on each side which adjoins premises in any residential zone districts. Screening shall consist of a solid masonry wall or solid fence, not less than four (4') nor more than six (6') feet in height, a tight screen of hardy evergreen shrubbery, or natural or existing screening not less than four (4') feet in height. The use of razor or barbed wire shall be prohibited. Screening walls and fences shall meet the minimum setback requirement as indicated in the table in Subsection (e) above. Spaces between any screening device and adjacent property lines shall be including, but not limited to grass, hardy shrubs, evergreen ground cover, etc. All screening devices and landscape materials shall be maintained in good condition.** *The Applicant has proposed a 6-foot high wooden privacy fence (with no razor or barbed wire), along with 48 arborvitae that are 4-feet tall, and a 5-foot wide mulch bed to enclose and surround the leased tower / compound area. The Applicant has noted that it will maintain the aforementioned, required screening in good condition.*
- g. **The Applicant (or its successors) shall, within thirty (30) days of ceasing operation at the site of a telecommunication tower, give notice of such ceasing of operation to the Union Township Zoning Department. Facilities shall be removed from the site within twelve (12) months of ceasing operations. Resale or renting of facilities is permissible only to other telecommunication systems subject to the obtainment of a zoning certificate from the Union Township Zoning Department.** *The Applicant would be required to agree to this condition.*
- h. **Any special zoning certificate issued under this section shall be revocable and may be revoked after notice and hearing if any continuing conditions of the certificate has been violated and is not remedied within thirty (30) days of written notice from the Zoning Director.** *The Applicant would be required to agree to this condition.*
- i. **The permit application shall list the location of every tower, building or structure within a half (½) mile radius, that could support the proposed antenna so as to allow it to service its intended function.** *As noted earlier, the Applicant has provided the locations of all other towers and tall structures within a 2-mile+ radius.*
- j. **An antenna or tower may not be illuminated, nor may lighting fixtures or advertisement signs be attached to the structure, except such lighting as may be required by law.** *The Applicant has noted that the tower would not be lit, per FAA approval, and that only emergency contact signage would be installed on the site.*

3) In accordance with Article 4, Section 442, in considering an application for a conditional use the Board of Zoning Appeals shall give due regard to the nature and condition of all adjacent uses and structures; and in authorizing a conditional use the Board may impose such requirements and conditions with respect to location, construction, maintenance and operation in addition to those expressly stipulated in this Resolution for the particular conditional use as the Board may deem necessary for the protection of adjacent properties and the public interest.

In addition to the above and to the specific requirements for conditionally permitted uses as specified elsewhere in this Resolution, *the Board shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use at the proposed location:*

- a. Is in fact a conditional use as established under the provisions of this Resolution and appears on the Schedule of District Regulations adopted for the Zoning District involved;
- b. Will be in accordance with the general objectives, or with any specific objective, of the Township's Comprehensive Plan and/or the Zoning Resolution. *As noted earlier, the proposed location of this wireless telecommunications facility is in a Single Family Detached Structure Residential (R-1) zoning district—and is in an area that is recognized as one of the main residential living areas of the Township. As part of the conditional use process, Applicants for wireless telecommunications facilities must demonstrate that technically suitable and feasible sites are not available in a nonresidential district not within 100' of a residential dwelling.*
- c. Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area. *Although the proposed use may be requested as a conditional use in a Single Family Detached Structure Residential (R-1) zoning district, there remain questions and issues associated with the criteria set forth in Article 6, Section 612, Item 3 (a-j) of the Union Township Zoning Resolution, as identified on pages 2-4 of this report.*
- d. Will not be hazardous or disturbing to existing or future neighboring uses;
- e. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services;

- f. Will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community;
- g. Will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors;
- h. Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic on surrounding public thoroughfares;
- i. Will not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.

4) Pursuant to Article 4, Section 430 of the Township Zoning Resolution, to grant the necessary Variance, the Board would need to find that the literal enforcement or strict application of the provisions of the Zoning Resolution would result in an unnecessary hardship. No nonconforming use of neighboring lands, structures, or buildings in the same district and no permitted or nonconforming use of lands, structures, or buildings in other districts shall be considered grounds for issuance of a variance. Variances shall not be granted on the grounds of convenience or profit, but only where strict application of the provisions of this Resolution would result in unnecessary hardship.

5) In accordance with Article 4, Section 431, the Board would also need to find affirmatively on:

- a. The granting of the Variances shall be in accord with the general purpose and intent of the regulations imposed by this Resolution on the district in which it is located, and shall not be injurious to the area or otherwise detrimental to the public welfare.
- b. The granting of the Variances will not permit the establishment of any use which is not otherwise permitted in the district.
- c. There must exist special circumstances or conditions, fully described in the findings, applicable to the land or buildings for which the Variances are sought, which are peculiar to such land or buildings and do not apply generally to land or buildings in the area, and which are such that the strict application of the provisions of this Resolution would deprive the Applicant of the reasonable use of such land or building. Mere loss in value shall not justify a variance; there must be deprivation of beneficial use of land. At this time, there does not appear to be special circumstances or conditions are involved with this particular Variance request, that are peculiar to such land or structures and do not apply generally to land or structures in the area.

- d. There must be proof of hardship created by the strict application of this Resolution. It is not sufficient proof of hardship to show that greater profit would result if the variance were granted. Furthermore, the hardship complained of cannot be self-created; nor can it be established on this basis by one who purchases with or without knowledge of the restrictions; it must result from the application of this Resolution; it must be suffered directly by the property in question; and evidence of variances granted under similar circumstances need not be considered. *At this time, there does not appear to be evidence to support that the strict application of the Zoning Resolution would create a hardship, as set forth herein.*
- e. The granting of the variance is necessary for the reasonable use of the land or building, and the variance as granted is the minimum variance that will accomplish this purpose. *At this time, there does not appear to be evidence to indicate why the Variance for the additional height is needed—as opposed to installing a 150-foot high tower that would not require a Variance, or a lesser Variance request.*
- f. The proposed variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.
- g. The granting of the variance requested will not confer on the Applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district.

ACTION REQUIRED

In accordance with Article 4, Sections 441-445 and Article 6, Section 612, item 3 of the Zoning Resolution, the Board of Zoning Appeals' role in the **Conditional Use** process is to either enter a motion to approve, modify, or deny the Applicant's request for a **Conditional Use**, to allow a wireless telecommunication tower facility on the subject property.

In accordance with Article 4, Sections 430-431 and Article 6, Section 612, item 3 of the Zoning Resolution, the Board of Zoning Appeals' role in the **Variance** process is to either enter a motion to approve, modify, or deny the Applicant's request to exceed the maximum height requirement of 150 feet—to allow for a 195-foot tall cell tower, with a 4-foot lightning rod.

***Please note that this decision must be based on the evidence, testimony, and Findings of Fact related to the request.*

September 19, 2024

Via Email to mmccormack@UTClermont.gov

Mark McCormack
Development Director
Dept. of Planning & Zoning
Union Township, Clermont County
4350 Aicholtz Road
Cincinnati, OH 45245

Re: Arcadia Infrastructure I, LLC
Petition No: 5-24-A

Dear Mr. McCormack:

Thank you for the call last week and the opportunity to provide additional information relevant to the captioned petition.

First, with regard to approvals from the Federal Communications Commission (“FCC”), we are enclosing the completed registration with the FCC for the proposed wireless communications facility. There are no other approvals from the FCC relative to this site; however, upon completion of the structure’s installation Arcadia will so notify the FCC.

Second, the information we provided immediately prior to the hearing scheduled earlier this month adds further clarity relative to the establishment of Verizon’s search ring, as well as the inventory of sites in the broader geographic area. This information graphically depicts the service gap (and absence of existing infrastructure), as well the designed remedy addressing the service gap in the least intrusive means available.

Specifically, the service gap is generally framed by Interstate 275 to the west, State Route 32 to the south, and US 50 to the north. The gap is bisected by Tealtown Road. The provided tower inventory and RF study Search Ring (Figure 3) are consistent, generally depicting Verizon’s existing locations primarily along State Route 32, Interstate 275, and US 50, leaving a hole in the vicinity between US 50 and State Road 32 and encompassing a large section of Union Township, including the residential areas surrounding Willowville Elementary.

The RF study information provided by Verizon explains that the service gap is twofold, including both coverage (expanding the geographical area receiving service) and capacity (providing additional infrastructure, providing offload from areas with intense service demands). To provide the additional capacity, a new wireless facility must be spaced away from existing Verizon locations. This means that the new facility cannot be located near existing Verizon

locations. For example, this proposed facility cannot be located near the cluster of towers two miles south of the site because, among other things, it would cause interference with the existing locations.

The additional information provided also explains that there is literally only 1 tower within 1.5 miles of the proposed location, and it is north of the proposed site a distance of 1.2 miles. The additional information explains that this tower is at a lower ground elevation than the proposed site (by 65-feet) and the available center line on that tower is at 150 feet, making it 104 feet lower than the ground elevation of the proposed facility. The location of this site and its reduced height disqualify it as a candidate for remedying the service gap.

The same is also true for the existing tower identified nearly 2 miles east of the proposed site. The location of this site, and its lower elevation, similarly disqualify it as a candidate for remedying the service gap.

The proposed location is the least intrusive alternative available to remedy the service gap. The search area includes only properties zoned for residential uses. The proposed location is zoned for residential, but it is not used for residential purposes. The parcel is very large (nearly 50 acres) with tall, mature trees around its perimeter, providing robust screening. The closest neighboring use is a business operation, and the closest residential uses are 980 to over 1,000 feet away from the site. The site is an ideal location because of these factors unique to the property itself (e.g., non-residential use, existing tree lines, and size).

Third, we were asked to identify how this wireless facility would serve Union Township residents. It does so in a variety of ways. As depicted in the coverage maps, it adds geographical coverage to areas east and south of the site, including residential areas to the south in Union Township. It will also provide critical additional capacity for residents already using Verizon's network, the infrastructure for which is heavily used and requires this additional infrastructure to provide required capacity offload. For instance, Union Township residents often travel along State Route 32 and/or shop at Eastgate Mall, utilizing existing network assets. Those facilities require capacity offload to optimally serve those Union Township residents, as well as others as they travel through Union Township. The RF Memorandum notes that "customers from this area are now reporting that during peak times, they have problems connecting to the network, or reflexively that calls to customers within this service area are not getting through." The proposed facility is in direct response to these identified service problems which exist today and are growing.

It should also be noted that a key goal behind the Telecommunication Act of 1996 was to assure universal wireless service to all communities, so that consumers in all areas would have access to high quality service. It would be unlawful to prohibit the provision of wireless communications to citizens of Union Township.

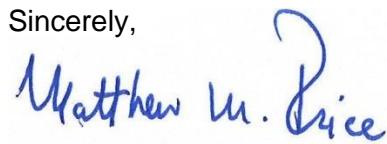
Fourth, the RF materials note that a lower tower height would substantially reduce the utility of the site and fail to remedy the service gap. It is noted that a tower height of 150 feet would provide 43.4% less coverage and lower capacity offload. To illustrate why this is not acceptable, note that 80% of 911 calls are placed through a wireless telephone. If 100 911 calls

are place, that means 80 of those calls are from a wireless telephone. It is unacceptable that 35 (43.4%) of those 80 calls would be dropped, distorted or delayed because of a service gap in wireless service. With universal service, every consumer may depend on a reliable signal when needing to place a call for help, including those residing in Union Township.

We look forward to the public hearing in October and an opportunity to answer questions from the Board, as well as members of the public.

Please let me know if you would like to discuss any of this additional information.

