



UNION TOWNSHIP BOARD OF TRUSTEES  
APRIL 9<sup>TH</sup>, 2024 MEETING

## MAJOR AMENDMENT, PD

MOUNTAIN AGENCY EASTGATE LLC, Applicant  
CLEPPER LANE



### *Staff Report: CASE # 7-94-Z*

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#### **NATURE OF REQUEST**

*The Applicant is requesting the approval of a Major Amendment to a Planned Development District from the Union Township Board of Trustees for a 1.629-acre property (PIN # 414108.026B) in order to locate a new, used car dealership facility for Jeff Wyler.*

*\*Please refer to the Applicant's statements, plans, and other application enclosures.*

#### **LOCATION**

The subject property, owned by Mountain Agency Eastgate LLC, is located off of Clepper Lane, immediately southeast of the State Route 32 off-ramp onto Clepper Lane.

#### **ZONING**

The subject property is zoned Planned Development (PD), with Planned Development (PD) zoning adjacent around the entire perimeter of the site. To the northwest, across the off-ramp State Route 32, the property is zoned Business (B-1).

#### **RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN**

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the proposal is located within the Central (SR 32) Retail Corridor. The plan identifies this area as the primary retail and commercial corridor within the Township, and therefore, the area is ripe for infill development that maximizes intensity and efficiency of land use. Among other things, the Plan calls for architectural standards that promote cohesive and attractive design and an enhanced quality of life (and additional investment), sidewalks, shared driveway and parking configurations whenever practical, and site development to be conducted in a manner that focuses on maximizing land use efficiency with infill development.

For commercial development, the use of traditional building materials, adequate vegetative buffering, landscaping strategies along shared property lines, and landscaping enhancements along the corridor frontage is also required, in accordance with the Plan.

## **BACKGROUND**

The Planned Development (PD) associated with this particular property was approved in January of 1995, and includes property along Clepper Lane from Gleneste Withamsville Road (the western edge) to the new off-ramp onto Clepper Lane, from State Route 32 (forming the eastern border). According to the Township staff report in 1994-1995, there was “no clear concept at all for the site” other than to change the existing residential uses and zoning to commercial uses and a Planned Development District. As a result, development has occurred in a slow, piecemeal fashion, as predicted—with most of the property being acquired relatively recently for the road improvements in the area.

On a related note, the Jeff Wyler Auto Mall Planned Development (PD)—which is immediately adjacent to the site to the east—has been in existence for more than three (3) decades, with the bulk of activity consisting of car dealerships, an automobile inventory area, and an overflow inventory storage area adjacent to Clepper Lane. As time has passed, several properties have been added to the PD as a result of property acquisition and consolidation by Mountain Agency Eastgate LLC. The owner most recently received approval in October of 2023 to modify the existing used car facility so that a new Hyundai dealership could be established on the site (in place of the used car sales dealership). In January of this year, the owner subsequently received approval to add an additional 12,133 square feet onto the new Hyundai dealership for vehicle maintenance space, including service bays. *The Applicant now seeks to relocate the used car dealership facility to this particular property—which the owner is in the process of acquiring from the State.*

## **STAFF REVIEW & ANALYSIS**

Overall, the proposed Major Amendment to this particular Planned Development (PD) appears to be consistent with the prior approvals for the development in this particular PD, as well as this particular area of the SR 32 Central Retail Corridor (including the Jeff Wyler sites to the east). While some architectural elements still need to be confirmed, the project will ultimately enhance the investment associated with the site, promote cohesive and attractive design, and the use is compatible with current onsite and surrounding uses. Access to the site will be limited to Jeff Wyler’s existing access point off of Clepper Lane (a Minor Collector with an ADT of 4,306)—which is preferred given the recent access management and road improvements in the area. *As a part of this proposal, the Applicant will, at minimum, be required to provide a pedestrian connection from the Jeff Wyler Auto Mall site to the new sidewalk along the southern portion of Clepper Lane.* The Applicant has also submitted landscaping and photometric plans for this project, both of which staff finds to be satisfactory. There is no free-standing signage currently proposed as a part of this application; however, in conversations with staff, the Applicant’s representative has expressed this item will be addressed at a later time, as part of a separate submittal.

### **ACTION REQUIRED**

In accordance with Sections 680-687 of the Zoning Resolution, the Board of Trustees' role in this process is to either enter a motion to approve, approve with some modification, or deny the Applicant's request as submitted, along with any further modifications deemed appropriate by the Board.

### **RECOMMENDED MODIFICATIONS**

If the Board should choose to grant favorable consideration to this PD Major Amendment application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant would need to address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant must provide a pedestrian connection from the Jeff Wyler Auto Mall site to the entrance drive to facilitate access to the existing sidewalk on the south side of Clepper Lane. *If a crosswalk from the entrance drive to the south side sidewalk along Clepper Lane is not initially approved to satisfy this condition, the owner must also agree to allow and help facilitate a sidewalk and associated improvements (truncated domes, pedestrian signals, etc.) within 90 days of being notified by the Township.*
- 3) The Applicant would need to provide additional information with respect to the proposed primary structure improvements—to ensure that the architectural standards and proposed building materials meet the requirements and standards set forth in the Township's Comprehensive Plan and Zoning Resolution. *This is an item that can be addressed administratively by staff.*
- 4) A final, revised signage plan will ultimately need to be submitted for the Applicant to obtain the necessary commercial zoning permit. *This item will be subject to administrative review and approval.*