Sincerely,



Matthew M. Price
Partner

MMP/rea
24204242.v1

cc: Mr. Steve Carr

TEALTOWN

New Macrocell

**4762 Tealtown Rd
Milford, Ohio 45150**



Figure 1: Current Predicted Coverage

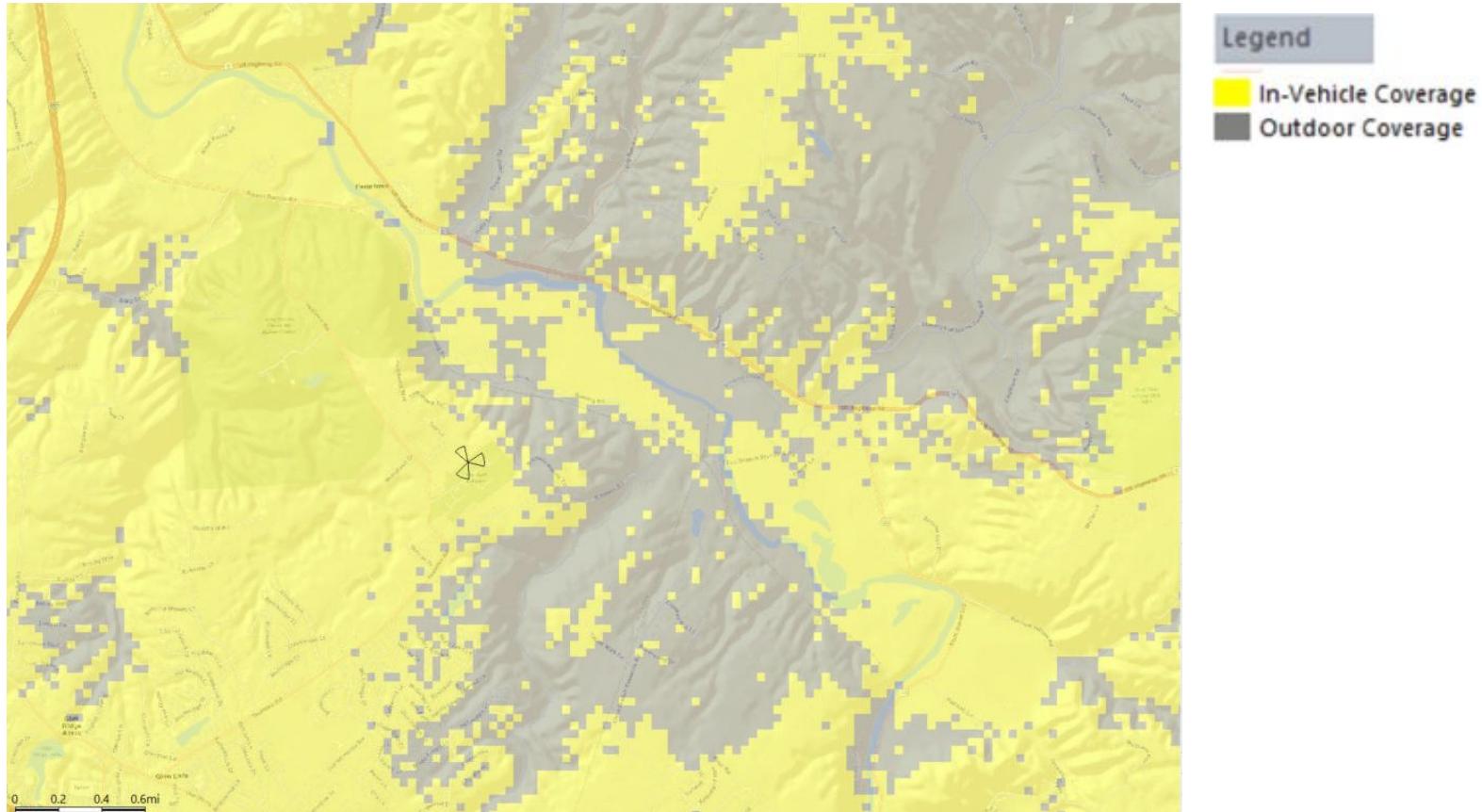


Figure 2: Predicted Coverage with Tealtown site

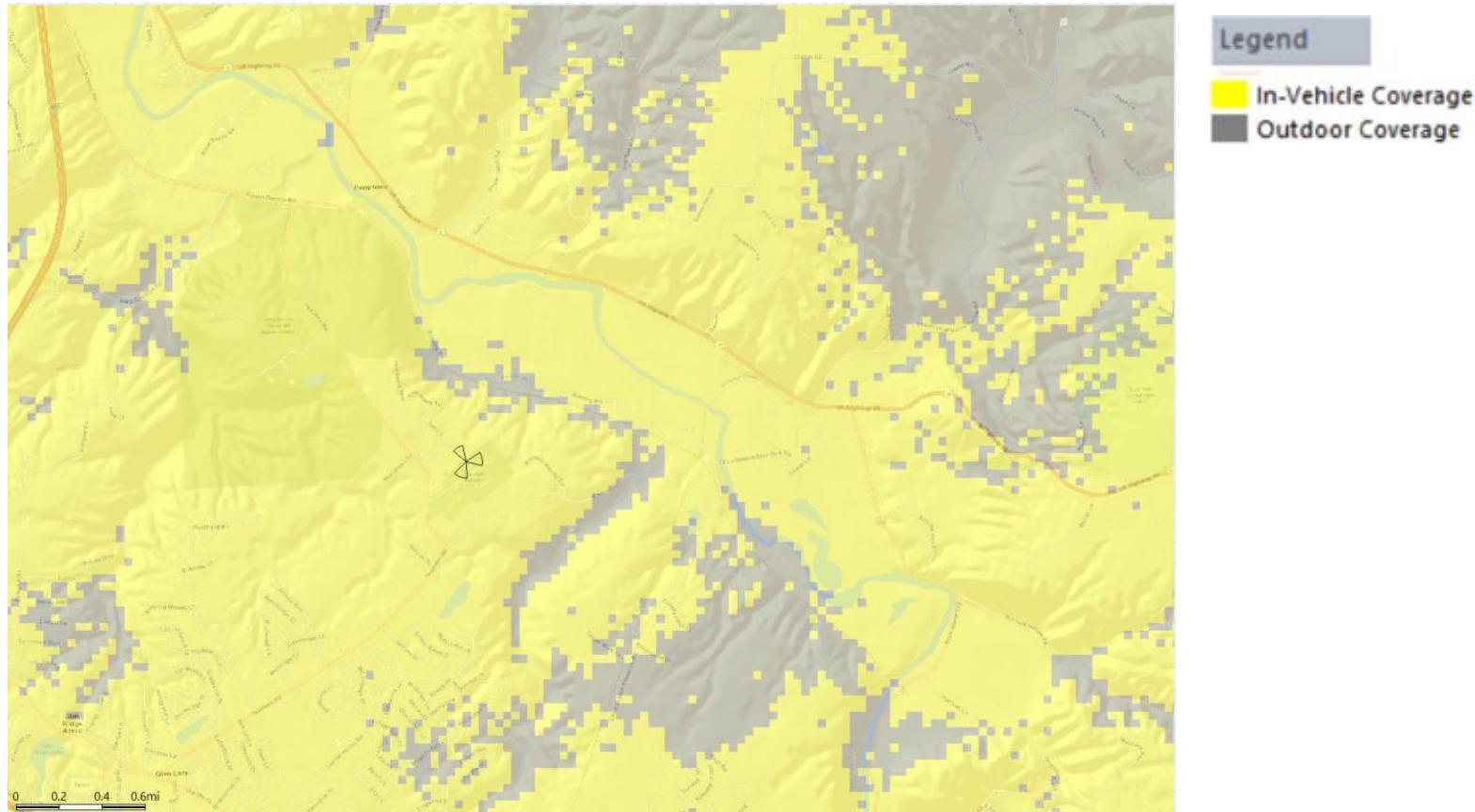
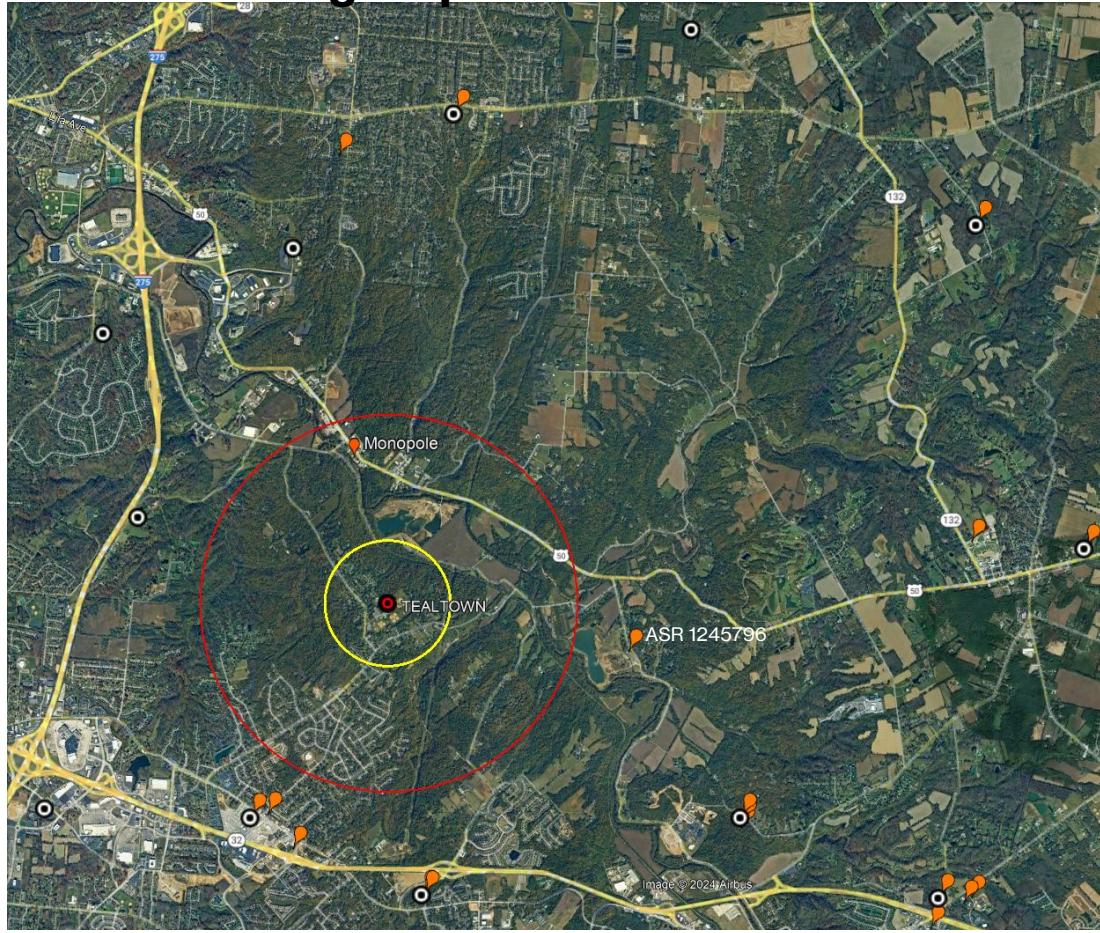


Figure 3: Search Ring Map



Key

White circle with black dot: Existing Verizon cell sites

Orange pin: Existing tower locations

Red pin with black dot: Tealtown Candidate

Yellow circle: Radius of 0.5 mile from proposed site

Red circle: Radius of 1.5 mile from proposed site

Search Ring Analysis (Refer to Figure 3)

- **No existing towers in the search ring.** As shown on the Search Ring Map, there are no existing towers within .5 miles from the proposed site.
- **Existing towers in the general area are not viable.** There is one tower shown as “Monopole” in the map that is within 1.5 miles of the proposed site. It is on Rt 50 and is 1.2 miles north of the Tealtown candidate. The site is 189 feet tall at 524 AMSL. This means the top of the tower is 713 AMSL which is *65 feet lower than the ground elevation* of the Tealtown site. Further, the highest available center line on that tower is approximately 150 feet, making it *104 feet lower than the ground elevation* of the Tealtown location. This location will not will allow Verizon to remedy its service gap.
- There is another existing tower shown as ASR 1245796 which is 1.94 miles from the proposed Tealtown site and is listed at 199 feet tall at 556 AMSL. This means the top of the tower is 755 AMSL which is *23 feet lower than the ground elevation* of the Tealtown site. Further, the highest available center line on that tower is approximately 170 feet, making it *52 feet lower than the ground elevation* of the Tealtown location.
- Given these height limitations, the two existing towers identified above would only serve a small portion of Rt 50 and a small area that is sparsely populated, and will provide very little offload of existing Verizon sites. Further, all of the other existing structures in the general area are either right next to Verizon's existing sites – which would cause interference – or are too far away from existing Verizon sites to provide capacity offload or contiguous coverage.

Tealtown Site - Proposed Height Justification

- **Challenging terrain requires a tower height of 199'.** The terrain in the area of the service gap varies from 492 ft around Rt 50 and 275, to 872 ft around Eastgate mall. This is a change in elevation of 380 ft, which makes it difficult to provide coverage to the entire area. Further, the trees in the area can add an additional 60 to 80 ft of obstruction to the signal. For this reason, the proposed Tealtown site has been designed at a height of 199 ft at 778 ft AMSL in order to adequately remedy the service gap.
- **A reduction in height will substantially reduce the coverage area.** The proposed Tealtown site will serve an area of 41.923 sq km at a height of 190 feet. If the proposed Tealtown site is limited to a height of 145 feet, it would only serve an area of 23.73 sq km, which is a reduction in service area of 43.4% when compared to a tower height of 190 feet. Because of the terrain challenges noted previously, a reduction in the height of the proposed tower to 145 feet will prohibit Verizon from adequately providing service to its customers in and around the gap area.





**RADIO FREQUENCY ANALYSIS MEMORANDUM
FOR VERIZON'S TEALTOWN COMMUNICATIONS SITE**

This memorandum describes how Cellco Partnership d/b/a Verizon Wireless ("Verizon") identified the need for a new wireless communications facility in Union Township, Clermont County, Ohio. The proposed site, which Verizon has named "Tealtown," has been chosen and designed to remedy a significant service capacity gap in the area.

Background

Verizon is licensed by the FCC to build and operate a wireless communications network in and around the Tealtown area in Union Township, Clermont County, Ohio. Verizon's licenses include, among others, the 700 MHz band and the 2100 MHz (or AWS) band. The different performance characteristics of these two frequency bands are important to an understanding of what it is that Verizon is seeking to accomplish with this site, and are discussed in more detail below.

National statistics compiled by the FCC indicate that more than 80% of E-911 calls to police and fire departments are now made using wireless phones. That percentage grows each year. For many Americans, the ability to call E-911 for help in an emergency is one of the main reasons they own a wireless phone. Other wireless E911 calls come from "Good Samaritans" reporting traffic accidents, crimes, or other emergencies. The prompt delivery of wireless E911 calls to public safety organizations benefits the public by promoting the safety of life and property. The public relies on wireless communications for emergency access to law enforcement and public safety services. Many police departments also rely on wireless data services between patrol cars and law enforcement databases. Wireless data services help police departments utilize their limited resources more effectively to better protect the public. It is in the public's interest to ensure that robust and reliable emergency voice and data services remain available to everyone in Verizon's service areas. The 700, 850, 1900, and 2100 MHz frequencies currently are used for data and voice-over-LTE (VoLTE).

A U.S. Government Semi-Annual Report on Wireless Substitution shows that as of December 2022, 72.6% of adults and 81.9% of children lived in wireless-only households, meaning that those households rely exclusively on wireless service for essential communications, including calls to emergency service providers. The communications services Verizon provides in and around the Union Township area therefore are essential to the individuals and businesses that are located there. These essential services require

reliable and state-of-the-art communications infrastructure that is continually monitored, upgraded, and augmented over time to keep up with the increased demand for these services. This empirical data demonstrates that large numbers of people have “cut the cord” on traditional wireline service and now rely exclusively on wireless services to connect to the national telephone system. The U.S. Government report confirms that wireless communication is the primary communications channel for more than three-fourths of the general population. This dependence upon wireless technology by the vast majority of the population clearly demonstrates a public need for ensuring the availability of reliable wireless communications services for all, including visitors, emergency service providers, and residents that live and work in and around the Tealtown area.

Verizon’s communication system, and indeed all carriers’ wireless communications systems, rely on an overlapping and interconnected network of individual antenna sites. Individual sites, like the one under consideration here, consist of antennas mounted on support structures. The radios and other electronic equipment that are needed to make wireless communications work are typically located at the base of the antenna support structure. These antenna sites transmit and receive wireless communications signals to and from mobile wireless handsets and other wireless communication devices, carrying both voice and data communication traffic. Residential growth in certain areas and increased user demand for higher bandwidth applications on mobile devices can cause existing antenna sites to reach capacity, such that they cannot support any additional voice and data traffic. When this happens, Verizon must identify a viable location for a new antenna site that meets the specific needs of its network.

Individually, each communication facility has a limited coverage area. The extent of the coverage depends on several factors, including antenna height, local topography, proximity and height of other adjacent antenna installations, and localized customer usage demands. When linked electronically to form a network, however, individual antenna sites operate to deliver a seamless wireless communications service to individuals, businesses, and government. The “seamless” part is important, even crucial, to understanding Verizon’s need for the site at issue here. Without overlapping coverage, calls can’t get through or be completed. The locations of antenna sites are therefore carefully thought out and selected to be located as far apart as is consistent with the number of customers in the service area, while still being close enough to “handoff” a mobile customer’s call from one tower to the next, without dropping the call.

To be effective, any new antenna facility must first be integrated into the existing network, so that it can transmit, receive, and offload calls to and from its siblings without interference. The requirement that any new site must be able to perform a call “handoff”, as when a motorist drives from one coverage area into another, is absolutely essential. If a call cannot be handed off, the site is useless as a network component.

Justification for the Proposed Tealtown Wireless Communications Facility

This brings us to the specific considerations that went into choosing the proposed Tealtown site. This facility is intended to address two pressing service problems that cannot be solved merely by re-engineering our existing antenna sites: the capacity problem and coverage problems. Each of these is explained in more detail below.

700 MHz Capacity Problem. The first problem is one of capacity. Briefly put, although other existing antenna sites were in the past able to serve this area, they can no longer do so efficiently because the number of customers has grown enormously over the past few years, and those customers are using more data than ever. As problems go, a large and growing customer base is a good one to have, but it also means that local demand for wireless services are starting to exceed the capacity of our existing sites in this area. Customers from this area are now reporting that during peak use times, they have problems connecting to the network, or reflexively that calls to customers within this service areas are not getting through. This means that this geographic area is no longer being served effectively and there is a service capacity gap.

Call Blocking. When a wireless network reaches the maximum number of connections it can handle at one time, the service area is saturated, and new calls can't get through. This is known as "Call Blocking." Call blocking most often occurs during high demand periods, such as emergencies and social events, but as the customer base in a given area grows, call blocking starts to occur more often, even daily, especially during high demand periods. The logical solution to cure call blocking is to add capacity by adding more carriers or call channels. In this case, Verizon has already added the maximum number of radios to its existing antenna sites surrounding this area, but it still has not provided enough capacity for the growing demand. Simply put, the cell sites surrounding this area have become saturated with increasing voice and data traffic, and adding additional radios are no longer possible. Verizon has exhausted all other options for resolving the capacity issues in this area and it must add a new communications site in order to adequately serve its customers.

One final - indeed critical - system performance limitation must be kept clearly in mind in any discussion of cell site location. The relative coverage limits of signals sent by cell sites in different frequency bands are important design criteria. These signals, however, are only one-half of the communications link. The thing that must be kept in mind is the extremely weak signals from cellphones and other mobile data devices, which provide the return link in the signal path. The power levels of these return signals are limited by federal law to a maximum of 0.6 watts for the older "feature" phones (i.e., dumb phones) and to 0.25 watts of power for today's LTE smartphones. These weak return signals must also penetrate whatever materials a vehicle or buildings are made of, in order to communicate with the network. This, as much as any other reason, is why cell sites must be located within the area proposed to be served.

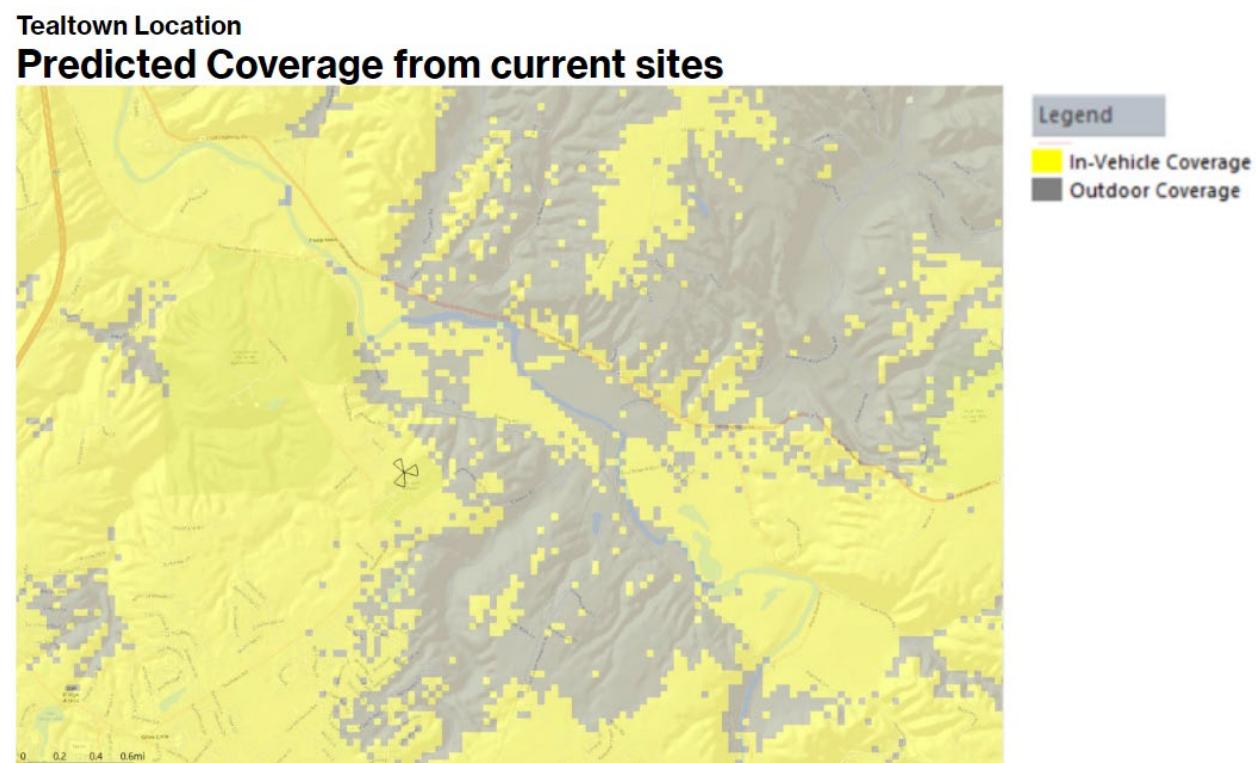
The inherent limitations in the physics of electromagnetic signal propagation and

absorption in these frequency bands are unalterable facts. In the case of Tealtown, these limitations and the implementation of the technical solutions discussed above will require the construction of a new antenna site. To accomplish this, Verizon is proposing the Tealtown site. This new site is critical to Verizon's efforts to relieve call blocking by closing the growing service capacity gap in this area, and restoring reliable wireless communication service to the people living, working, and traveling through this area.

Selection of the Proposed Location of the Tealtown Site

A significant wireless network service gap exists in Tealtown, which negatively affects substantial numbers of wireless users throughout the area. **Figure 1** shown below is a coverage plot demonstrating the current gap in coverage (2100 MHz Coverage is indicated by yellow is In-vehicle).

Figure 1: Existing 4G Coverage without Tealtown Site



The Figure 2 coverage plot depicts the improvement in coverage that will result from a new communications facility at the proposed Tealtown location (2100 MHz Coverage is

indicated by yellow is in-vehicle). When the plot below is compared to the previous slide, the yellow areas are increased; thus, in-vehicle coverage is enhanced to provide improved service for customers.

Figure 2: 4G Coverage with Tealtown Site

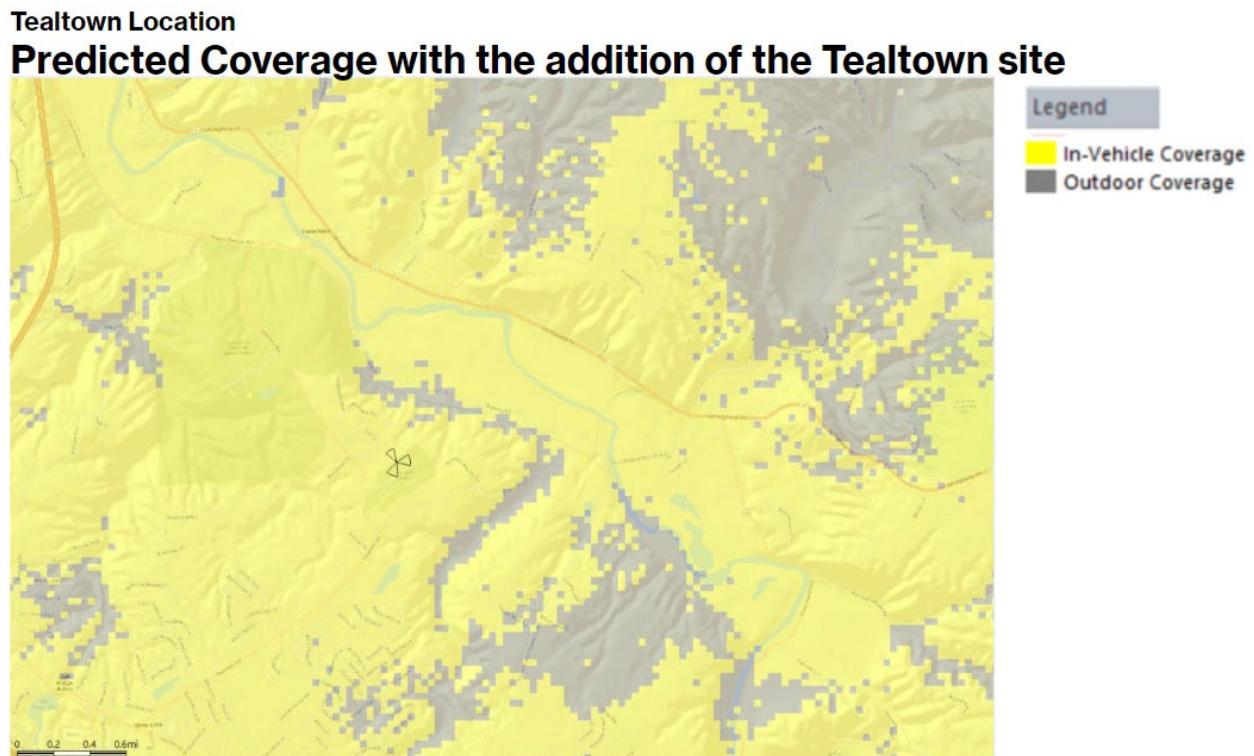
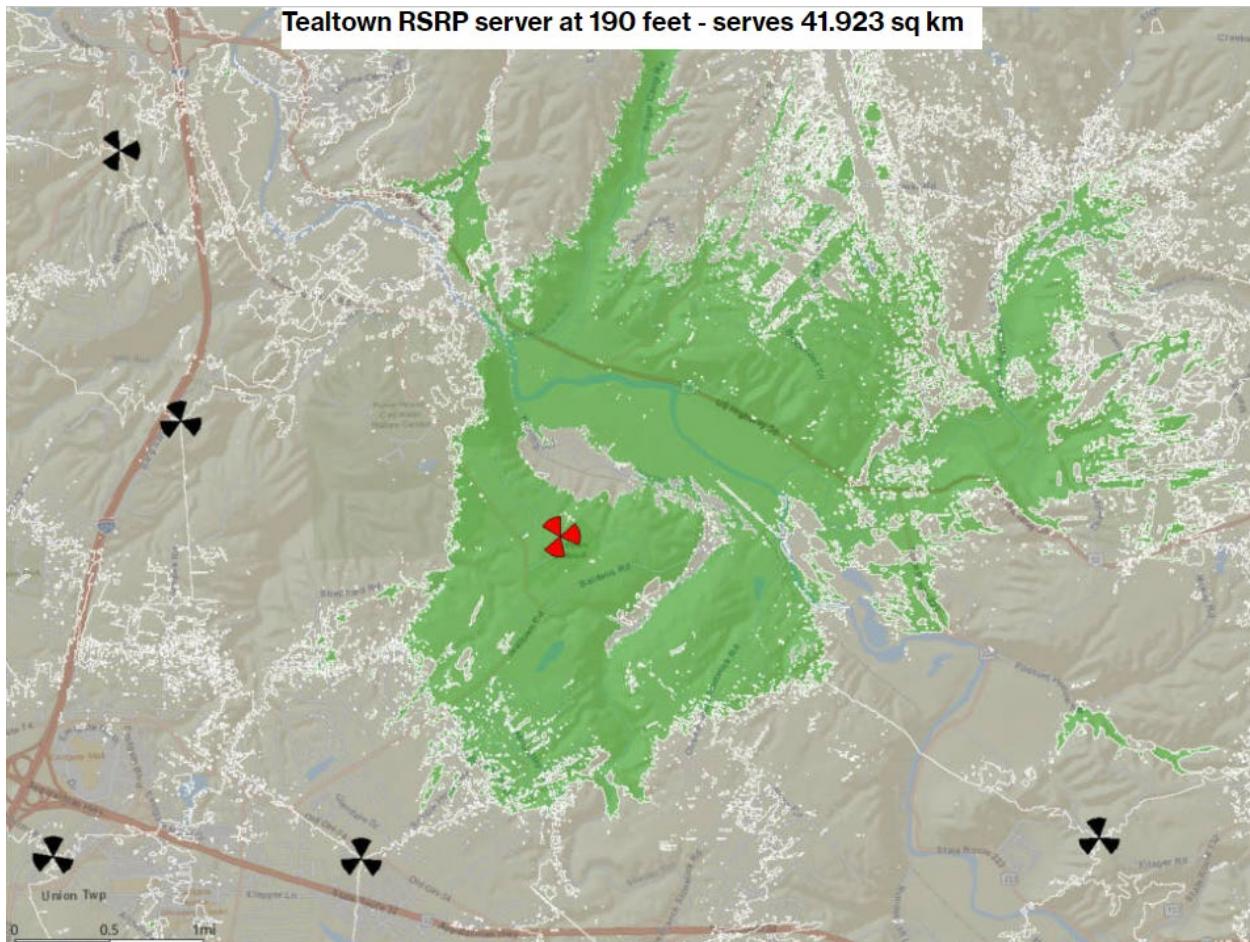


Figure 3 below compares coverage from figures 1 and 2 in a best server plot to show the capacity relief provided by the new proposed cell site. The green area designates

the area of capacity coverage that is being offloaded by the new proposed Tealtown site over the existing cells to improve customer performance.

Figure 3: Capacity Offload Map



Search to Remedy Service Capacity Gap

Verizon radio frequency engineers have worked to identify the optimum location and height at which antennas should be placed to connect with the existing network in order to accommodate growing customer demand, to avoid interference with other wireless communications sites, and to close this growing service capacity gap. Network needs and existing sites determined the search ring location. The site location coordinates produced a search radius, or search ring, of 0.5 miles in which the new site had to be located to meet Verizon's network needs. Put simply, a site located outside the search ring would not meet Verizon's coverage objectives, as explained in more detail below.

The search radius of 0.5 miles was chosen because of the precise capacity needed in the area combined with a consideration of the existing sites and their current coverage/capacity. In addition, the specific search area is limited by the extreme changes in elevation. The new tower had to be placed into Verizon's existing network in a surgical way to meet the increased capacity needs in the area without interfering with other surrounding sites. If the new site was located outside this half-mile radius, it would interfere with existing sites, or not meet service requirements and cause existing service to degrade.

The Search for Existing Tall Structures. Before proposing this new tower site, Verizon first evaluated whether any existing towers or other tall structures might be technically feasible for coverage purposes, and suitable for collocation. Verizon is committed to collocation and regularly locates its equipment on existing towers and buildings where possible. Collocation on existing tall structures saves time and money compared to building a new tower. Reciprocally, Verizon encourages in-bound collocation on its towers by third-party applicants, offering tower space on a first-come, first-served basis, at competitive, nondiscriminatory rents, so long as such shared use does not interfere with any other tower tenant's equipment or operations, and provided the applicant's equipment is installed in accordance with the requirements of the Ohio Building Code and maintained in accordance with the requirements of the Federal Communications Commission location and flight requirements.

The height and location of the proposed tower were specifically chosen and designed to close Verizon's service gap in Union Township. As such, the proposed site will provide the best solution to serve the requirements of the area. Without the proposed site, people in the Tealtown will continue to experience call blocking and poor signal coverage, preventing them from wirelessly connecting to the national telephone system.

The height of the proposed tower was designed to achieve the necessary expansion of service within the identified coverage gap. Specifically, the proposed tower height of 195' is needed to obtain an antenna centerline of 190' to fill in the identified coverage gap and provide optimal capacity offload in the area. A tower height lower than 195' would not fully meet Verizon's coverage objectives.

A tower height of 150' would provide for an antenna centerline of 145' which **would result in 43.4% less coverage and lower capacity offload** and, thus, would frustrate the purpose underlying this project. Further, as mentioned above, there were no existing towers or other tall structures identified which could serve as a suitable location to remedy the identified service gap.

Based upon the extent of the coverage gap, and factoring the narrow search location which would address that gap, Verizon was unable to identify any alternative structures

or propose any modified location or design criteria, which would remedy the service capacity gap. The nearest Verizon tower was located 2 miles to the south west of the proposed site, and the nearest non-Verizon tower is 2 miles away to the east. Any substantial movement of the proposed site would render it less effective in remedying the coverage gap and would, again, frustrate the underlying purpose for the tower.

Confirmation of Continued Regulatory Compliance

Verizon affirms that the wireless communications facility proposed at the Tealtown site has been designed and will be constructed and operated in accordance with all federal, state, and local regulations applicable to such facilities. Verizon also affirms that its licensed operating units will operate exclusively within the frequencies and service areas licensed to it by the Federal Communications Commission. Verizon Wireless further affirms that it will operate its facility in conformance with all applicable federal requirements for controlling public and worker exposure to radiofrequency energy. As explained in detail above, the proposed facility is needed to provide an essential public service to wireless communication users in Union Township, Clermont County that cannot be established in any other manner. The construction and integration of this site into Verizon's existing network will provide or improve access to mobile voice and wireless data services previously degraded or unavailable, and support Homeland Security through enhanced 911 services. Finally, it will allow the service gap in this area to be addressed.

Nick Stevens
Senior Engineer -- Radio Frequency



ARCADIA INFRASTRUCTURE I
CONDITIONAL USE PERMIT REQUEST
AND
VARIANCE OF DEVELOPMENT
STANDARDS REQUEST

DATE: JULY 1, 2024



July 3, 2024

Union Township Planning Department
Attn: Mark McCormack, Development Director
4350 Aicholtz Road
Cincinnati, OH 45245

RE: Arcadia Towers Conditional Use Permit Application & Variance Application

Dear Mr. McCormack,

On behalf of Arcadia Infrastructure I, LLC, a Delaware limited liability company & Cellco Partners d/b/a Verizon Wireless, I am submitting a Conditional Use Permit application and Variance of Developmental Standards to allow the placement of a 195' tall wireless communication facility, with a 4' tall lightning rod to be placed on property located at 4762 Tealtown Road, Milford, Ohio. The property in question has a parcel number of 413106B106 and is zoned R-1 Single Family Detached Structure Residential Zoning. The property is owned by Mt. Carmel-Glen Este Boosters, an Ohio corporation not for profit. Based on the review of the Union Township Zoning Ordinance, Wireless Communication Towers are required to submit a Conditional Use Application to allow the placement of this 199' tall facility. Attached you will find the complete zoning application along with a response on each findings of fact on allowing this facility on the subject property.

Along with the Conditional Use Permit requirements, I have also provided a detailed response to each provision of the code under Section 612 Conditional Uses, subsection 3 (a) thru (j).

Section 612 Conditional Uses

3. The construction, location, erection, reconstruction, alteration, change, use or enlargement of telecommunication towers, upon application and compliance with Ohio Revised Code Section 519.211 and this Resolution if the Board finds that the applicant has satisfied all of the following standards:
 - a. Proof shall be provided by the applicant in a form satisfactory to the Board that the proposal has been reviewed and/or approved



by all agencies and governmental entities with jurisdiction, if required, including but not limited to the Ohio Department of Transportation Office of Aviation, the Federal Aviation Administration, the Federal Communication Commission, or the Successors to their respective functions.

I have attached the FAA approval that was received by the Federal Aviation Administration along with the ODOT approval from the Ohio Department of Transportation.

- b. The applicant shall demonstrate by clear and convincing evidence that its tower antenna cannot be located on any other communication tower, building or structure in the geographic area to be served, and that all reasonable means have been undertaken to avoid any undue negative impact caused by the “clustering” of towers within an area. In the event of the construction of new facilities by the applicant, the applicant shall agree to the use of such facilities by other public utilities engaged in the provision of telecommunication services; upon payment of reasonable fees for such use.

Arcadia Infrastructure I, LLC is engaged in the business to lease vertical real estate to other telecommunication service providers. Therefore, Arcadia Infrastructure I, LLC is willing, to allow other telecommunication service providers to use this tower upon payment of reasonable fees for such use. The tower will be structurally designed to support Verizon Wireless and three potential collocators on the tower. I have also provided an aerial photograph map showing the existing towers located in the area and also show that they are not located in the area where we need to improve cellular phone coverage some of this existing structures Verizon Wireless already has equipment on these towers.

- c. An application shall be disapproved unless the applicant demonstrates that technically suitable and feasible sites are not available in a nonresidential district not within one hundred (100') feet of a residential dwelling and that the site is located in the least restrictive district that includes a technically suitable and feasible site.



Think outside the triangle.

I have attached a zoning map that shows no property other than property zoned some sort of residential use is located in the search ring where Verizon Wireless needs to improve cellular phone coverage. See attached the map. I also attached a site plan that shows the proposed location of the tower is not located within 100' feet of a residential dwelling.

- d. Monopole installations are required. It is required that any building constructed to service a telecommunications tower be designed in an architecturally compatible manner to adjacent buildings. It is further required that the tower itself and any support equipment located on the ground shall be painted or have a finish in earth tones to reduce visual impact.

Per the attached drawings the tower will a monopole designed tower. Arcadia is also agreeable that all equipment cabinets located at the base of the tower shall be of earth tones as well.

- e. Pole, tower and/or structure placement be only on a lot meeting not less than the square footage requirements of zoned district located within, with a maximum height being one hundred fifty (150') feet. The minimum setback shall be as indicated in the following table: R-1 District, Minimum Setback forty (40') feet, Minimum Screening thirty (30') feet.

Per the attached drawings the proposed tower will exceed the minimum height requirement by forty-nine (49') feet.

Therefore Arcadia Infrastructure I, LLC and Celco Partnership d/b/a Verizon Wireless will be a requesting a Variance of Developmental Standards to allow a Variance of forty-nine (49') feet to allow the placement of this wireless communication facility. The proposed location of the wireless communication facility will meet and exceed the setback requirements in the R-1 Residential Zoning District.

- f. For reasons of aesthetics and public safety such facilities shall be effectively screened on each side which adjoins premises in any residential zone districts. Screening shall consist of a solid masonry wall or solid fence, not less than four (4') nor more than six (6') feet in height, a tight screen of hardy evergreen shrubbery, or natural or existing screening not less than four (4') feet in height. The use of razor or barbed wire shall be



Think outside the triangle.

prohibited. Screening walls and fences shall meet the minimum setback requirement as indicated in the table in Subsection (e) above. Spaces between any screening device and adjacent property lines shall be including, but not limited to grass, hardy shrubs, evergreen ground cover, etc. All screening devices and landscaped materials shall be maintained in good condition.

Arcadia Infrastructure I, LLC will meet all the screening requirements as it is shown in the drawings that will meet these standards. Arcadia is also agreeable to maintaining all of the required screening laid out in the attached drawings.

- g. The applicant (or its successors) shall, within thirty (30) days of ceasing operation at the site of a telecommunication tower, give notice of such ceasing of operation to the Union Township Zoning Department. Facilities shall be removed from the site within twelve (12) months of ceasing operations. Resale or renting of facilities is permissible only to other telecommunication systems subject to the obtainment of a zoning certificate from the Union Township Zoning Department.

Arcadia Infrastructure I, LLC is agreeable to the tower removal standards listed above.

- h. Any special zoning certificate issued under this section shall be revocable and may be revoked after notice and hearing if any continuing conditions of the certificate has been violated and is not remedied within thirty (30) days of written notice from the Zoning Director.

Arcadia Infrastructure I, LLC is agreeable to the above listed provision on revoking the special zoning certificate if conditions at the site are not improved.

- i. The permit application shall list the location of every tower, building or structure within a half (1/2) mile radius, that could support the proposed antenna so as to allot it to service its intended function.

There are no existing towers, buildings, or structures that could support the proposed antenna for the coverage objective that Verizon Wireless is looking to obtain.



j. An antenna or tower may not be illuminated, nor may lighting fixtures or advertisement signs be attached to the structure, except such lighting as may be required by law.

The proposed wireless communication facility will have a 2' x 3' sign on the fence compound informing everyone who the owner of the structure is and a phone number to call in case of an emergency. Per the FAA approval that has been received by the FAA the tower will not require a light on the tower at a total height of the structure at 199'.

Based on the above information and all the Conditional Use Requirements and Variance of Developmental Standard being met. Arcadia Infrastructure I, LLC a Delaware limited liability company and Celco Partners d/b/a Verizon Wireless respectfully request your approval of a Conditional Use Permit and Variance of Development standard to allow the placement of a 199' tall telecommunication facility, on the property located at 4762 Tealtown Road, Milford, Ohio. If you have any questions or need additional information please contact Stephen E. Carr at 1-317-446-7747 or email at scarr@stevecarr.hostpilot.com

Sincerely

Stephen E. Carr
PBM Wireless Services
Project Director

Enclosure



FAA APPROVAL

PBM Wireless Services, LLC
2894 Aldersgate Drive, Greenwood, IN 46143 – (317) 446-7747



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2024-AGL-5222-OE

Issued Date: 06/10/2024

Sam Johnston
Arcadia Infrastructure I, LLC
101 Main Street
suite 300
Milford, OH 45150

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole Tealtown Ballpark
Location: Milford, OH
Latitude: 39-07-09.71N NAD 83
Longitude: 84-13-50.57W
Heights: 772 feet site elevation (SE)
199 feet above ground level (AGL)
971 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part 1)
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 12/10/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within

6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 222-5924, or Christopher.Grote@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AGL-5222-OE.

Signature Control No: 619201499-623896190

(DNE)

Christopher Grote
Technician

Attachment(s)
Frequency Data
Map(s)

cc: FCC

Frequency Data for ASN 2024-AGL-5222-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

Verified Map for ASN 2024-AGL-5222-OE





Think outside the triangle.

ODOT APPROVAL

PBM Wireless Services, LLC
2894 Aldersgate Drive, Greenwood, IN 46143 – (317) 446-7747



**Department of
Transportation**
transportation.ohio.gov

Mike DeWine, Governor
Jon Husted, Lt. Governor
Jack Marchbanks, Ph.D., Director

June 27, 2024

Arcadia Infrastructure I, LLC
Attn: Sam Johnston
101 Main Street
Milford, OH 45150

Proposal: Antenna Tower
Lat: N39°7'9.71"
Lon: W84°13'50.57"
Height: 199 ft AGL 971 ft AMSL

Subject: APPLICATION FOR CONSTRUCTION/ALTERATION PERMIT
Aeronautical Study No: 2024-DOT-674-OE (2024-AGL-5222-OE)

To Whom It May Concern,

In response to the application concerning the proposed construction/alteration described above, an independent study has been conducted under provisions of Ohio Revised Code Chapters 119 and 4561 to determine whether the proposed construction/alteration would be an obstruction to air navigation. The findings of that study are as follows:

The proposed construction/alteration falls outside the limits set forth in Section 4561.32 of the Ohio Revised Code and does not require a permit from this office. However, this does not exempt you from coordinating with local zoning authorities regarding compliance with established zoning ordinances. This also does not exempt you from your requirement to obtain a building/construction permit from the local/state building permit authority having jurisdiction.

If you have any questions, please call (614) 466-6804 or Toll Free (855) 867-1852.