## VICINITY MAP

NTS

1. PARCEL DATA:  
SITE ADDRESS: CLEPPER LANE  
PARCEL No. 414108.0268, 1.6290 Ac.
2. OWNER  
THE MOUNTAIN AGENCY EASTGATE, LLC.  
401 MILFORD PARKWAY, SUITE A  
MILFORD, OH 45150
3. ZONING CLASSIFICATION: "PD" PLANNED DISTRICT, PART OF CASE No. 7-9-Z
4. GROSS FLOOR AREA 7,725 S.F.
5. MAXIMUM BUILDING HEIGHT 32'
6. PARKING SPACES SHALL BE DEPARTED BY 4" WIDE WHITE PAINTED STRIPES.
7. PARKING REQUIREMENTS  
FLOOR AREA 7525 S.F. 1 SPACE/400 S.F. 19  
EMPLOYEES 35 1 SPACE/EMPLOYEE 35  
TOTAL PARKING SPACES REQUIRED 64  
TOTAL NEW PARKING SPACES PROVIDED 112
8. NO PART OF THIS SITE IS LOCATED WITHIN A 100-YR FLOODPLAIN.
9. EXTERIOR POLE LIGHT, CANOPY LIGHTING, OR SIMILAR LIGHTING SHALL BE FLAT LENS DESIGN AND SHIELDED SO THAT ALL LIGHT IS DOWN DIRECTED. SAG LENS LIGHTING IS PROHIBITED.
10. CONSTRUCTION IS ANTICIPATED TO COMMENCE SPRING 2024 AND TO BE COMPLETED DECEMBER 2024.
11. LOCATION OF EXISTING UTILITIES SHOWN HEREON IS APPROXIMATE AND IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. THE OWNER AND ENGINEER ASSUMES NO LIABILITY FOR THE LOCATION OF ANY AND ALL UTILITIES WITHIN THE LIMITS OF WORK. ANY DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS AND EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
12. UNLESS OTHERWISE NOTED, MATERIALS AND SPECIFICATIONS SHALL CONFORM TO THE CONSTRUCTION AND MATERIALS SPECIFICATIONS OF ODOT.
13. ALL CONSTRUCTION AND PERMANENT STRUCTURES WHICH ARE CONSIDERED PART OF THE STORMWATER MANAGEMENT AND SEDIMENT CONTROL SYSTEM SHALL ADHERE TO THE LATEST ISSUE OF THE "CLERMONT COUNTY WATER MANAGEMENT AND SEDIMENT CONTROL REGULATIONS" AND SHALL BE SUBJECT TO FIELD INSPECTION BY THE CLERMONT COUNTY ENGINEERING DEPARTMENT TO VERIFY COMPLIANCE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY CLERMONT COUNTY DEPENDENT ON SITE CONDITIONS.
14. EROSION AND SEDIMENTATION CONTROL MEASURES AND SEDIMENTATION BASINS ARE TO BE IN PLACE BEFORE BEGINNING SITE WORK.
15. IT SHALL BE THE CONTRACTOR'S OBLIGATION TO INSTALL, MAINTAIN, AND/OR REMOVE AS REQUIRED, ALL BARRIERS, INLET FILTERS, SEDIMENT BASINS, AND OTHER EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS OR AS NECESSARY TO PREVENT STORM WATER POLLUTION. ALSO INCLUDED IS THE PERFORMANCE AND MAINTENANCE OF A LOG OF INSPECTIONS AS REQUIRED BY THE N.P.D.E.S. PERMIT. THE INSPECTIONS AND LOG MAINTENANCE SHALL START WITH THE COMMENCEMENT OF THE JOB AND SHALL CONTINUE UNTIL 30 DAYS AFTER INSTALLATION OF THE BASE COURSES OF PAVING. THE LOG SHALL THEN BE TURNED OVER TO THE OWNER OR HIS REPRESENTATIVE.
16. ANY NEW SIGNAGE REQUIRES SEPRATE APPROVAL FROM UNION TOWNSHIP.

I CERTIFY THAT THIS "PD" PLAN MEETS THE REQUIREMENTS SET BY UNION TOWNSHIP AND IS THE APPROVED "PD" PLAN FOR THIS PROPERTY.

DIRECTOR OF PLANNING &amp; ZONING

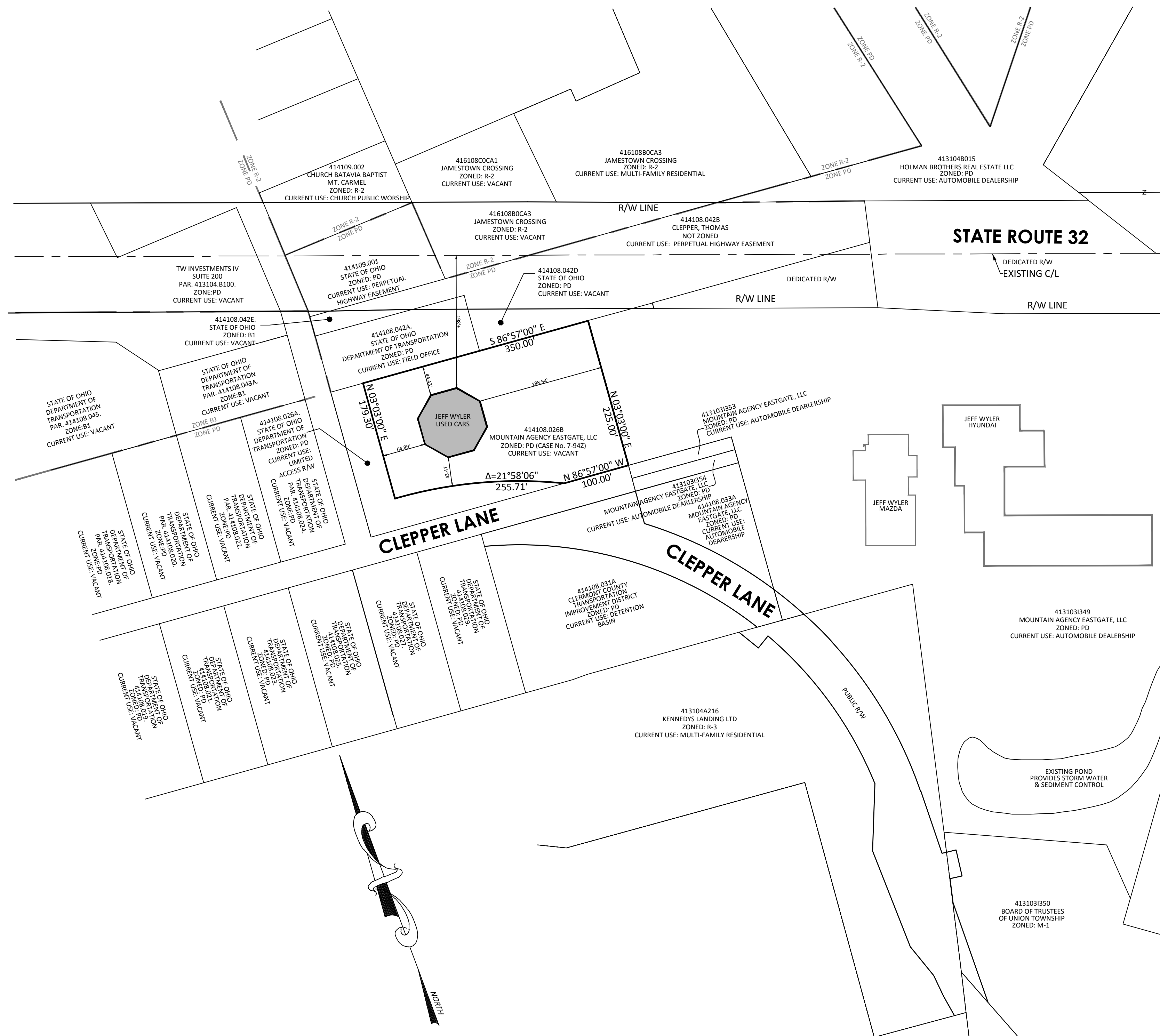
(DATE) \_\_\_\_\_

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN HEREIN AND ADOPT THIS "PD" PLAN AS MY DEVELOPMENT FOR THE PROPERTY. I MUST OBTAIN A ZONING CERTIFICATE PRIOR TO CONSTRUCTION.

(OWNER)

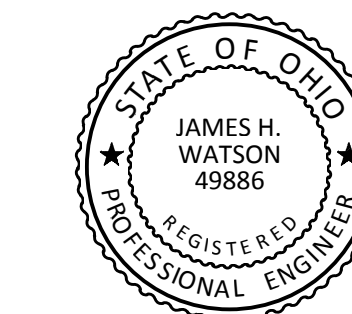
(PRINT NAME \_\_\_\_\_)

(DATE)



## LOCATION MAP

SCALE: 1" = 100'