Respectfully,

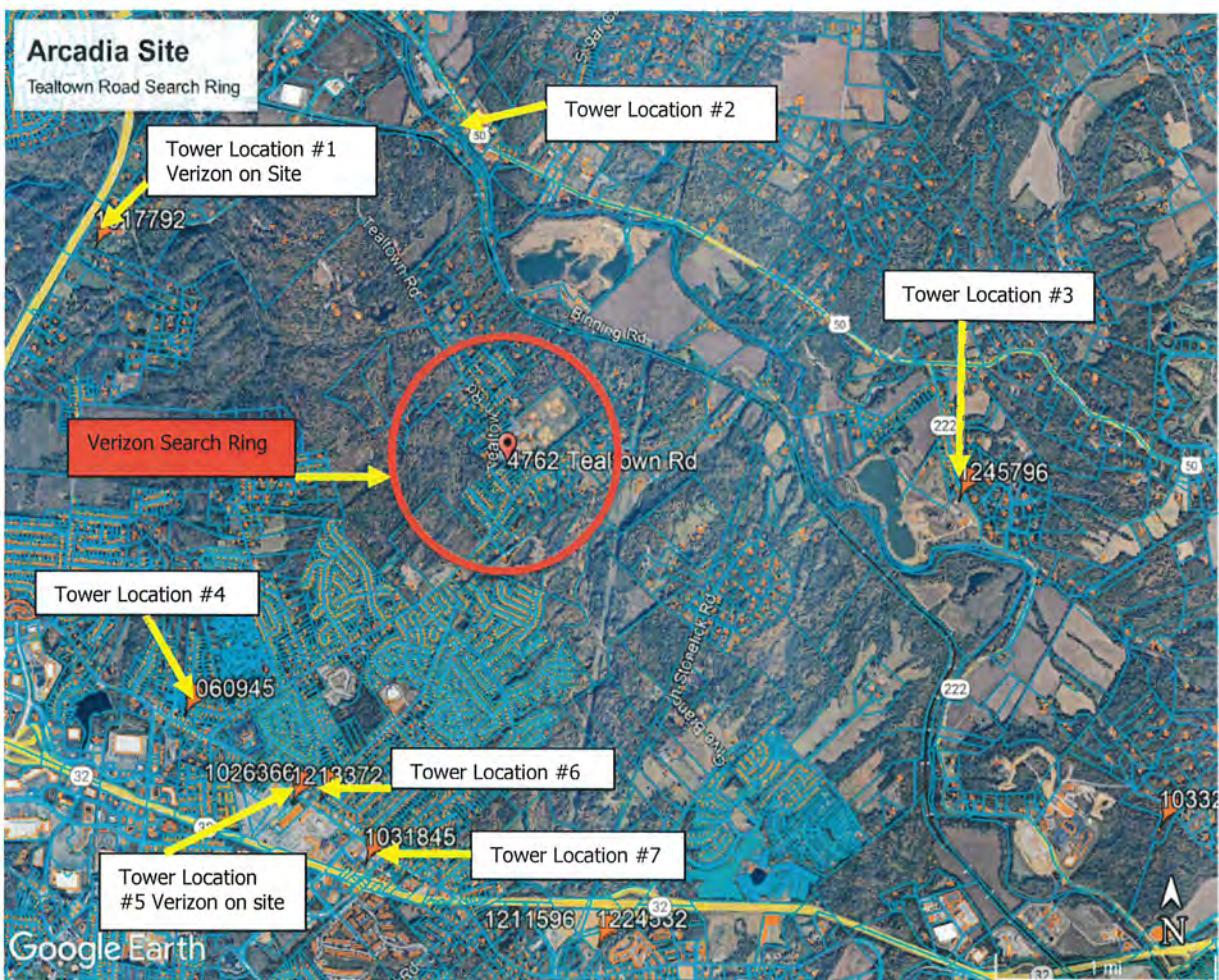
ODOT Office of Aviation
2829 W. Dublin-Granville Road
Columbus, OH 43235



EXISTING TOWER INFRASTRUCTURE



EXISTING TOWER INVENTORY



Tower Location #1: ASR#1017792

Address: 813 Barg Salt Run Road, Union Township, Ohio

Tower Type: 285' self-support tower Verizon is on tower at 285'.

Tower Owner: **American Tower** is the owner of the tower.



Tower Location #2: ASR#No ASR registration required.

Address: 1275 US Route 50, Milford, OH 45150

Tower Type: 180' monopole tower. Available rad center is 150' and below. Site is to far north to provide benefit to the Verizon Network.

Tower Owner: **American Tower** is the owner of the tower.

Tower Location #3: ASR#1245796

Address: 4981 SR 222, Batavia, OH 45103

Tower Type: 195' monopole tower. Available rad center is 180' and below. Site is too far east to provide benefit to the Verizon Network.

Tower Owner: **American Tower** is the owner of the tower.

Tower Location #4: ASR#1060945

Address: 984 Old State Road 74, Batavia, OH 45103

Tower Type: 180' monopole tower. Available rad center is 170' and below. Site is too far south to provide benefit to the Verizon Network and also too close to an existing Verizon Site.

Tower Owner: **American Tower** is the owner of the tower.

Tower Location #5: ASR#1213372

Address: 1093 Old State Road 74, Batavia, OH 45103

Tower Type: 180' monopole tower. Verizon is on the tower at 150'

Tower Owner: **American Tower** is the owner of the tower.



Tower Location #6: ASR#1026366

Address: 1120 Old State Route 74, Batavia, OH 45103

Tower Type: 150' monopole tower. Available rad center 130' and below. Tower is too close to the existing site that Verizon is collocated on.

Tower Owner: **Crown Castle** is the owner of the tower.

Tower Location #7: ASR#1031845

Address: 4381 Newberry Drive, Batavia, OH 45103

Tower Type: 180' monopole tower. Available rad center 180' and below. Tower is too close to the existing site that Verizon is collocated on.

Tower Owner: **American Tower** is the owner of the tower.

Based on the above information there is no existing tower that will be able to service the area that Verizon Wireless is looking to improve cell phone coverage on. If you have any questions please call.



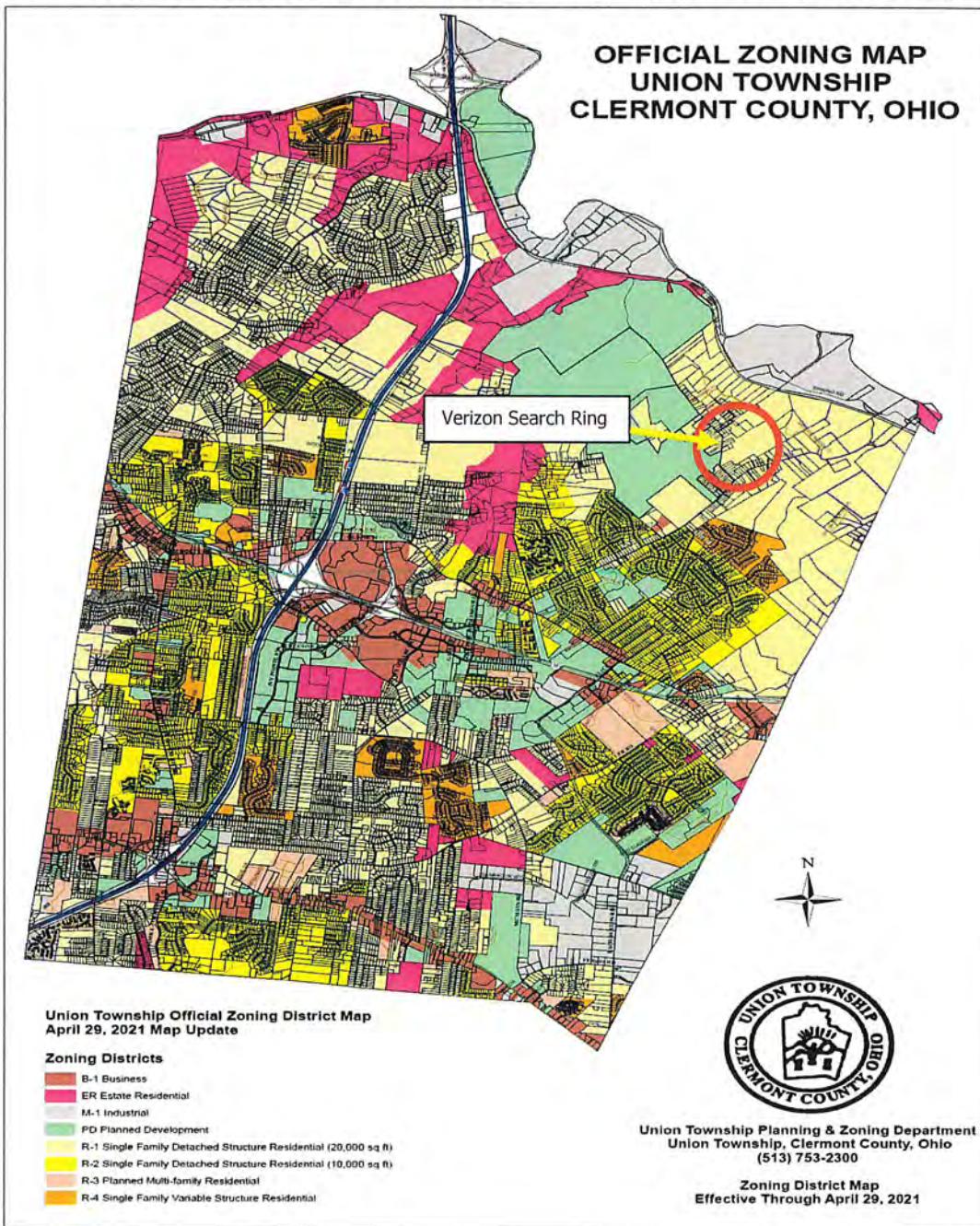
Think outside the triangle.

ZONING MAP WITH EXISTING SEARCH RING OVERLAID



Think outside the triangle.

ZONING JURISDICTIONS LOCATED IN THE SEARCH RING



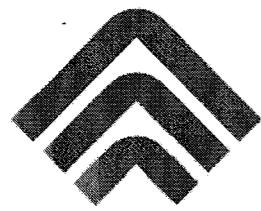


Per the above listed zoning map the only zoning classifications that are located in the search ring are R-1 Single Family Detached Structure Residential and Planned Development which is in the nature preserve. Based on the review of the area the property where the tower is located provides adequate tree cover that surrounds the whole property and a large enough piece of property to have the wireless communication facility the farthest away from Residential dwelling units. The search ring does not contain any more intense zoning classifications in the search ring Verizon Wireless needs improved coverage. If you have any questions please call.



SITE PLAN DRAWINGS

PBM Wireless Services, LLC
2894 Aldersgate Drive, Greenwood, IN 46143 – (317) 446-7747



Arcadia Towers

SITE NAME:

TEALTOWN

SITE NUMBER: ARC-165050-C

PROPOSED RAW LAND SITE WITH A $\pm 195'-0"$ MONOPOLE TOWER w/ $\pm 4'-0"$
LIGHTNING ARRESTOR AND INSTALLATION OF A 11'x18' EQUIPMENT PAD



CELLCO PARTNERSHIP



VERIZON SITE NAME: TEALTOWN
VERIZON SITE NUMBER: 5000888832

PROJECT INFORMATION

PROJECT TYPE: FACILITY WILL CONSIST OF A MONOPOLE TOWER AND A PROPOSED 11'x18' CONCRETE PAD WHICH WILL CONTAIN EQUIPMENT FOR THE TRANSMISSION AND RECEPTION OF WIRELESS COMMUNICATIONS

SITE NAME: TEALTOWN

SITE NUMBER: ARC-165050-C

E911 ADDRESS: 4762 TEALTOWN ROAD MILFORD, OH 45150

COUNTY: CLERMONT

ZONING CLASSIFICATION: R-1

CONSTRUCTION TYPE: II-B

USE GROUP: U

TYPE OF SITE: RAW LAND

TOWER COORDINATES: LATITUDE: $39^{\circ} 07' 09.71"$ (NAD 1983) LONGITUDE: $84^{\circ} 13' 50.57"$ ELEVATION: $\pm 772.0'$ (NAVD 1988) AMSL

TYPE OF TOWER: MONOPOLE

OVERALL TOWER HEIGHT: $\pm 195'-0"$ LIGHTING ARRESTOR HEIGHT: $\pm 4'-0"$ TOWER (STRUCTURAL STEEL) HEIGHT: $\pm 195'-0"$

ANTENNA CENTERLINE HEIGHT: 190'-0"

GENERATOR: YES

GENERATOR SIZE: 50 KW

GENERATOR TYPE: DIESEL

IS THIS SITE DIESEL RESTRICTED?: NO

BUILDING DESIGN: STD PAD

BUILDING SIZE: 11'x18'

PROJECT INFORMATION

NON EMERGENCY FIRE SERVICES: MILFORD COMMUNITY FIRE DEPARTMENT 687 B US-50 MILFORD, OH 45150 PHONE: (513) 831-7777

NON EMERGENCY POLICE SERVICES: MILFORD POLICE DEPARTMENT 745 CENTER STREET MILFORD, OH 45150 PHONE: (513) 248-5084

POWER COMPANY: DUKE ENERGY PHONE: (513) 335-2291 CONTACT: TYLER BURNS EMAIL: tyler.burns@duke-energy.com WORK ORDER: 52481559

GAS COMPANY: N/A

TELEPHONE COMPANY: TBD

CONSTRUCTION MANAGER: SAM JOHNSTON EMAIL: sam@arcadiatowers.com

REAL ESTATE MANAGER: SAM JOHNSTON EMAIL: sam@arcadiatowers.com

TOWER OWNER: ARCADIA TOWERS 101 MAIN STREET, 3RD FLOOR MILFORD, OH 45150 PHONE: (513) 702-0628

PROPERTY OWNER: MT CARMEL GLEN ESTE BOOSTERS 4555 CLERMONT AVENUE BATAVIA, OH 45103 PHONE: (513) 504-2603

APPLICANT: ARCADIA TOWERS 101 MAIN STREET, 3RD FLOOR MILFORD, OH 45150 PHONE: (513) 702-0628

ENVIRONMENTAL REQUIREMENTS

NOTICE TO CONTRACTOR ATTACHED
 NO ENVIRONMENTAL RESTRICTIONS

DRIVING DIRECTIONS

BEGINNING OF SITE ACCESS ROAD:

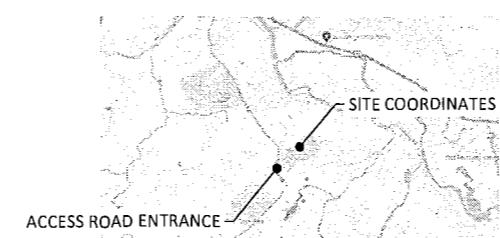
- LATITUDE: 39.11687°
- LONGITUDE: -84.23420°

DEPART FROM ARCADIA TOWERS (101 MAIN STREET, MILFORD, OH 45150): HEAD SW ON US 50 W/ MAIN ST. TURN LEFT ONTO GARFIELD AVE, THEN IMMEDIATELY TURN RIGHT ONTO HIGH ST. TURN LEFT ONTO MILL ST. BEAR RIGHT ONTO CLEVELAND AVE. ROAD NAME CHANGES TO S MILFORD RD. TURN LEFT ONTO ROUND BOTTOM RD. TURN RIGHT ONTO TEALTOWN RD.

ARRIVE AT SITE ENTRANCE ON THE LEFT

SITE COORDINATES:

- LATITUDE: 39.11936°
- LONGITUDE: -84.23071°



SHEET INDEX

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2-3 FINAL SURVEY
3-3 FINAL SURVEY

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GD-1.2 GRADING PLAN
GD-2 EROSION CONTROL & CIVIL DETAILS
GD-3 EROSION CONTROL NOTES

CIVIL SHEETS: C-1.1 OVERALL SITE LAYOUT
C-1.2 OVERALL SITE LAYOUT
C-1.3 OVERALL SITE LAYOUT
C-2 DIMENSIONAL SITE LAYOUT
C-3 ENLARGED SITE LAYOUT
C-4 LANDSCAPING SITE LAYOUT
C-5 TOWER ELEVATION & ANTENNA DETAILS
C-6 EQUIPMENT FOUNDATION
C-7 EQUIPMENT PAD LAYOUT
C-8 EQUIPMENT PAD LAYOUT
C-9 FENCE DETAILS & NOTES
C-10 GENERAL NOTES

ELECTRICAL: E-1 UTILITY ROUTING PLAN
E-2 TEMPORARY POWER & ILC DETAILS
E-3 PERMANENT POWER DETAILS
E-4 PANEL SCHEDULES
E-5 RISER DIAGRAM & TRENCH DETAILS
E-6 EQUIPMENT PAD LIGHTING LAYOUT

GROUNDING: G-1 GROUNDING PLAN
G-2 EQUIPMENT PAD GROUNDING DETAILS
G-3 GROUNDING DETAILS
G-4 GROUNDING DETAILS

PREPARED BY:
BURGESS & NIPLE
Engineers ■ Architects ■ Planners
330 RUSH ALLEY,
SUITE 700
COLUMBUS, OH 43220
614-459-2050

PREPARED FOR:

Arcadia Towers

FULL SCALE PRINT IS
ON 24" x 36" MEDIA

CONSTRUCTION DRAWINGS

REV DATE DESCRIPTION

SPECIAL NOTES

HANDICAPPED REQUIREMENTS:

- FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
- HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED.

PLUMBING REQUIREMENTS:

- FACILITY HAS NO PLUMBING OR REFRIGERANTS.

FAA AND FCC REQUIREMENTS:

- THIS FACILITY SHALL MEET ALL FAA AND FCC REQUIREMENTS.

CONSTRUCTION REQUIREMENTS:

- ALL WORK MUST CONFORM TO VERIZON WIRELESS CONSTRUCTION INSTALLATION STANDARDS & ALL APPLICABLE CODES AND ORDINANCES.

BUILDING CODES AND STANDARDS

CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION FOR THE LOCATION.

CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE 318
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION'S MANUAL OF STEEL CONSTRUCTION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA-222
- STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND SUPPORTING STRUCTURES TIA-601
- COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS IEEE-81, IEEE 1100, IEEE C62.41
- ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION
- 2017 OBC AND AMENDMENTS
- 2017 NEC

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.