James H Weston

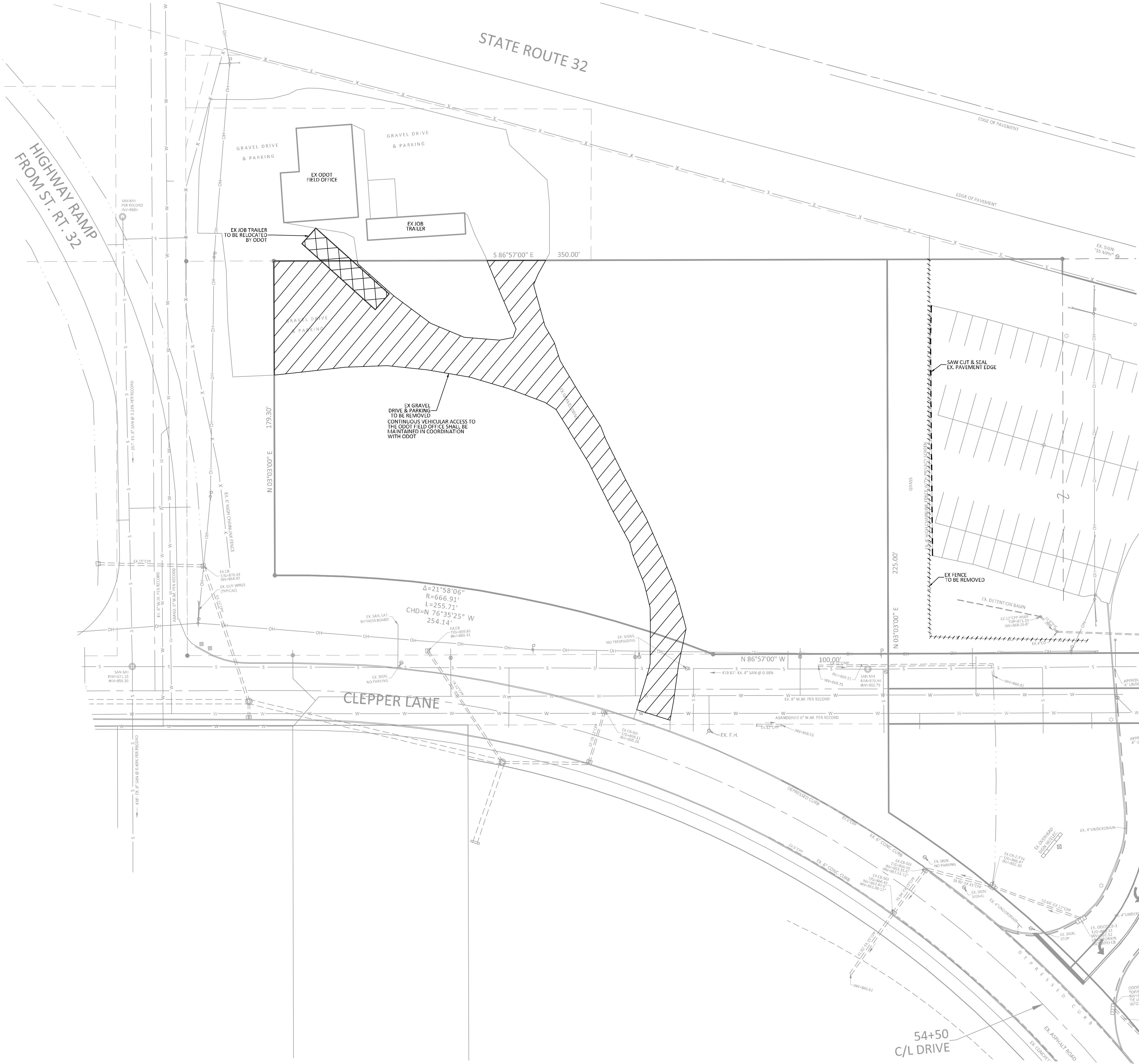
## JEFF WYLER USED CARS

**UNION TOWNSHIP  
CLERMONT COUNTY, OHIO  
COVER SHEET**

Date	03/05/24
Scale	AS NOTED
Drawn By	DA Proj. Mgr. JW
Survey Database	08417.01
DWG	08417014-IMP-Used Cars
X-Ref(s)	08417013-BAS-05
Project Number	08417.01
File No.	Sheet No. C1

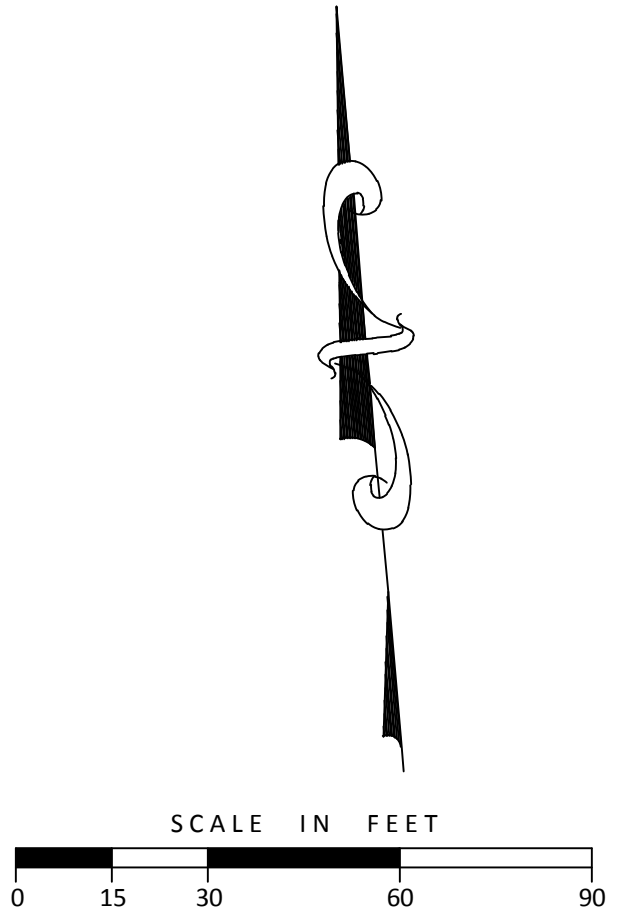


Revision	By	Date
TWP COMMENTS		03/29/24



DEMOLITION PLAN NOTES

1. ALL WORK SHALL COMPLY WITH LOCAL AND STATE CODES AND STANDARDS OF CONSTRUCTION.
2. ALL DEMOLITION PERMITS SHALL BE OBTAINED PRIOR TO THE START OF DEMOLITION.
3. THE CONTRACTOR IS TO COORDINATE ALL EX. UTILITIES TO BE REMOVED & ABANDON WITH THE APPROPRIATE UTILITY COMPANY. CONTACT DUKE ENERGY FOR GAS & ELECTRIC SERVICES. TWO WEEK NOTIFICATION PRIOR TO REMOVAL IS REQUIRED.
4. THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF SURFACE EVIDENCE AND AVAILABLE PLANS AND RECORDS. THEY HAVE NOT BEEN PHYSICALLY LOCATED. THERE ARE NO GUARANTEES THAT THE UNDERGROUND UTILITIES AS SHOWN COMPRISE ALL SUCH UTILITIES WITHIN THE CONSTRUCTION AREA, EITHER IN SERVICE OR ABANDONED. NOR IS IT GUARANTEED THAT THEY ARE IN THE EXACT LOCATION AS INDICATED. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR TO COORDINATE ALL DEMOLITION WITH NEW WORK.



JEFF WYLER USED CARS

UNION TOWNSHIP  
CLERMONT COUNTY, OHIO  
DEMOLITION PLAN

*James H. Watson*

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811 OR 1-800-362-2764  
CALL TWO WORKING DAYS BEFORE YOU DIG  
(NON MEMBERS MUST BE CALLED DIRECTLY)

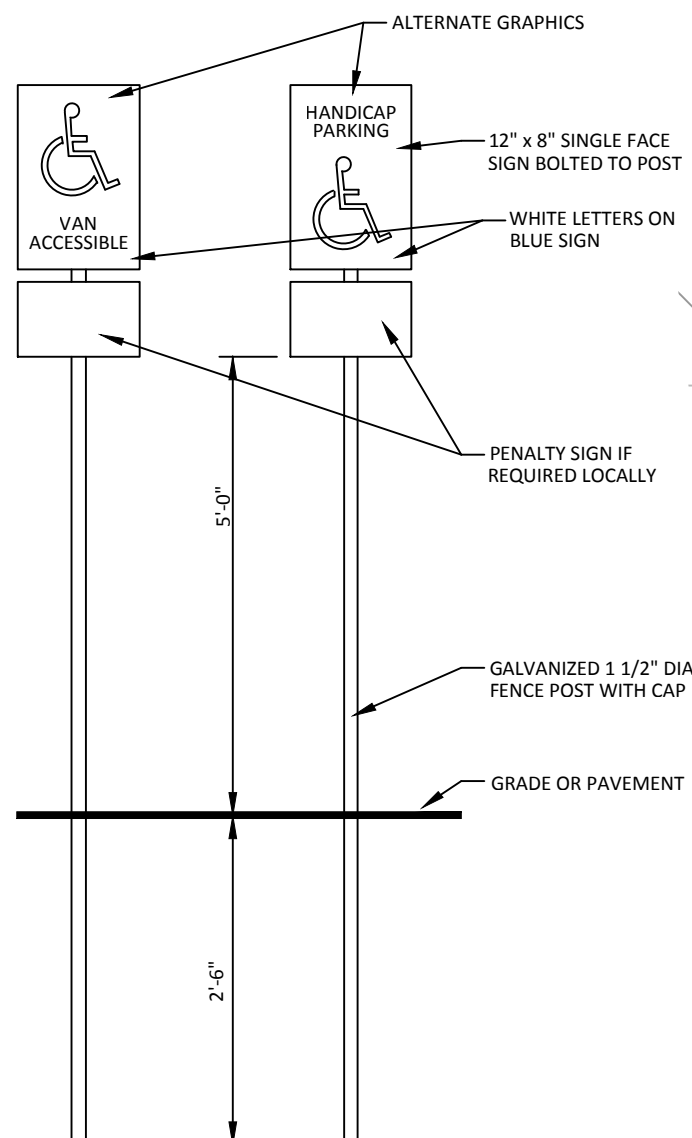
Date	03/05/24
Scale	AS NOTED
Drawn By	DA
Proj. Mgr.	JW
Survey Database	08417.01
DWG	08417014-IMP-Used Cars
X-Ref(s)	08417013-BAS-05
Project Number	08417.01
File No.	Sheet No. C2

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McGill Smith Punshon

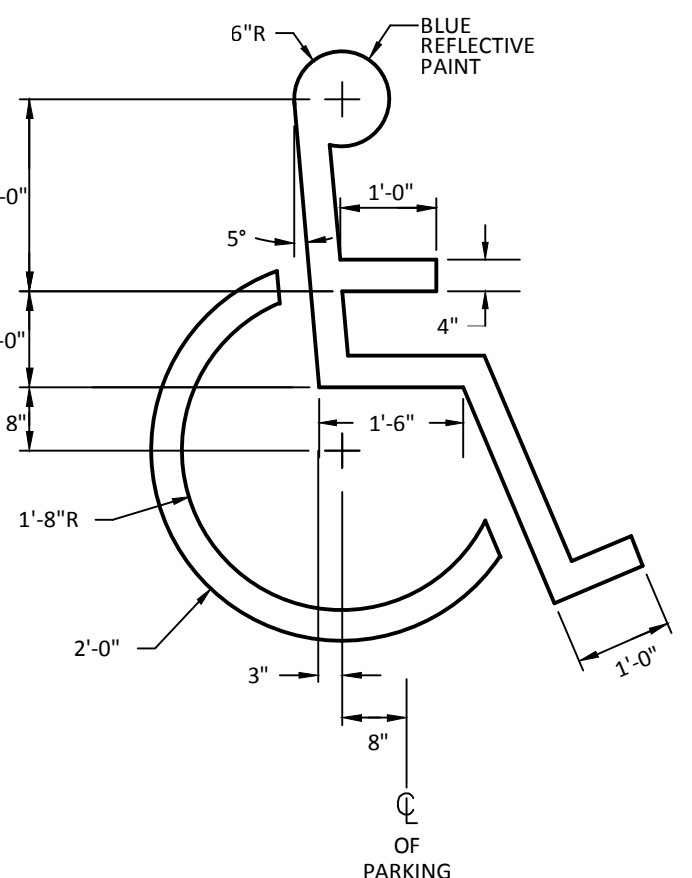
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■ Landscape Architecture  
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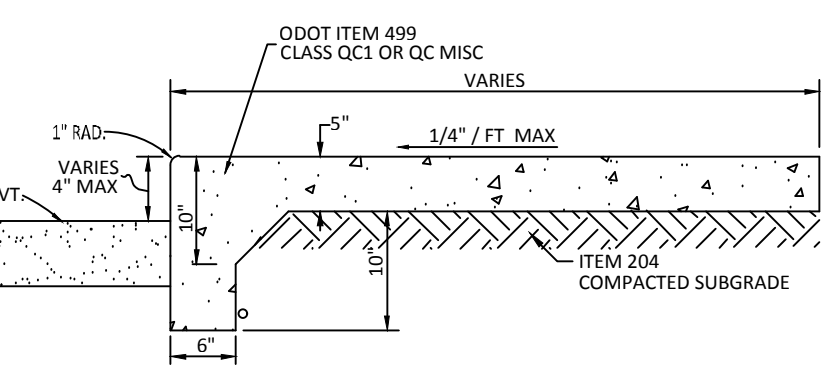




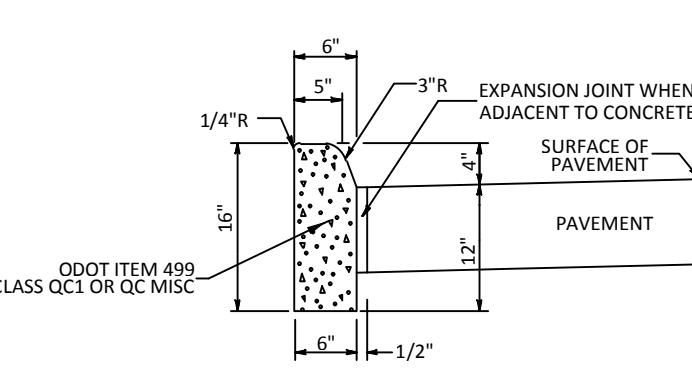
HANDICAP PARKING SIGN  
N.T.S.