SITE INFORMATION:
TEALTOWN
4762 TEALTOWN ROAD
MILFORD, OH 45150
CLERMONT COUNTY

SITE NUMBER:
ARC-165050-C

A&E NUMBER: PR61932
DESIGNED BY: GSH
DRAWN BY: GSH
DATE: 04/01/2024

SHEET TITLE:
TITLE SHEET
& PROJECT
INFORMATION
SHEET NUMBER:
T-1

- S2 1** - PREMISES
- S2 2** - LEGAL DESCRIPTIONS
- S2 3** - FLOOD ZONE DATA
- S2 4** - VICINITY MAP

● COORDINATE POINT LOCATION

NAD 1983
LATITUDE: 39° 07' 09.71" N (39.119363)
LONGITUDE: 84° 13' 50.57" W (-84.230714)
NAD 1988
ELEVATION: 772.0'
SOUTH STATE PLANE COORDINATE
(BLUE MARBLE GEOGRAPHIC
CALCULATOR VERSION 3.0)
NORTHING: 412394.808
EASTING: 1477503.242

● PROJECT BENCHMARK

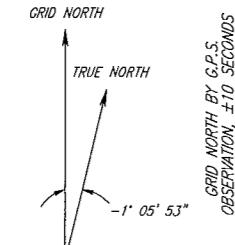
NORTH: 412211.815
EAST: 1477699.613
ELEVATION: 772.77
LOCATION: BEING A MAC NAIL 224'
SOUTHEAST OF THE SOUTHEAST
CORNER OF THE LEASE AREA.

SYMBOL LEGEND

- WOOD POWER POLE
- CONCRETE POWER POLE
- METAL TRAFFIC POLE
- LIGHT POLE
- GUY POLE
- TELEPHONE PEDESTAL
- GUY ANCHOR
- MANHOLE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- ELECTRIC BOX
- F.P. FENCE POST
- XXX.XX SPOT ELEVATION
- CALCULATED POINT
- #5 REBAR CAPPED TO BE SET
AT TIME OF CONSTRUCTION
- EXISTING IRON PIN
(UNLESS OTHERWISE NOTED)

ABBREVIATIONS

- EG EDGE OF GRAVEL
- EP EDGE OF PAVEMENT
- ROW RIGHT OF WAY
- € CENTERLINE
- ROP REINFORCED CONCRETE PIPE
- CONC CONCRETE
- CPP CORRUGATED PLASTIC PIPE
- CMP CORRUGATED METAL PIPE
- RP SUBJECT PROPERTY LINE
- TC TOP OF CURB
- BC BOTTOM OF CURB
- POC POINT OF COMMENCING
- POB POINT OF BEGINNING
- IPC IRON PIN CAPPED



Know what's below.
Call before you dig.
The utility information shown on this plot, prepared by FSTAN was obtained from existing records and/or by field locations. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.

NORTH IS BASED ON THE SOUTH STATE PLANE COORDINATE SYSTEM, AND WAS DETERMINED BY COMPUTATION FROM G.P.S. OBSERVATION ON FEBRUARY 06, 2024.

HOMEFront HOLDINGS LLC
O.R. 2956, PG. 3333
PAR #413106B203

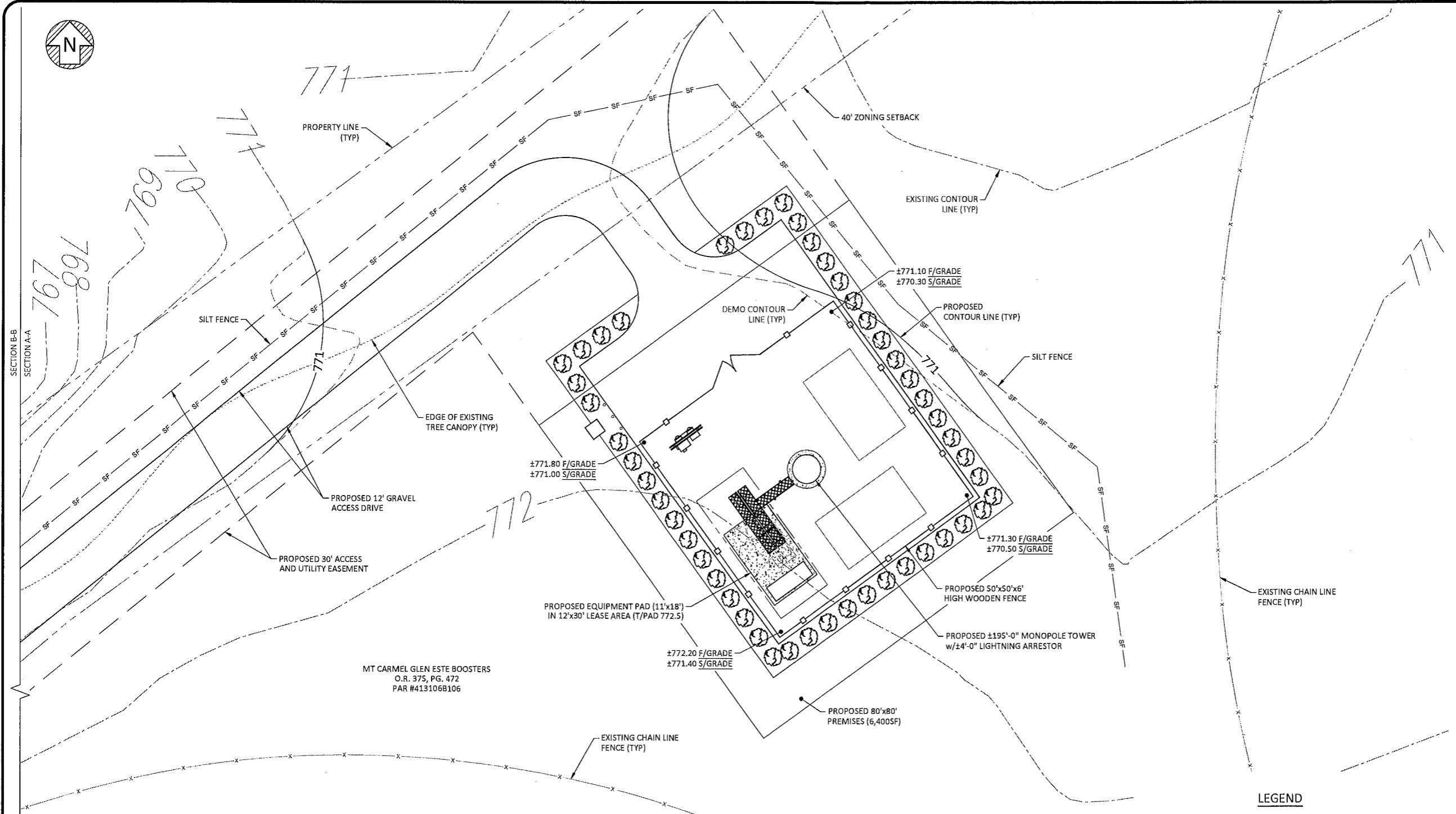
PATSY K HAGER
O.R. 2136, PG. 2114
PAR #413106B234

PAUL THOMAS MOORE &
TAYLOR STEPHANIE MARIAN
O.R. 2840, PG. 2764
PAR #413106B074

ROW

40' ZONING SETBACK

40' ZONING SET



The logo for Ohio Utilities Protection Service (OUPS) features the company name in a serif font. To the right of the text is a stylized graphic element consisting of a vertical line with a crossbar, resembling a keyhole or a stylized 'K', with a curved line extending from its left side.

Call Before You Dig
1-800-362-2764
AT LEAST 48 HOURS PRIOR TO EXCAVATING

NOTE:
CONTRACTOR REQUIRED TO PROVIDE POSITIVE DRAINAGE
"OFF" LEASE AREA.

GRADING NOTES:

1. ALL ELEVATIONS ARE FINISHED GRADE.
2. ENSURE POSITIVE DRAINAGE FROM SITE AT ALL TIMES.
3. PLACE GEOTEXTILE FILTER UNDER COMPOUND.
4. USE MIRAFI (#600X) OR EQUIVALENT.
SLOPES 2:1 OR STEEPER MUST BE LINED WITH GEO FABRIC,
MIRAFI 60 MIL OR EQUIVALENT, AND HEAVY RIP-RAP
STONE PLACED ON TOP OF FABRIC TO STABILIZE SLOPE.
5. ALL AGGREGATE SHALL BE COMPACTED PER ODOT ITEM
304 AND PROOF ROLLED.

NOTE

1. CONTRACTOR TO CALL "OUPS" AT (800) 362-2764 OR OTHER LOCAL JOINT UTILITY LOCATOR SERVICE TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
2. REWORK CONTOUR LINES AS SHOWN IN PLAN

EXISTING CONTOUR TO BE REWORKED: 

REWORKED CONTOUR: 

3. REMOVE FROM SITE/OWNERS'S PROPERTY ALL WASTE MATERIALS UNUSED EXCAVATED MATERIAL INCLUDING MATERIAL CLASSIFIED UNSATISFACTORY, CONTAMINATED OR DANGEROUS TRASH AND DEBRIS AND DISPOSE OF IN A LEGAL MANNER.
4. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY ACCESS DRIVE OR FENCED COMPOUND, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED AND SEEDED.
5. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL AND IBC 2009 STANDARD GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

LEGEND

UTILITY POLE	FL	FLOW LINE
LIGHT POST	F/GRADE	FINAL GRADE
SANITARY	S/GRADE	SUB GRADE
WV	±XXX.X	PROPOSED SPOT ELEVATION
WV	EX ±XXX.X	EXISTING SPOT ELEVATION
EOP		
EDGE OF PAVEMENT		
ROW	RIGHT OF WAY	
PROPOSED CONTOURS	—	1071
EXISTING CONTOURS	—	1071
PROPOSED DRAINAGE FLOW ARROWS	→	
PROPOSED STONE BAG SILT CHECK	∞	∞
PROPOSED SILT FENCE	SF	SF
PROPOSED PREMISES	—	—
PROPOSED EASEMENT	—	—
EXISTING PROPERTY LINE	—	—
EXISTING LOT LINE	—	—
EXISTING DITCH	—	—
EXISTING UNDERGROUND TELEPHONE	—UGT	—UGT
EXISTING UNDERGROUND ELECTRIC	—UGE	—UGE

PARED BY:
JURGESS & NIPLE
Engineers ■ Architects ■ Planners
330 RUSH ALLEY,
SUITE 700
COLUMBUS, OH 43220
614-459-2050

PARED FOR:

Arcadia Towers

ALL SCALE PRINT IS
24" x 36" MEDIA

CONSTRUCTION DRAWINGS

SITE INFORMATION:
TEALTOWN
4762 TEALTOWN ROAD
MILFORD, OH 45150
CLERMONT COUNTY

SITE NUMBER:
ARC-165050-C

DESIGNED BY: GSH
DRAWN BY: GSH
DATE: 04/01/2024

SHEET TITLE:

GRADING
PLAN



OHIO Utilities Protection SERVICE

Call Before You Dig
1-800-362-2764
AT LEAST 48 HOURS PRIOR TO EXCAVATING

APARED BY:
JURGESS & NIPLE
Engineers ■ Architects ■ Planners
330 RUSH ALLEY,
SUITE 700
COLUMBUS, OH 43220
614-459-2050

PARED FOR:

Arcadia Towers

ULL SCALE PRINT IS
N 24" x 36" MEDIA

CONSTRUCTION
DRAWINGS

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4762 TEALTOWN ROAD
MILFORD, OH 45150
CLERMONT COUNTY

SITE NUMBER:
ARC-165050-C
& E NUMBER: PR61932
DESIGNED BY: GSH
DRAWN BY: GSH

**OVERALL
SITE LAYOUT**

MT CARMEL GLEN ESTE BOOSTER
O.R. 375, PG. 472
PAR #413106B106

LEGEND

-  UTILITY POLE
-  LIGHT POST
-  SANITARY
-  WATER VALVE
-  EDGE OF PAVEMENT
-  RIGHT OF WAY

PROPOSED PREMISES
PROPOSED EASEMENT
PROPOSED UNDERGROUND ELECTRIC CONDUIT
PROPOSED UNDERGROUND FIBER CONDUIT
EXISTING PROPERTY LINE
EXISTING LOT LINE
EXISTING DITCH
EXISTING UNDERGROUND TELEPHONE
EXISTING UNDERGROUND ELECTRIC

SECTION A-A

SECTION B-B

OHIO Utilities Pro
Call Before Y
1-800-362-27
AT LEAST 48 HOURS PRIOR

PROPERTY LINE (TYP)

(2) PROPOSED 4" CONDUITS FOR ELECTRIC TO ELECTRIC SOURCE (±570')

PROPOSED 4" CONDUIT w/(2) 1-1/4" INNERDUCTS FOR FIBER TO FIBER SOURCE (±1542')

PROPOSED PAD MOUNTED TRANSFORMER (BY UTILITY)

PROPOSED EQUIPMENT PAD (11'x18') IN 12'x30' LEASE AREA

40' ZONING SETBACK

PROPOSED 50'x50'x6' HIGH WOODEN FENCE

PROPOSED ±195'-0" MONPOLE TOWER w/±4'-0" LIGHTNING ARRESTOR

PROPOSED 80'x80' PREMISES (6,400SF)

PROPERTY LINE (TYP)

PROPOSED "POINTPOINT" BOX (BY UTILITY, INSTALL BY THE GC)

EXISTING BASEBALL FIELD

(2) PROPOSED 4" CONDUITS FOR ELECTRIC TO ELECTRIC SOURCE (±570')

PROPOSED 12' GRAVEL ACCESS DRIVE

EXISTING BASEBALL FIELD

PROPOSED FIBER PULL BOX (TYP x2, EXACT SPACING AS SPECIFIED BY FIBER PROVIDER)

PROPOSED 4" CONDUITS FOR ELECTRIC TO ELECTRIC SOURCE (±570')

PROPOSED 30' ACCESS AND UTILITY EASEMENT

EXISTING UTILITY EASEMENT

EXISTING PAD MOUNTED TRANSFORMER

EXISTING STRUCTURE

EXISTING TREE (TYP)

EXISTING DRAIN INLET (TYP)

EDGE OF EXISTING CONCRETE SIDEWALK (TYP)

EXISTING STORM SEWER PIPE (TYP)

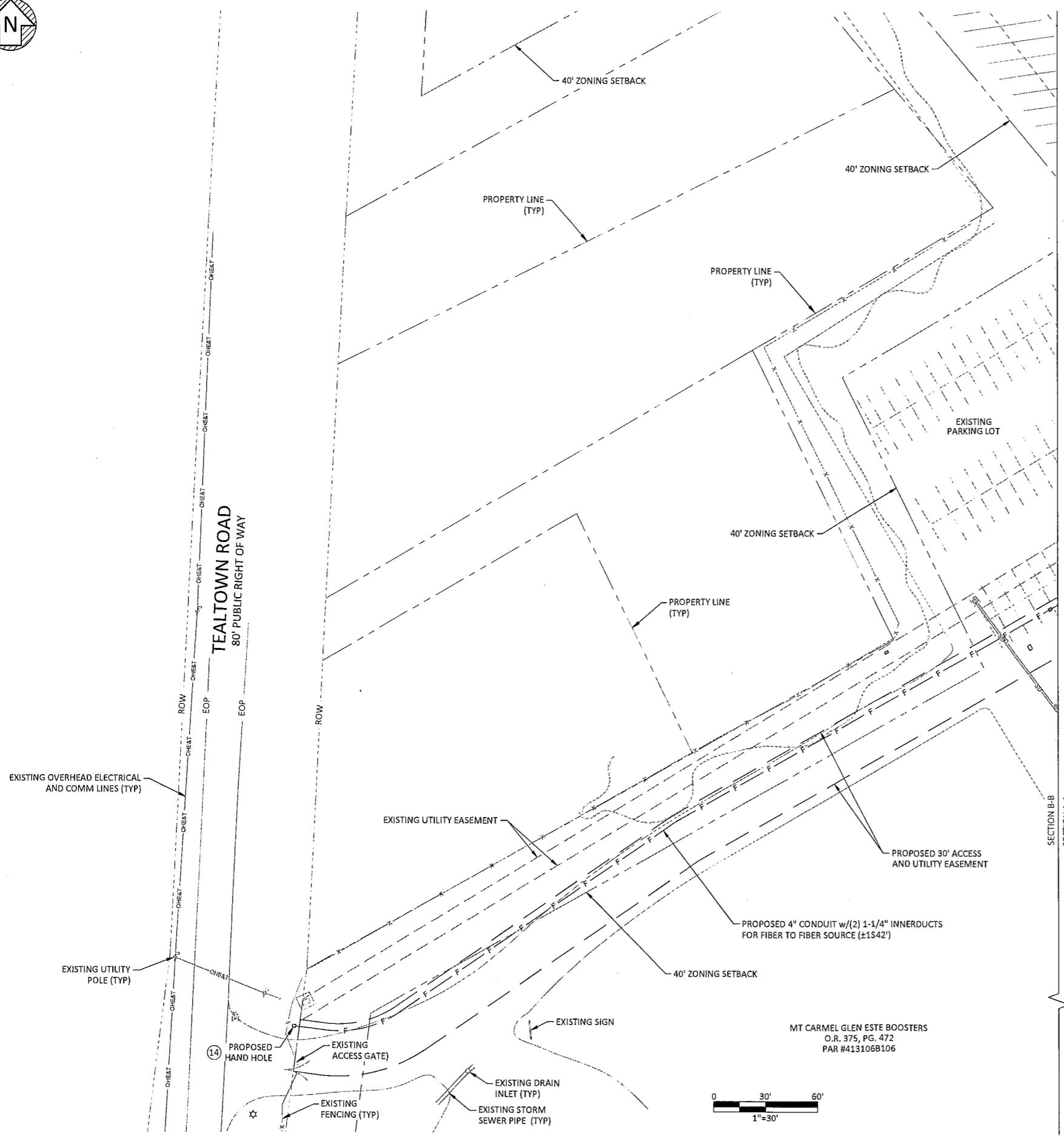
MT CARMEL GLEN ESTE BOOSTERS
O.R. 375, PG. 472
PAR #413106B106

LEGEND

UTILITY POLE
LIGHT POST
SANITARY
WATER VALVE
EOP EDGE OF PAVEMENT
ROW RIGHT OF WAY

PROPOSED PREMISES
PROPOSED EASEMENT
PROPOSED UNDERGROUND ELECTRIC CONDUIT
PROPOSED UNDERGROUND FIBER CONDUIT
EXISTING PROPERTY LINE
EXISTING LOT LINE
EXISTING DITCH
EXISTING UNDERGROUND TELEPHONE
EXISTING UNDERGROUND ELECTRIC

0 40' 80'



The logo for Ohio Utilities Protection Service. It features a stylized, abstract graphic composed of thick, black, curved lines forming a shape that resembles a flame or a flame-like symbol. To the left of this graphic, the word "OHIO" is written in a bold, sans-serif font. To the right, the words "Utilities Protection" are stacked vertically, and "SERVICE" is written in a bold, sans-serif font below them.