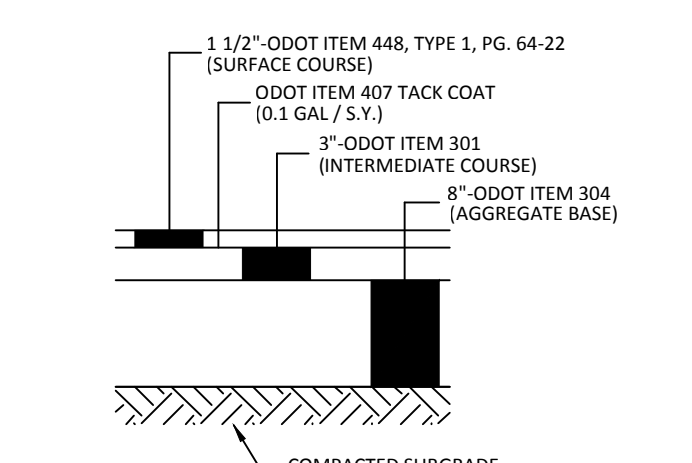
INTERNATIONAL HANDICAP SYMBOL  
N.T.S.



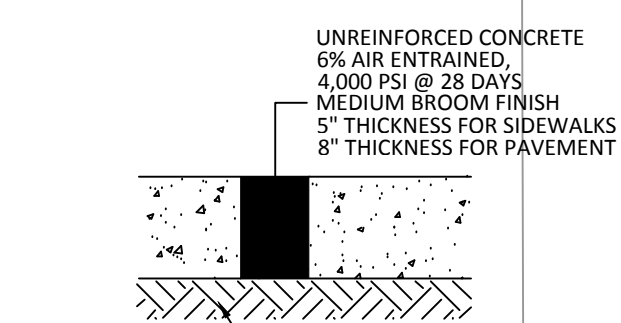
INTEGRAL CURB & WALK  
N.T.S.



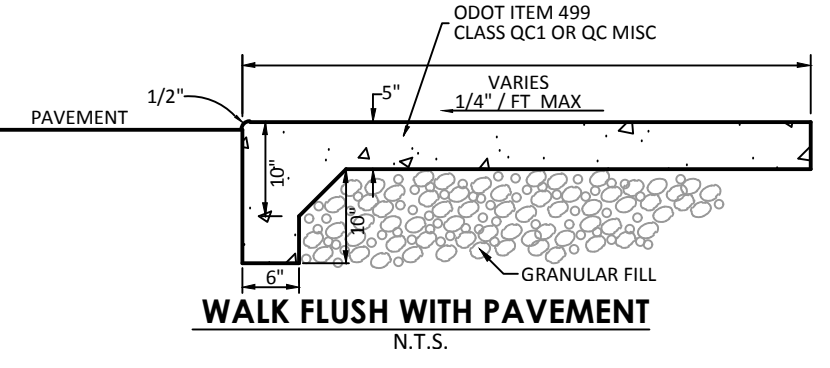
ODOT TYPE 4C CURB  
N.T.S.



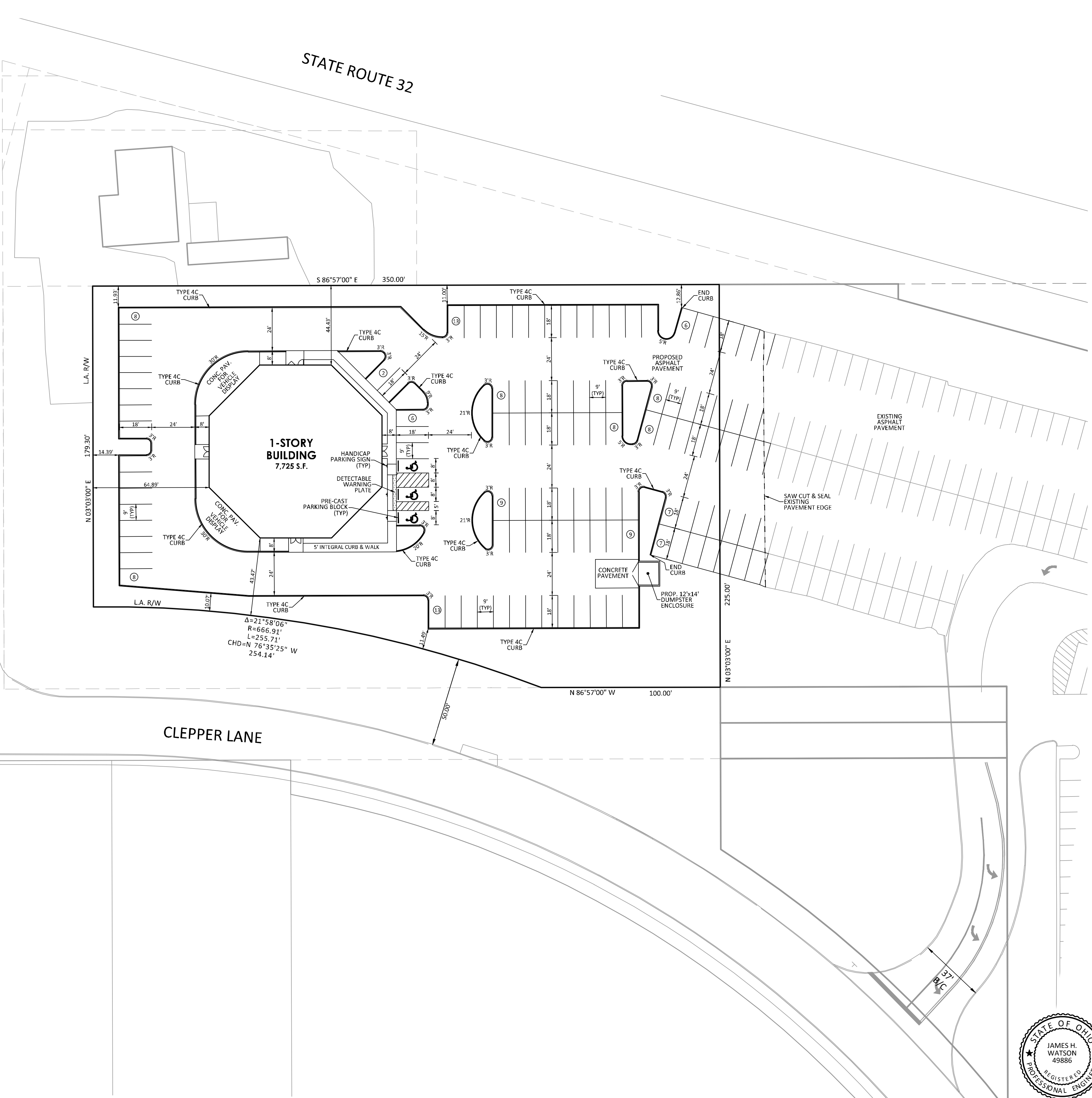
MEDIUM DUTY ASPHALT PAVEMENT  
N.T.S.