Call Before You Dig
1-800-362-2764
AT LEAST 48 HOURS PRIOR TO EXCAVATING

URED BY:
URGESS & NIPLE
niers ■ Architects ■ Planners
330 RUSH ALLEY,
SUITE 700
COLUMBUS, OH 43220
614-459-2050

ARED FOR:

Arcadia Towers

ULL SCALE PRINT IS
N 24" x 36" MEDIA

CONSTRUCTION DRAWINGS

SITE INFORMATION:

4762 TEALTOWN ROAD
MILFORD, OH 45150
CLERMONT COUNTY

SITE NUMBER:

NUMBER: PR61932
ED BY: GSH
N BY: GSH

LEGEND

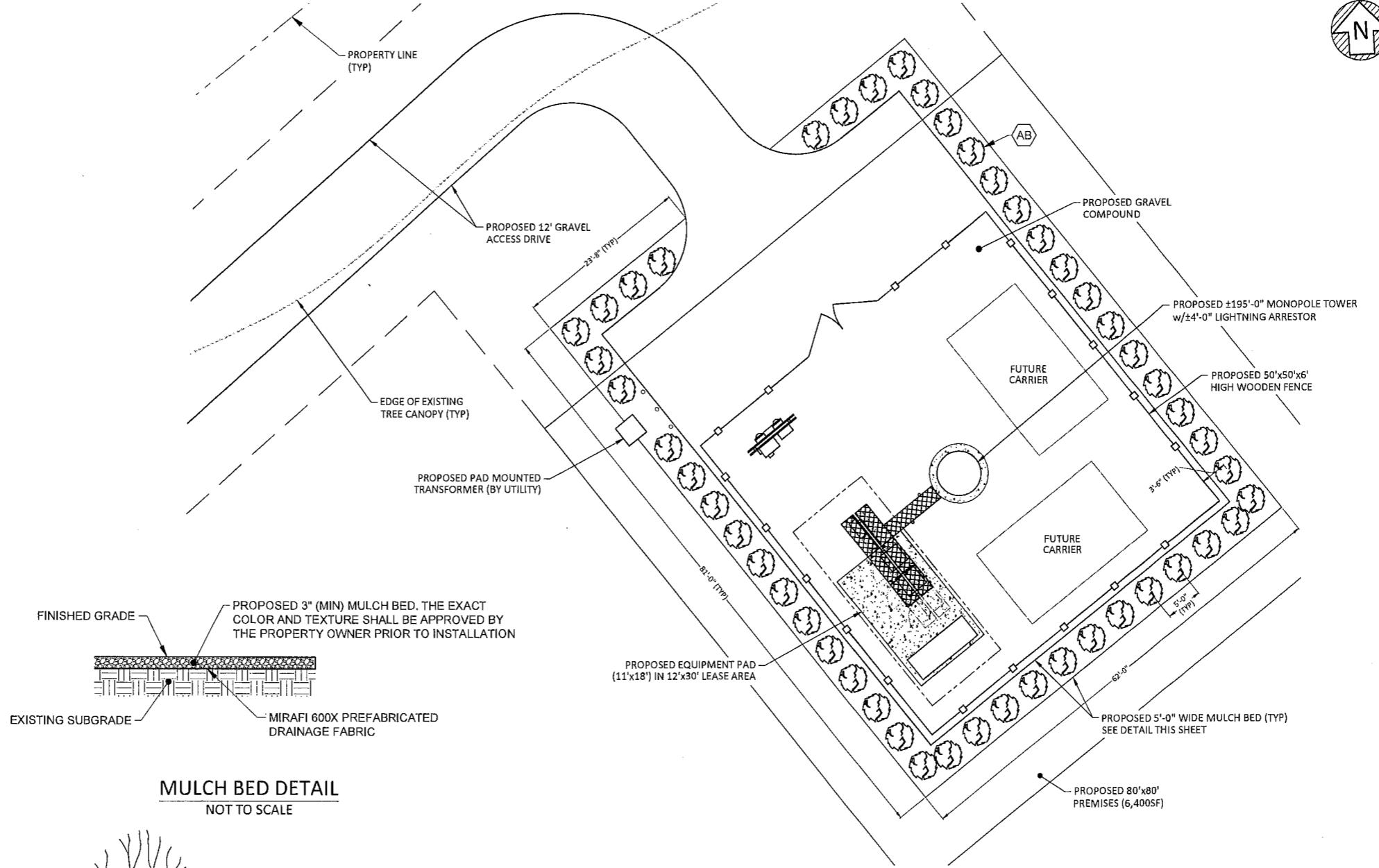
PROPOSED PREMISES
PROPOSED EASEMENT
PROPOSED UNDERGROUND ELECTRIC CONDUIT
PROPOSED UNDERGROUND FIBER CONDUIT
EXISTING PROPERTY LINE
EXISTING LOT LINE
EXISTING DITCH
EXISTING UNDERGROUND TELEPHONE
EXISTING UNDERGROUND ELECTRIC

MT CARMEL GLEN ESTE BOOSTERS
O.R. 375, PG. 472
PAR #413106B106

SHEET NUMBER:
C-13

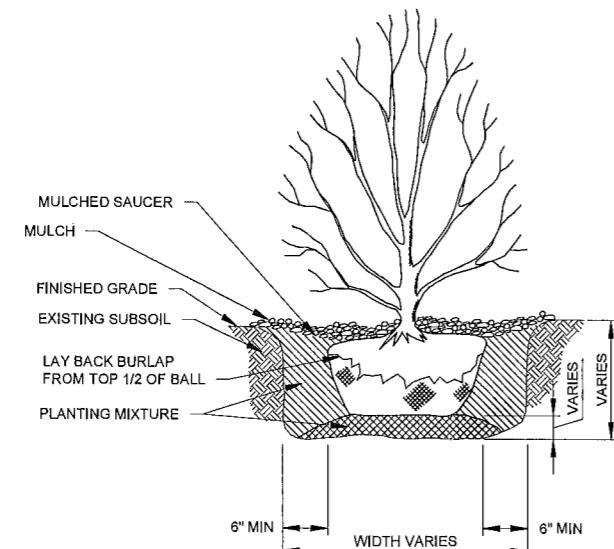
GENERAL LANDSCAPING NOTES:

1. PRUNE NEWLY INSTALLED SHRUBS. WORK SHALL BE DONE BY EXPERIENCED PERSONNEL TO THE ACCEPTED HORTICULTURAL AND ARBORICULTURAL STANDARDS. PRUNING SHALL RESULT IN A LOOSE OUTLINE CONFORMING TO THE GENERAL SHAPE OF THE SHRUB TYPE. DO NOT USE HEDGE SHEARS.
2. ALL PLANTING STOCK SHALL BE NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. PLANTS SHALL BE FREE OF DISEASE, INSECTS EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. THEY SHALL HAVE SOUND, HEALTHY VIGOROUS AND UNIFORM GROWTH TYPICAL OF THE SPECIES AND VARIETY, WELL-FORMED, FREE FROM IRREGULARITIES, WITH THE MINIMUM QUALITY AND SIZE CONFORMING TO AMERICAN STANDARD FOR NURSERY STOCK.
3. GUARANTEE: WARRANT ALL PLANT MATERIAL TO BE TRUE TO BOTANICAL NAME AND SPECIFIED SIZE. AFTER COMPLETION OF PLANTING, ALL PLANT MATERIALS SHALL BE WARRANTED AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH FOR A WARRANTY PERIOD OF ONE YEAR. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLECT, ABUSE, DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND THE CONTRACTOR'S CONTROL WHICH RESULT FROM NATURAL CAUSES SUCH AS FLOODS, STORMS, FIRES OR VANDALISM. REPLACEMENTS: DURING THE WARRANTY PERIOD, REPLACE ONE TIME, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS THAT ARE DEAD, OR IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN AN UNHEALTHY OR UGLY CONDITION. REJECTED PLANT MATERIALS SHALL BE REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE. REPLACEMENTS ARE TO BE MADE NO LATER THAN THE SUBSEQUENT PLANTING SEASON. RESTORE AREAS DISTURBED BY REPLACEMENT OPERATIONS.
4. MULCHING SHALL BE DONE WITHIN 48 HOURS AFTER PLANTING. MULCH SHRUB BEDS TO A UNIFORM DEPTH OF THREE INCHES. MULCH SHALL BE CLEAN COMPOSTED PINE BARK MULCH FREE OF FOREIGN MATERIAL AND LARGE PIECES OVER THREE INCHES LONG. DO NOT MULCH TREE AND SHRUB PLANTING PITS.
5. TOPSOIL SHALL CONSIST OF FERTILE FRIABLE NATURAL LOAM, CONTAINING A LIBERAL AMOUNT OF HUMUS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL. IT SHALL BE FREE OF ADMIXTURES OF SUBSOIL AND FREE OF CRAB GRASS, ROOTS, STICKS AND OTHER EXTRANEous MATTER, AND SHALL NOT BE USED FOR PLANTING OPERATIONS WHILE IN A FROZEN OR MUDDY CONDITIONS.
6. REPAIR ALL TURF AREAS BY SEEDING. SEEDING INSTALLATION SHALL BE EXECUTED ONLY AFTER ALL FINISH GRADING HAS BEEN COMPLETED. NO SEEDING WORK SHALL BE DONE PAST SEPTEMBER 15, UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. SEED: SEED MIX SHALL MATCH EXISTING TURF, OR BE A 50/50 MIX OF CERTIFIED IMPROVED BLEND OF BLUEGRASS AND CERTIFIED IMPROVED PERENNIAL RYE, MIX SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. SEEDING SHALL BE APPLIED AT A MINIMUM RATE OF 120 POUNDS PER ACRE. FUTERRA BLANKET, OR EQUAL, SHALL BE USED FOR EROSION CONTROL MULCH WHERE NECESSARY IN LIEU OF HYDRO MULCH.



MULCH BED DETAIL

NOT TO SCALE



TREE PLANTING DETAIL

NDT TO SCALE

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE/HEIGHT	COMMENTS
	THUJA	ARBORVITAE	48	4'-0" (MIN)	BALLED AND BURLAPPED

PARSED BY:
JURGESS & NIPLE
Engineers ■ Architects ■ Planners
330 RUSH ALLEY,
SUITE 700
COLUMBUS, OH 43220
614-459-2050

PREPARED FOR:

Arcadia Towers

ALL SCALE PRINT IS
124" x 36" MEDIA

CONSTRUCTION DRAWINGS

SITE INFORMATION:
TEALTOWN
4762 TEALTOWN ROAD
MILFORD, OH 45150
CLERMONT COUNTY

SITE NUMBER:
ARC-165050-C

1&E NUMBER: PR61932
DESIGNED BY: GSH
DRAWN BY: GSH
DATE: 04/01/2024

SHEET TITLE:

LANDSCAPING SITE LAYOUT

SHEET NUMBER:
C-4

CODED DRAWING NOTES

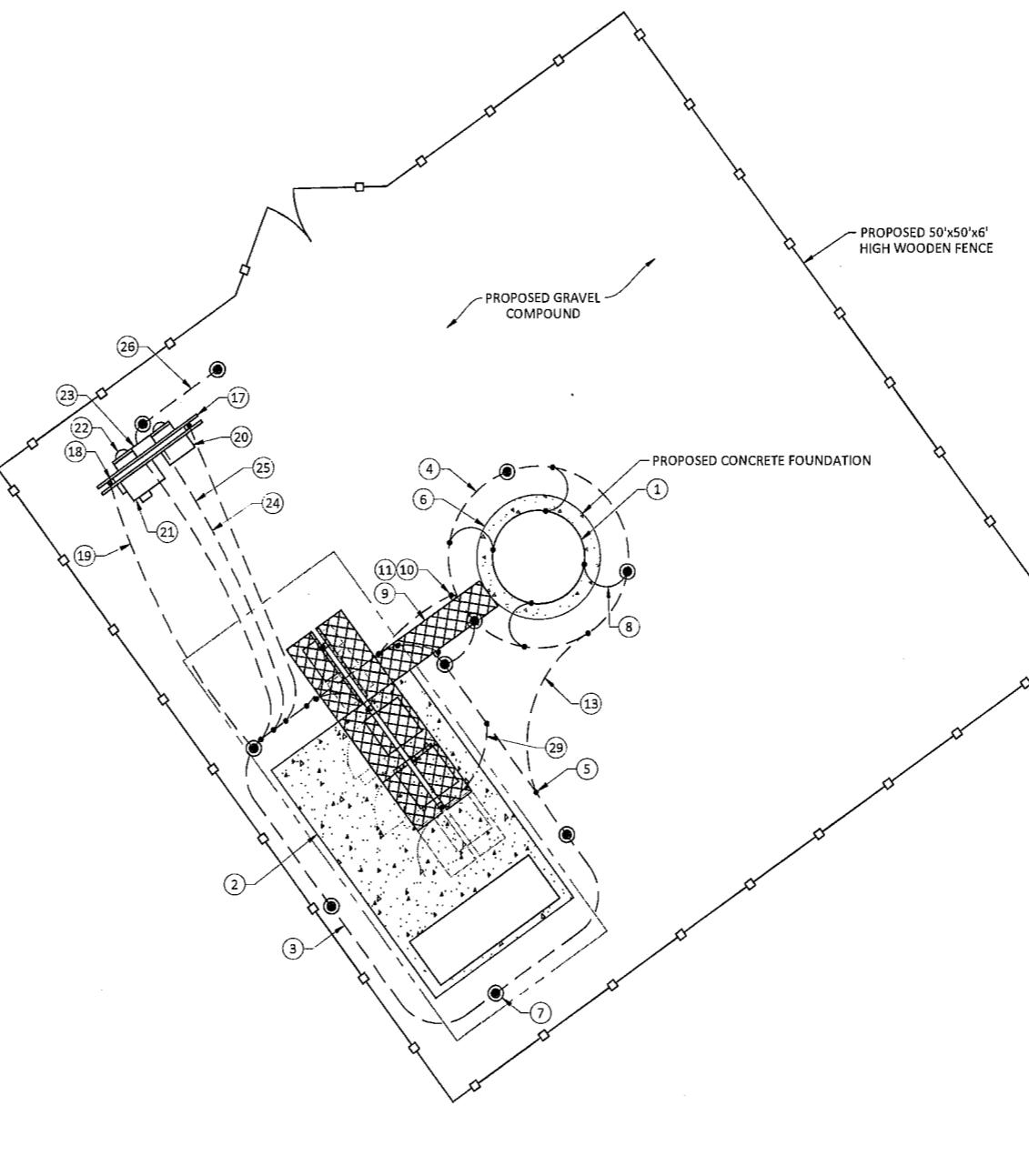
- ① ±195'-0" MONOPOLE TOWER
- ② PROPOSED EQUIPMENT PAD (11'x18')
- ③ EQUIPMENT PAD GROUND RING 24" FROM SLAB, #2 SOLID BARE TINNED COPPER GROUND WIRE BELOW FROST DEPTH
- ④ TOWER GROUND RING 24" FROM SLAB, #2 SOLID BARE TINNED COPPER GROUND WIRE BELOW FROST DEPTH
- ⑤ CADWELD CONNECTION: PARALLEL TAP CONNECTION, PCC-1T1T FOR #2 TO #2, #65 SHOT
- ⑥ PER NSTD46 SECTION 4.14.3, UFER GROUNDING IS REQUIRED FOR TOWER FOUNDATIONS (SEE 'TOWER GROUNDING DETAIL' ON SHEET G-3)
- ⑦ GROUND RODS, 3/4" x 10' COPPER CLAD, SPACED AT 10' TO 20' O.C., CADWELD CONNECTION TO GROUND ROD, GTC-181T FOR #2, #90 SHOT
- ⑧ GROUND TOWER TO TOWER GROUND RING w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE 'TOWER GROUNDING DETAIL' ON SHEET G-3) TYP x2 PER LEG, TOTAL 6
- ⑨ PROPOSED ICE BRIDGE
- ⑩ PROPOSED ICE BRIDGE POSTS (TO BE FIELD LOCATED)
- ⑪ GROUND ALL ICE BRIDGE POSTS (VSC-1T-V3C CONNECTION AT POST) TO NEAREST GROUND RING w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE ICE BRIDGE GROUNDING DETAIL ON SHEET G-4)
- ⑫ GROUND TOWER GROUND RING TO EACH FENCE CORNER GROUND ROD w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE 'CORNER FENCE GROUNDING DETAIL' ON SHEET G-3) TYP x4
- ⑬ CONNECT EQUIPMENT PAD GROUND RING (TYP x2 MIN 3' APART) TO TOWER GROUND RING. USE CADWELD CONNECTION: PCC-1T1T FOR #2 TO #2, #65 SHOT PARALLEL TYPE CONNECTIONS
- ⑭ "ELECTRIC MOTION" FENCE GROUND CLAMP (TYP x6)
- ⑮ "ELECTRIC MOTION" GATE GROUNDING ASSEMBLY (ASSEMBLY INCLUDES (1) #2 AWG FLEX JUMPER w/COMPRESSION LUGS, (2) MECHANICAL CLAMPS (SEE 'GATE GROUND ASSEMBLY' ON SHEET G-3) TYP x2
- ⑯ GROUND GATE POST TO GROUND LEAD w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE 'GATE GROUNDING DETAIL' ON SHEET G-3) TYP x2
- ⑰ PROPOSED 6' UTILITY H-FRAME
- ⑱ PROPOSED UTILITY H-FRAME POST (TYP x2)
- ⑲ GROUND H-FRAME POST TO COMPOUND GROUND LEAD w/#2 SOLID BARE TINNED COPPER GROUND WIRE (TYP x2)
- ⑳ 24"x24"x12" NEMA 3R FIBER BOX w/RUBBER SEAL & LOCKING KNOB ENTRY LATCH
- ㉑ CHARLES UNIVERSAL BROADBAND ENCLOSURE (CUBE)
- ㉒ NEMA 3R, 200 AMP METER SOCKET (OR APPROVED EQUAL)
- ㉓ NEMA 3R, 800 AMP, 4-GANG METER CENTER
- ㉔ GROUND CUBE TO EQUIPMENT PAD GROUND RING w/#2 SOLID BARE TINNED COPPER GROUND WIRE
- ㉕ GROUND FIBER BOX TO EQUIPMENT PAD GROUND RING w/#2 SOLID BARE TINNED COPPER GROUND WIRE
- ㉖ GROUND SERVICE DISCONNECT w/#2 SOLID BARE TINNED COPPER GROUND WIRE TO (2) GROUND RODS PLACED MIN 6' APART BEFORE GROUNDING TO GROUND LEAD (PER NEC 250.53 (A) REQUIREMENTS)
- ㉗ GROUND FENCE CORNER GROUND ROD TO CORNER FENCE POST w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE 'CORNER FENCE GROUNDING DETAIL' ON SHEET G-3) TYP x4
- ㉘ GROUND EQUIPMENT PAD GROUND RING TO ALL FENCE POSTS WITHIN 6' OF EQUIPMENT PAD AND/OR CABINETS w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE 'TYPICAL LINE FENCE POST GROUNDING' ON SHEET G-3)
- ㉙ GROUND EQUIPMENT PAD GROUND RING TO ALL ICE BRIDGE POSTS AND H-FRAME POSTS WITHIN 6' OF EQUIPMENT PAD AND/OR CABINETS w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE H-FRAME POST GROUNDING DETAIL ON SHEET G-3 AND ICE BRIDGE GROUNDING DETAIL ON SHEET G-4)
- ㉚ GROUND EQUIPMENT PAD GROUND RING TO ALL FENCE POSTS WITHIN 6' OF UTILITY H-FRAME w/#2 SOLID BARE TINNED COPPER GROUND WIRE (SEE 'TYPICAL LINE FENCE POST GROUNDING' ON SHEET G-3)
- ㉛ TOWER LIGHTING CONTROLLER BOX
- ㉜ GROUND TOWER LIGHTING CONTROLLER BOX TO EQUIPMENT PAD GROUND RING w/#2 SOLID BARE TINNED COPPER GROUND WIRE

LEGEND

- #2 SOLID TINNED COPPER GROUND WIRE
- 3/4" x 10' COPPER CLAD GROUND ROD SPACED AT 10' TO 20' O.C. • GTC-181T FOR #2, #90 SHOT
- CADWELD CONNECTION
 - PARALLEL TAP CONNECTION:
 - PCC-1T1T FOR #2 TO #2, #65 SHOT
 - VERTICAL PIPE CONNECTION w/WIRE @45° DOWN:
 - VSC-1T-V3C FOR #2 TO PIPE 1-1/2" TO 4" Ø, #45 SHOT
 - VSC-1T FOR #2 TO PIPE LARGER THAN 32" Ø, #45 SHOT
 - VERTICAL FLAT STEEL CONNECTION w/WIRE 45° DOWN:
 - VSC-1T FOR #2, #45 SHOT
 - "ELECTRIC MOTION" FENCE GROUND CLAMP (SEE 'FENCE GROUND CLAMP DETAIL' ON SHEET G-3)
 - "ELECTRIC MOTION" GATE GROUND ASSEMBLY (SEE 'GATE GROUND ASSEMBLY' ON SHEET G-3)

NOTES:

1. PROVIDE "ELECTRIC MOTION" TAMPER RESISTANT BUS BARS AT BULKHEAD AND ABOVE THE TURN AT THE ICE BRIDGE. UTILITY H-FRAME BUS BAR (IF REQUIRED) WILL BE AN ELECTRIC MOTION TINNED COPPER BUS BAR ON RED SEAL INSULATORS & STAINLESS STEEL BRACKET. COAT WITH ELECTRIC MOTION ANTI-THEFT COMPOUND.
2. CONTACT CONSTRUCTION MANAGER PRIOR TO BACKFILLING GROUNDING INSTALLATION.
3. ALL BELOW GRADE GROUND LEADS ARE REQUIRED TO BE SEALED USING SEALTITE TO 18" BELOW GRADE. SEALTITE SHOULD EXTEND AS CLOSE AS POSSIBLE TO THE FINAL TERMINATION POINT AND FILL OPENINGS WITH SILICONE CAULKING.
4. ALL GROUND LEVEL BUS BARS NEED TO USE ANTI-THEFT MOUNTING HARDWARE.

0 5' 10'
1"=5'

NOTE: SEE SHEETS G-2 THROUGH G-4 FOR GROUNDING DETAILS

NOTE: ACTUAL RESISTANCE MUST BE MEASURED PRIOR TO CONNECTION TO THE POWER GRID.

NOTE:
"NO-OX-ID" SANCHEM INC. IS THE
APPROVED GROUNDING COMPOUNDCall Before You Dig
1-800-362-2764
AT LEAST 48 HOURS PRIOR TO EXCAVATING

PREPARED BY:
BURGESS & NIPLE
Engineers ■ Architects ■ Planners
330 RUSH ALLEY,
SUITE 700
COLUMBUS, OH 43220
614-459-2050

PREPARED FOR:
Arcadia Towers
A logo consisting of a stylized 'A' and 'T' intertwined.

FULL SCALE PRINT IS
ON 24" x 36" MEDIACONSTRUCTION
DRAWINGS

REV. DATE DESCRIPTION

SITE INFORMATION:
TEALTON
4762 TEALTON ROAD
MILFORD, OH 45150
CLERMONT COUNTY

SITE NUMBER:
ARC-165050-C

A&E NUMBER: PR61932
DESIGNED BY: GSH
DRAWN BY: GSH
DATE: 04/01/2024

SHEET TITLE:

GROUNDING
PLANSHEET NUMBER:
G-1

Ohio Utilities Protection Service

Conditional Use Application
UNION TOWNSHIP
BOARD OF ZONING APPEALS
4312 Glen Este-Withamsville Road
Cincinnati, OH 45245
(513) 753-2300

Case# 5-24-A
Date 7-3-2024

PLEASE PROVIDE SIX COPIES OF THIS FORM AND ALL MATERIALS

Re: Property located at: 4762 Tealtown Road, Milford, OH 45150

Property Identification Number from Auditor's Tax Bill 413106B106

I. APPLICANT INFORMATION

A. Name Arcadia Infrastructure I, LLC, a Delaware limited liability company & Verizon Wireless
Mailing Address 101 Main Street, Suite 300, Milford, Ohio 45150

Phone 1-513-271-5999

B. Property Owner(s) Mt. Carmel-Glen Este Boosters, an Ohio corporation not for profit owner
Mailing Address Attn: Bobby Tymetsky, 4555 Clermont Lane, Batavia, Ohio 45103
Phone 1-513-504-2603

C. Contact Person PBM Wireless Services, Attn: Stephen E. Carr
Mailing Address 2894 Aldersgate Drive, Greenwood, IN 46143
scarr@stevecarr.hostpilot.com Phone 1-317-446-7747

II. CONDITIONAL USE

A. Please identify the Section of the Union Township Zoning Resolution which authorizes the requested conditional use: Section 612 Conditional Uses

Subsection a thru j

B. Please state the zoning district(s) of the property: R-1 Single Family Detached
Structure Residential Zoning

C. Please describe the existing use of the property and the conditional use requested. The current use of the property supports youth baseball and softball tournaments and leagues during the spring, summer, and fall months. The property currently has about eighteen ball diamonds for these various activities. It is the request of Arcadia Infrastructure I, LLC, to build a 195' monopole structure that will be used to improve the wireless communication coverage in this area of Union Township, Clermont County. I will provide responses to all sections of the code under Section 612.3 a - j and the provisions established within Article 6, Section 622.7. See attached additional information.

D. Please complete the attached form "Exhibit A," which is incorporated into this application.

E. Please provide six copies of the following, which are incorporated into this application:

1. List of adjacent property owners (see attached form "Exhibit B").
2. Tax map with subject property highlighted.
3. Legal description of the property.
4. Site plan showing the parcel and proposed conditional use, including the following: i) building locations; ii) parking and loading areas; iii) streets; iv) access points; v) open spaces; vi) refuse and service areas; vii) utilities; viii) signs; ix) yards; x) landscaping features.

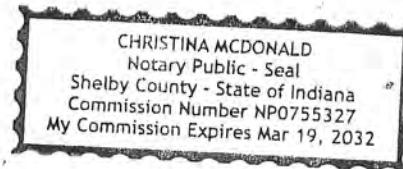
F. Please enclose the application fee.

III. AFFIDAVIT

I hereby depose and affirm that I have familiarized myself with the rules and regulations of the Union Township Zoning Resolution in preparing this application. I certify that I have read the foregoing document and supplements attached thereto, and hereby attest to the truth and exactness of the information supplied herewith.

Stephanie Carr
Applicant

STATE OF OHIO Indiana
COUNTY OF Shelby



Subscribed and sworn to before me this 2nd day of July, 2024.

Stephanie Carr
Notary Public

My commission expires 3-19-2032.

EXHIBIT A

Please describe how the conditional use requested conforms to standards stated in Section 442.1-9 set forth below (a response to each of the subsections 442.1-9 must be provided, additional sheets may be used).

442.1. See Section II.A. (above).

442.2. (441.7). Please describe how the proposed conditional use is consistent with the general objectives, or with any specific objective, of the Township's land development plan and the Zoning Resolution.

The proposed conditional use is consistent with the general objective, of the Township's land development plan and the Zoning resolution because the property is currently zoned R-1 Single Family Detached Structure Residential. The property serves the community through the use of ball fields that will be used by the general public. The proposed wireless communication facility will also serve the public by providing adequate and reliable wireless communication services for the general public of Union Township, and visitors of Union Township.

442.3. Please describe how the proposed conditional use will be designed, constructed, operated, and maintained so to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.

The proposed conditional use will be designed, constructed, operated and maintained so to be harmonious and appropriate in appearance with the existing or intended character, because the wireless communication facility will not create smoke, dust, noise, odor, significant traffic, significant lighting, or demands on public infrastructure. The proposed telecommunication facility will be visited less than a single family home. The proposed facility will serve as a benefit to the community by improving cell phone coverage to this area of Union Township and improving connectivity to the E911 services for wireless communication users in this area as well.

442.4 (441.7) Please discuss the compatibility of the proposed conditional use with the adjacent property uses and describe how the proposed conditional use will not be hazardous or disturbing to existing or future neighboring uses.

The proposed wireless communication facility will be compatible with the adjacent property uses because the telecommunication facility does not create smoke, just, noise, odor, significant traffic or increase demands on the public infrastructure. The site will not be hazardous or disturbing to the existing or future uses of the surrounding properties because all of the surrounding properties can continue to use and develop their properties in any manner and our proposed telecommunication facility will not prevent them from doing that. We view the proposed use as a benefit to the community by improving wireless communication services for this area of Union Township.

(Ex. A, continued)

442.5. Please describe how the proposed conditional use will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

The proposed wireless communication facility will be served adequately by essential public facilities because the wireless communication facility will gain access to the proposed site location off Tealtown Road. Access to the site will continue across the property owners property to the proposed wireless communication facility where both power and fiber optic cables are present to support the needs required to activate this communication facility on this proposed location.

442.6. Please describe how the proposed conditional use will not create additional requirements at public cost for public facilities and services and how it will not be detrimental to the economic welfare of the community.

The proposed conditional use will not create additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community because the telecommunication facility will not create smoke, dust, noise, odor, significant traffic, significant lighting, or demands on the public infrastructure. The telecommunication facility is visited less than a single family home therefore demands on existing infrastructure does not exist. The proposed conditional use approval will cause of benefit to the community with improved telecommunication service for this area of Union Township and better access to E911 services through wireless communication.

442.7 (441.7). Please describe how the proposed conditional use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.

The proposed conditional use will not involve uses activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors because the wireless communication facility does not create smoke, dust, noise, odor, significant traffic, significant lighting, or demands on the public infrastructure. The proposed telecommunication facility will be visited less than a single family home.

(Ex. A, continued)

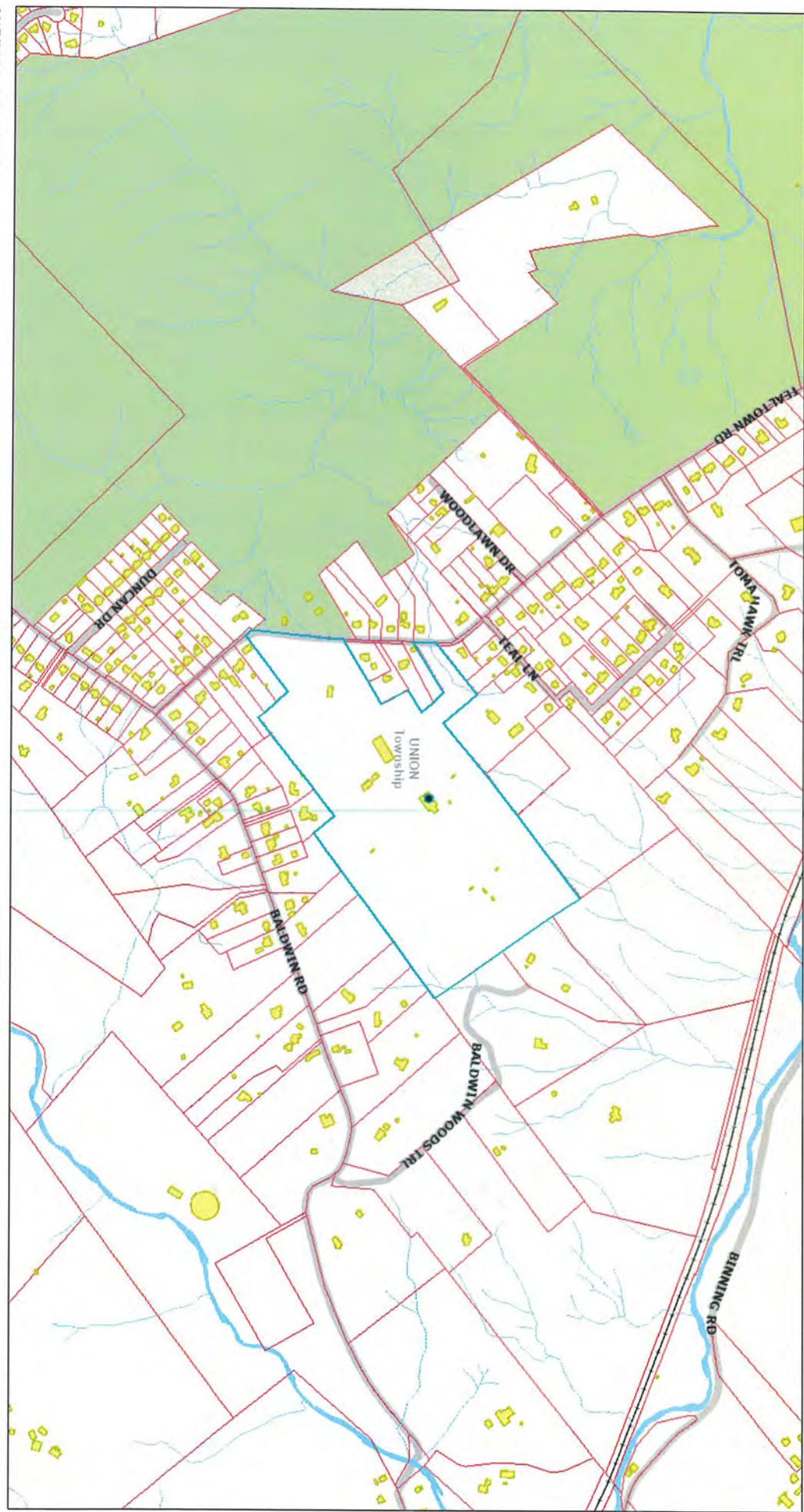
442.8. Please describe how the proposed conditional use will have vehicular approaches to the property which are designed so not to create an interference with traffic on surrounding public thoroughfares.

The proposed conditional use will use existing vehicular approaches to gain access to the proposed telecommunication facility. The installation of the proposed telecommunication facility will not create any interference with traffic on surrounding public thoroughfares, because the telecommunication facility is located less than a single family home.

442.9. Please describe how the proposed conditional use will not result in the destruction, loss, or damage of a natural, scenic, or historic features of major importance.

The proposed conditional use will not result in the destruction, loss, or damage of a natural, scenic, or historic features because the telecommunication facility will be located on a large tract parcel that has large tree growth that surrounds the property. The current vegetation will serve as a screening off of the wireless communication facilities from surrounding property owners.

Clermont County GIS



012345

CORPORATION DEED

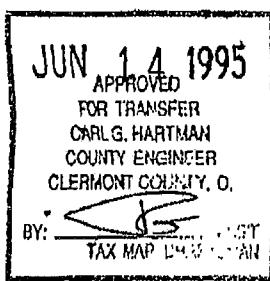
KNOW ALL MEN BY THESE PRESENTS, that MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, the grantor, in consideration of One Dollar and no/100 (\$1.00) and other good and valuable considerations to it paid by MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, whose tax-mailing address is 4285 Cider Mill Drive, Cincinnati, Ohio 45245, the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey to the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, its successors and assigns forever, the real estate described as follows:

filed in the
LINDA L. FRALEY
CLERMONT COUNTY AUDITOR
6/14/95
Date
PAB
Deputy Auditor
By:

4 912
This Conveyance has been examined and
the Grantor has complied with Section
319.202 of the Revised Code.
FEE \$ EXEMPT
LINDA L. FRALEY, County Auditor

Situated in Military Surveys No. 1772 and 9031, Union Township, Clermont County, Ohio, and being more particularly described as follows:

Beginning at the intersection of the centerline Tealtown Road and the centerline of Baldwin Road, said point being marked by a railroad spike found; thence in and along Tealtown Road N. 41 deg. 00' 00" W. a distance of 740.20 feet to a railroad spike found; thence leaving said centerline of Tealtown Road N. 52 deg. 39' 56" E. a distance of 43.97 feet to an iron pin set in the Eastwardly line of said Tealtown Road and real point of beginning for this description; thence in and along said Eastwardly line of Tealtown Road N. 12 deg. 48' 06" W. a distance of 62.83 feet to an iron pin set; thence continuing in and along said Eastwardly line of Tealtown Road N. 02 deg. 25' 42" E. a distance of 127.99 feet to an iron pin set; thence continuing in and along said Eastwardly line of Tealtown Road N. 05 deg. 48' 40" E. a distance of 418.58 feet to an iron pin set; thence leaving said Eastwardly line of Tealtown Road N. 59 deg. 11' 24" E. a distance of 390.00 feet to an iron pin set; thence N. 27 deg. 35' 38" W. a distance of 186.15 feet to an iron pin set; thence N. 57 deg. 58' 22" E. a distance of 162.32 feet to an iron pin set; thence N. 41 deg. 44' 33" W. a distance of 178.74 feet to an iron pin set; thence S. 59 deg. 50' 22" W. a distance of 297.56 feet to an iron pin set in the Eastwardly line of Tealtown Road; thence in and along said Eastwardly line of Tealtown Road N. 01 deg. 35' 22" E. a distance of 142.96 feet to an iron pin set; thence leaving said Eastwardly line of Tealtown Road N. 53 deg. 20' 22" E. a distance of 331.06



ADD PLATS 200
195
201

1

BK 31 PG 6B PAR 106-48.91Ac.

New Survey

feet to an iron pin set; thence S. 41 deg. 44' 38" E. a distance of 258.00 feet to an iron pin set; thence N. 48 deg. 35' 45" E. a distance of 405.99 feet to an iron pin set; thence N. 52 deg. 38' 31" E. a distance of 954.70 feet to a stone found; thence S. 35 deg. 31' 29" E. a distance of 1081.47 feet to an iron pin found; thence S. 52 deg. 49' 43" W. a distance of 1257.87 feet to a stone found; thence N. 40 deg. 36' 46" W. a distance of 166.25 feet to an iron pin found; thence S. 52 deg. 20' 22" W. a distance of 630.59 feet to an iron pin set; thence S. 52 deg. 31' 20" W. a distance of 126.49 feet to an iron pin set; thence N. 41 deg. 00' 00" W. a distance of 236.00 feet to an iron pin set; thence S. 52 deg. 39' 56" W. a distance of 392.51 feet to the real point of beginning for this description.