CONCRETE PAVEMENT DETAIL  
N.T.S.

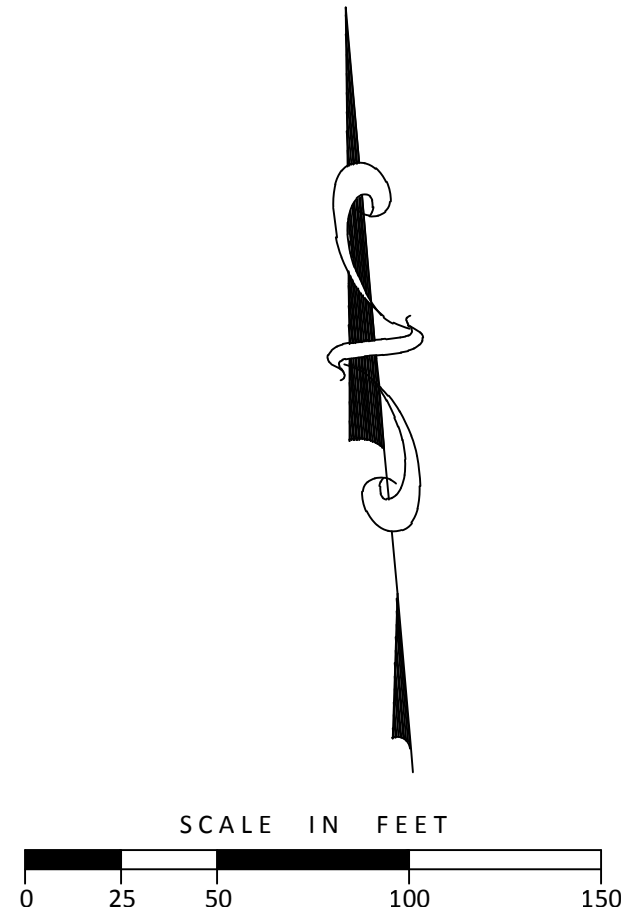


WALK FLUSH WITH PAVEMENT  
N.T.S.



LANDSCAPING & BUILDING COVERAGE RATIOS

LANDSCAPED PARKING ISLAND (LPI) AREA	2,647 SF
TOTAL PARKING AREA PAVEMENT	45,125 SF
PERCENTAGE OF LPI AREA	5.8%
LANDSCAPED OPEN SPACE AREA	14,421 SF
TOTAL SITE AREA	70,963 SF
PERCENTAGE OF LANDSCAPED OPEN SPACE	20.3%
BUILDING AREA	7,725 SF
TOTAL SITE AREA	70,963 SF
PERCENTAGE OF BUILDING COVERAGE	10.9%



JEFF WYLER USED CARS

UNION TOWNSHIP  
CLERMONT COUNTY, OHIO  
LAYOUT PLAN

James H. Watson

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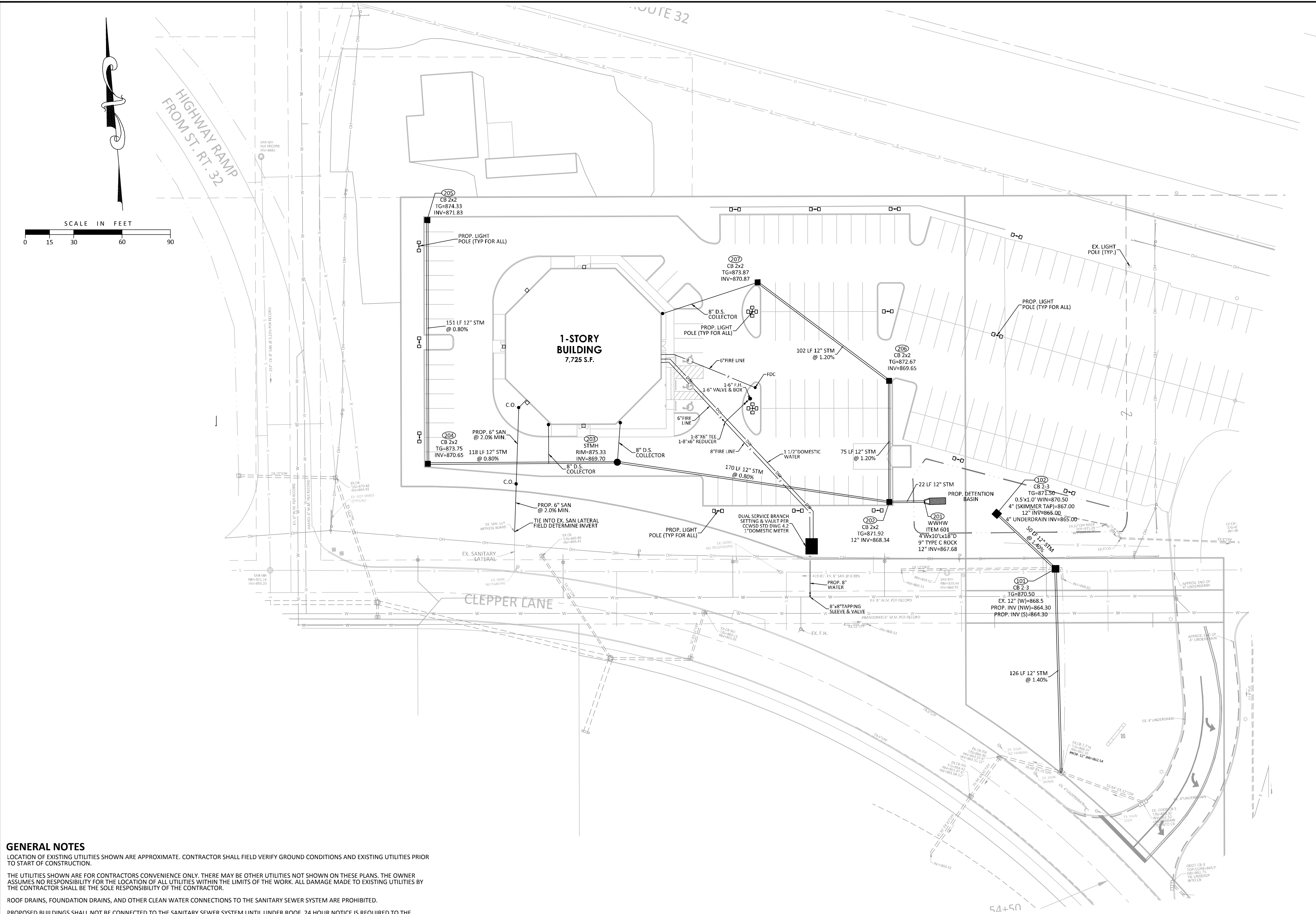
Revision	By	Date
TWP COMMENTS		03/29/24