Containing in all 48.9051 acres, more or less, subject to all legal highways and easements of record.

The above described real estate is all of the same premises described as recorded in Official Record Book 342, page 748, and Official Record Book 375, page 472, of the Clermont County, Ohio Deed Records and identified as parcel Nos. 41-31-6B-106, 41-31-6B-195, 41-31-6B-200, and 41-31-6B-201 on the Tax Maps of said County. Being the result of a survey and plat dated May 31, 1994, made by J. Timothy King, PE-PS, Ohio Professional Surveyor's Registration Number 6549.

The purpose of this Deed is to consolidate the four (4) separate parcels into one (1) parcel.

and all the estate, title and interest of the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, the grantor, either in law or equity, in and to the said premises; together with all the privileges and appurtenances to the same belonging; to have and to hold the same to the only proper use of the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, its successors and assigns forever, and the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, grantor, for itself and for its successors, hereby covenants with the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, its successors and assigns forever, that it is the true and lawful owner of the said premises, and has full power to



Think outside the triangle.

VARIANCE APPLICATION REQUEST

Variance Application
UNION TOWNSHIP
BOARD OF ZONING APPEALS
4312 Glen Este-Withamsville Road
Cincinnati, OH 45245
(513) 753-2300

Case#	
Date	

PLEASE PROVIDE SIX COPIES OF THIS FORM AND ALL MATERIALS

Re: Property located at: 4762 Tealtown Road, Milford, OH 45150

Property Identification Number from Auditor's Tax Bill 413106B106

I. APPLICANT INFORMATION

Arcadia Infrastructure I, LLC, a Delaware limited liability company & Cellco Partners

A. Name d/b/a Verizon Wireless

Mailing Address 101 Main Street, Suite 300, Milford, OH 45150

Phone 1-513-271-5999

B. Property Owner(s) Mt. Carmel-Glen Boosters, an Ohio corporation not for profit owner

Mailing Address Attn: Bobby Tymetsky, 4555 Clermont Lane Batavia, Ohio 45103

Phone 1-513-504-2603

C. Contact Person PBM Wireless Services, Attn: Stephen E. Carr

Mailing Address 2894 Aldersgate Drive, Greenwood, IN 46143

scarr@stevecarr.hostpilot.com Phone 1-317-446-7747

II. VARIANCE INFORMATION

A. I hereby request the Board of Zoning Appeals to grant a variance(s) from Section(s) Section 612 Conditional Uses, subsection 3 (e). Tower height limitation of 150' tall monopole. of the Union Township Zoning Resolution.

B. Please describe generally each variance requested.

Arcadia Infrastructure I, LLC, is requesting a Variance of Section 612 Conditional Uses, subsection 3 (e) where the code limits the height of a monopole tower to 150' tall. Arcadia is requesting a Variance of forty-nine (49'). The additional height on the tower allows Verizon Wireless to meet there coverage objective for the proposed tower site. Allowing this Variance will allow Verizon Wireless to meet the coverage objective for this site and also allow Variance to provide adequate and reliable service which they are required to provide under the Tellcommuncation Act of 1996.

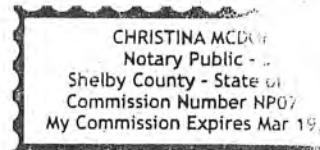
R-1 Single Family detached

- C. Please state the zoning district(s) of the property: Structure Residential Dwelling
- D. For each variance requested, please complete the attached form "Exhibit A," which is incorporated into this application.
- E. Please provide six copies of the following, which are incorporated into this application:
 1. List of adjacent property owners (see attached form "Exhibit B")
 2. Tax map with subject property highlighted.
 3. Legal description of the property.
 4. Site plan showing the parcel and proposed use of the property.
- F. Please enclose application fee.

III. AFFIDAVIT

I hereby depose and affirm that I have familiarized myself with the rules and regulations of the Union Township Zoning Resolution in preparing this application. I certify that I have read the foregoing document and supplements attached thereto, and hereby attest to the truth and exactness of the information supplied herewith.

Stephanie Can
Applicant



STATE OF OHIO Indiana
COUNTY OF Shelby

Subscribed and sworn to before me this 2nd day of July, 2024.

C. McDonald
Notary Public

My commission expires 3-19-2032.

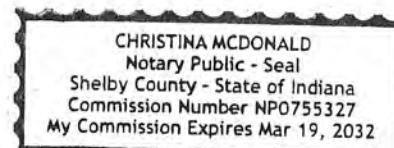


EXHIBIT A

Please describe how the variance requested conforms to standards stated in Section 431.5(a-g) set forth below (a response to each of the subsections 431.5 (a-g) must be provided for each variance requested, additional sheets and/or additional copies of this page may be used).

Section to which a variance is requested: Section 612 Conditional Uses, subsection 3(e) height limits of 150' for monopole towers.

431.5.a. Please describe how the granting of the variance is consistent with the general purpose and intent of the regulations imposed by this Resolution on the district in which it is located, and is not injurious to the area or otherwise detrimental to the public welfare.

The proposed telecommunication facility will not be detrimental to the public welfare if granted. The additional 49' that we need a variance granted for will allow the proposed wireless communication facility to provide adequate and reliable service to the community of Union Township. Limiting the tower to 150' will not allow Verizon Wireless to meet their coverage objective. The purpose and intent of the regulations imposed was to prevent the need to light the tower. Per the FAA approval that we received from the FAA the tower at a height will not need to have a light on the tower. Also the heavy tree cover that surrounds the property will help in blocking the view of the tower.

431.5.b. Please describe how the granting of the variance will not permit the establishment of any use which is not otherwise permitted in the district.

Granting the height Variance of 49' will not permit the establishment of any use which is not otherwise permitted in the district. Increase the height will allow any permitted use of the property to remain. The existance of the towers additional height will not affect the ability to do whatever you are otherwise permitted to do on the property.

431.5.c. Please describe the special circumstances or conditions, applicable to the land or buildings for which the variance is sought, which are peculiar to such land or buildings and do not apply generally to land or buildings in the area, and which are such that the strict application of the provisions of this Resolution would deprive the applicant of the reasonable use of such land or building. Mere loss in value shall not justify a variance; there must be deprivation of beneficial use of land.

The proposed site is the best and least objectionable choice available to Petitioner in the geographical area as required for quality wireless communication service in the area. The 49' variance request will allow Verizon to meet there coverage objective for this proposed tower site. Keeping the wireless communication facility at a height of 150' will deprive the beneficial use of the property. With the increased level of tree growth in the area and changes in topography having the 199' tall structure will allow Verizon to best service its customers in this area of Union Township.

(Ex. A continued)

431.5.d. Please describe the proof of hardship created by the strict application of this Resolution. It is not sufficient proof of hardship to show that greater profit would result if the variance were granted. Furthermore, the hardship complained of cannot be self-created; nor can it be established on this basis by one who purchases with or without knowledge of the restrictions; it must result from the application of this Resolution; it must be suffered directly by the property in question; and evidence of variances granted under similar circumstances need not be considered.

The hardship associated with the strict application of this Resolution will prevent Verizon Wireless from providing adequate and reliable wireless communication services for this area of Union Township. The heavy tree growth in this area of the Township and changes in elevations, the additional height will allow Verizon Wireless to provide the needed improvements in the network.

431.5.e. Please describe why the granting of the variance is necessary for the reasonable use of the land or building, and why the variance requested is the minimum variance that will accomplish this purpose.

The minimum variance request of 49' will allow Verizon Wireless to have the wireless communication facility at its highest elevation and also not require the tower to have a light on the tower. The additional height will allow Verizon Wireless to meet the coverage objective this search ring is designed for. Not only will the site improve cell phone coverage in this area of Union Township, but it will also help take care of capacity issues that many of the surrounding sites have. A lot of the existing Verizon Wireless sites in Union Township have capacity overload and this site will help reduce the capacity overload.

431.5.f. Please describe how the proposed variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area.

The proposed variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values of the adjacent area because the wireless communication facility does not create smoke, dust, noise, odor, significant traffic, significant lighting, or demands on the public infrastructure.

Issuing the variance of forty-nine (49') will not cause any of this to change. Also allowing the variance to be requested will not require the tower to have a light on the tower, as per the FAA approval already received at the 431.5.g. Please describe why the granting of the variance requested will not confer on the applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district.

The granting of the variance requested will not confer on the applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district. Several of the existing towers in the area of Union Township are towers that are above the height of 150'. So granting a variance to Verizon for allowing them to meet their coverage objective will not create any special privilege to the applicant.

EXHIBIT B

ADJACENT PROPERTY OWNERS

Adjacent properties include those across streets and touching the property in any manner.
A printout from the county auditor stating this information may substitute for this page.

The following are the individuals, firms, or corporations and their mailing addresses as they appear in the county auditor's tax list as owners of property adjacent to the subject property.

1.	Name <u>See attached seperate list</u>	Page and Parcel #
2.	Mailing Address	Page and Parcel #
3.		Page and Parcel #
4.		Page and Parcel #
5.		Page and Parcel #
6.		Page and Parcel #
7.		Page and Parcel #
8.		Page and Parcel #
9.		Page and Parcel #
10.		Page and Parcel #
11.		Page and Parcel #
12.		Page and Parcel #

EXHIBIT B

Letter Notification List

1. John Nolan
4756 Tealtown Road
Milford, OH 45150
Parcel #413106B067
2. Brandon H. Castillo
4752 Tealtown Road
Milford, OH 45150
Parcel #413106B082
3. James & Linda Roberts
4750 Tealtown Road
Milford, OH 45150
Parcel #413106B099
4. Michael A. & Sheila B. Zieser
1288 Baldwin Road
Milford, OH 45150
Parcel #413106B208
5. David R. & Ann M. Chalk
1290 Baldwin Road
Milford, OH 45150
Parcel #413106B218

6. Mark Anthony & Teresa K. White
1316 Baldwin Road
Milford, OH 45150
Parcel #413106B006

7. Donald E. Gill Jr.
1322 Baldwin Road
Milford, OH 45150
Parcel #413106B043

8. Mark R. West
1134 Beechridge Court
Batavia, OH 45103
Parcel #413106H112

9. Kenneth L. & Lori A. Woll
1340 Baldwin Road
Milford, OH 45150
Parcel #413106H134

10. Albert G. & Linda L. Berger
1342 Baldwin Road
Milford, OH 45150
Parcel #413106H113

11. WM D. & Wanda Applegate
1356 Baldwin Road
Milford, OH 45150
Parcel #413106H120

12. Deborah J. Wilson
4840 Baldwin Woods Trail
Milford, OH 45150
Parcel #413106F114
13. Tracy L. Jones & Sheila A. Vilvens
4844 Baldwin Woods Trail
Milford, OH 45150
Parcel #413106F116
14. Same as #13 on ownership
Parcel #413106F112
15. Daryl Michael Terwilleger
Wendy Barrett Terwilleger
7288 West Chester Road
West Chester, OH 45069
Parcel #403106B096
16. Paul Thomas Moore
Stephanie Marian Taylor
4830 Teal Lane
Milford, OH 45150
Parcel #403106B234
17. Same as #16 on ownership
Parcel #413106B074

18. Benjamin Matthew Chandler
Leona Bentley Chandler
4820 Teal Lane
Milford, OH 45150
Parcel #413106B203

19. Patsy K. Hager
4808 Tealtown Road
Milford, OH 45150
Parcel #413106B234

20. Todd Talya Alsaid
4799 Tealtown Road
Milford, OH 45150
Parcel #413106B202

21. Elsie J. Huesman
110 Woodmere Court
Amelia, OH 45102
Parcel #413106B192

22. Linda & John Miller
4798 Tealtown Road
Milford, OH 45150
Parcel #413106B089

23. Aaron C. Clark
4792 Tealtown Road
Milford, OH 45150
Parcel #413106B244

24. Anthony & Amanda Rivers
4791 Tealtown Road
Milford, OH 45150
Parcel #413106B100

25. Barg Salt Properties
1250 West Ohio Pike 241
Amelia, OH 45102
Parcel #413106B093

26. Cinti Mature Center Associates
4949 Tealtown Road
Milford, OH 45150
Parcel #413107C001

27. Malenia Nelson
4753 Tealtown Road
Milford, OH 45150
Parcel #414216C052

Clermont County GIS



012928

CORPORATION DEED

KNOW ALL MEN BY THESE PRESENTS, that MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, the grantor, in consideration of One Dollar and no/100 (\$1.00) and other good and valuable considerations to it paid by MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, whose tax-mailing address is 4285 Cider Mill Drive, Cincinnati, Ohio 45245, the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey to the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, its successors and assigns forever, the real estate described as follows:

Filed in the ~~CLERMONT COUNTY AUDITOR~~
LINDA L. FRALEY
CLERMONT COUNTY AUDITOR
6/14/95
Date
Linda L. FRALEY
Deputy Auditor

By:

912
This Conveyance has been examined and
319202 of the Revised Code.

FEE \$

EXEMPT

LINDA L. FRALEY, County Auditor

Situated in Military Surveys No. 1772 and 9031, Union Township, Clermont County, Ohio, and being more particularly described as follows:

Beginning at the intersection of the centerline Tealtown Road and the centerline of Baldwin Road, said point being marked by a railroad spike found; thence in and along Tealtown Road N. 41 deg. 00' 00" W. a distance of 740.20 feet to a railroad spike found; thence leaving said centerline of Tealtown Road N. 52 deg. 39' 56" E. a distance of 43.97 feet to an iron pin set in the Eastwardly line of said Tealtown Road and real point of beginning for this description; thence in and along said Eastwardly line of Tealtown Road N. 12 deg. 48' 06" W. a distance of 62.83 feet to an iron pin set; thence continuing in and along said Eastwardly line of Tealtown Road N. 02 deg. 25' 42" E. a distance of 127.99 feet to an iron pin set; thence continuing in and along said Eastwardly line of Tealtown Road N. 05 deg. 48' 40" E. a distance of 418.58 feet to an iron pin set; thence leaving said Eastwardly line of Tealtown Road N. 59 deg. 11' 24" E. a distance of 390.00 feet to an iron pin set; thence N. 27 deg. 35' 38" W. a distance of 186.15 feet to an iron pin set; thence N. 57 deg. 58' 22" E. a distance of 162.32 feet to an iron pin set; thence N. 41 deg. 44' 33" W. a distance of 178.74 feet to an iron pin set; thence S. 59 deg. 50' 22" W. a distance of 297.56 feet to an iron pin set in the Eastwardly line of Tealtown Road; thence in and along said Eastwardly line of Tealtown Road N. 01 deg. 35' 22" E. a distance of 142.96 feet to an iron pin set; thence leaving said Eastwardly line of Tealtown Road N. 53 deg. 20' 22" E. a distance of 331.06

ADD PLATS 200
195
201

JUN 14 1995
APPROVED
FOR TRANSFER
CARL G. HARTMAN
COUNTY ENGINEER
CLERMONT COUNTY, O.

BY: *[Signature]*

TAX MAP LOC. 100

BK 31 PG 6B PAR 106-48.91Ac.

New Survey

BOOK 633 PAGE 252

feet to an iron pin set; thence S. 41 deg. 44' 38" E. a distance of 258.00 feet to an iron pin set; thence N. 48 deg. 35' 45" E. a distance of 405.99 feet to an iron pin set; thence N. 52 deg. 38' 31" E. a distance of 954.70 feet to a stone found; thence S. 35 deg. 31' 29" E. a distance of 1081.47 feet to an iron pin found; thence S. 52 deg. 49' 43" W. a distance of 1257.87 feet to a stone found; thence N. 40 deg. 36' 46" W. a distance of 166.25 feet to an iron pin found; thence S. 52 deg. 20' 22" W. a distance of 630.59 feet to an iron pin set; thence S. 52 deg. 31' 20" W. a distance of 126.49 feet to an iron pin set; thence N. 41 deg. 00' 00" W. a distance of 236.00 feet to an iron pin set; thence S. 52 deg. 39' 56" W. a distance of 392.51 feet to the real point of beginning for this description.

Containing in all 48.9051 acres, more or less, subject to all legal highways and easements of record.

The above described real estate is all of the same premises described as recorded in Official Record Book 342, page 748, and Official Record Book 375, page 472, of the Clermont County, Ohio Deed Records and identified as parcel Nos. 41-31-6B-106, 41-31-6B-195, 41-31-6B-200, and 41-31-6B-201 on the Tax Maps of said County. Being the result of a survey and plat dated May 31, 1994, made by J. Timothy King, PE-PS, Ohio Professional Surveyor's Registration Number 6549.

The purpose of this Deed is to consolidate the four (4) separate parcels into one (1) parcel.

and all the estate, title and interest of the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, the grantor, either in law or equity, in and to the said premises; together with all the privileges and appurtenances to the same belonging; to have and to hold the same to the only proper use of the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, its successors and assigns forever, and the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, grantor, for itself and for its successors, hereby covenants with the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, its successors and assigns forever, that it is the true and lawful owner of the said premises, and has full power to

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convey the same; and that the title so conveyed is clear, free and unencumbered; and further, that it does warrant and will defend the same against all claims of all persons whomsoever.

IN WITNESS WHEREOF, the said MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, grantor, has caused its corporate name to be hereunto subscribed and its corporate seal hereunto affixed, by JOAN OPICHKA, its President, and ROBERT RIECK, its Treasurer, duly authorized by resolution of its Members, this 19th day of April, 1995.

SIGNED IN THE
PRESENCE OF:

Rick M. Wheeler

MT. CARMEL-GLEN ESTE BOOSTERS

By:

Joan Opichka

Joan Opichka
President

Printed Name: Rick M. Wheeler

Dennis Cunningham By:

Robert Rieck

Robert Rieck

Printed Name: Dennis J. Cunningham Treasurer

STATE OF OHIO, COUNTY OF CLERMONT, ss:

The foregoing instrument was acknowledged before me this 19th day of April, 1995, by Joan Opichka, President and Robert Rieck, Treasurer, of MT. CARMEL-GLEN ESTE BOOSTERS, an Ohio corporation not for profit, on behalf of the corporation.

PATRICIA A. RIECK
Notary Public, State of Ohio
My Commission Expires Oct. 4, 1998

Patricia A. Rieck
Notary Public

REC'D. IN CLERK'S OFFICE
CAROLYN GREEN
JUN 14 1995
ATTORNEY RECORDER
CLERK'S OFFICE, CINCINNATI, OHIO

This instrument was prepared by Kevin J. Hopper, Attorney at Law, 7420 Jager Court, Cincinnati, Ohio 45230.

REAL\CONSOLID.DEE