Date	03/05/24
Scale	AS NOTED
Drawn By	DA
Proj. Mgr.	JW
Survey Database	08417.01
DWG	08417014-IMP-Used Cars
X-Ref(s)	08417013-BAS-05
Project Number	08417.01
File No.	Sheet No. C3

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**GENERAL NOTES**

LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS AND EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.

THE UTILITIES SHOWN ARE FOR CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

PROPOSED BUILDINGS SHALL NOT BE CONNECTED TO THE SANITARY SEWER SYSTEM UNTIL UNDER ROOF. 24 HOUR NOTICE IS REQUIRED TO THE CLERMONT COUNTY WATER RESOURCES DEPARTMENT FOR SANITARY SEWER LATERAL INSPECTION.

STORM WATER MANAGEMENT FACILITIES SHALL BE PRIVATELY MAINTAINED.

STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED IN THE LATEST EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWINGS.

GRANULAR BACKFILL IS REQUIRED IN ALL PIPE TRENCHES LOCATED UNDER OR WITHIN 5 FEET OF PAVEMENT OR SIDEWALKS OUTSIDE OF THE PUBLIC RIGHT-OF-WAY. BACKFILL SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY AND TESTED BY APPROVED AGENT, UNLESS NOTED OTHERWISE.

STORM SEWER PIPE BEDDING SHALL BE CLASS "B" PER ODOT 603.06. BACKFILLING SHALL CONFORM WITH ODOT 603.10 AND 603.11 OR ODOT 613.

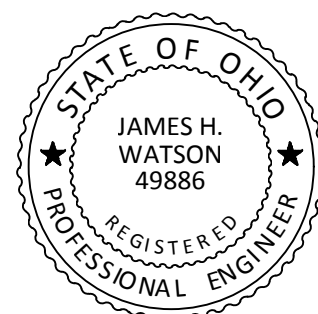
STORM SEWER PIPE SHALL BE TYPE "C" CONDUIT CONFORMING WITH ODOT 706.02, REINFORCED CONCRETE CLASS IV, ODOT 707.33, CORRUGATED POLYETHYLENE SMOOTH LINED PIPE OR ODOT 707.42, PVC CONFORMING WITH ASTM F949.

DOWNSPOUT COLLECTOR PIPING SHALL MEET THE REQUIREMENTS OF ODOT 707.33, 707.42 (ASTM F949) OR 707.43 (ASTM F794). PIPE SHALL BE INSTALLED WITH WATERTIGHT CONNECTIONS. A SUITABLE CLEANOUT SHALL BE INSTALLED AT THE UPSTREAM END OF THE COLLECTOR PIPE. CLEANOUT STRUCTURES SHALL BE OF UNIFORM DESIGN WITH READILY ACCESSIBLE CAPS LEVEL WITH THE GROUND. CONNECT DOWNSPOUTS TO COLLECTOR PIPING WITH APPROPRIATE CONNECTION HUBS.

ALL CATCH BASINS & MANHOLES IN THE PAVEMENT AREAS SHALL BE CONSTRUCTED WITH TRAFFIC-DUTY FRAMES AND GRATES.

ALL CONSTRUCTION AND PERMANENT STRUCTURES WHICH ARE CONSIDERED PART OF THE STORMWATER MANAGEMENT AND SEDIMENT CONTROL SYSTEM SHALL ADHERE TO THE LATEST ISSUE OF THE "CLERMONT COUNTY WATER MANAGEMENT AND SEDIMENT CONTROL REGULATIONS" AND SHALL BE SUBJECT TO FIELD INSPECTION BY THE CLERMONT COUNTY ENGINEERING DEPARTMENT TO VERIFY COMPLIANCE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY CLERMONT COUNTY DEPENDENT ON SITE CONDITIONS.

NO PART OF SUBJECT PROPERTY IS LOCATED WITHIN A DESIGNATED FLOOD ZONE.



Revision			By	Date

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## JEFF WYLER USED CARS

UNION TOWNSHIP  
CLERMONT COUNTY, OHIO  
UTILITY PLAN

Date	03/05/24
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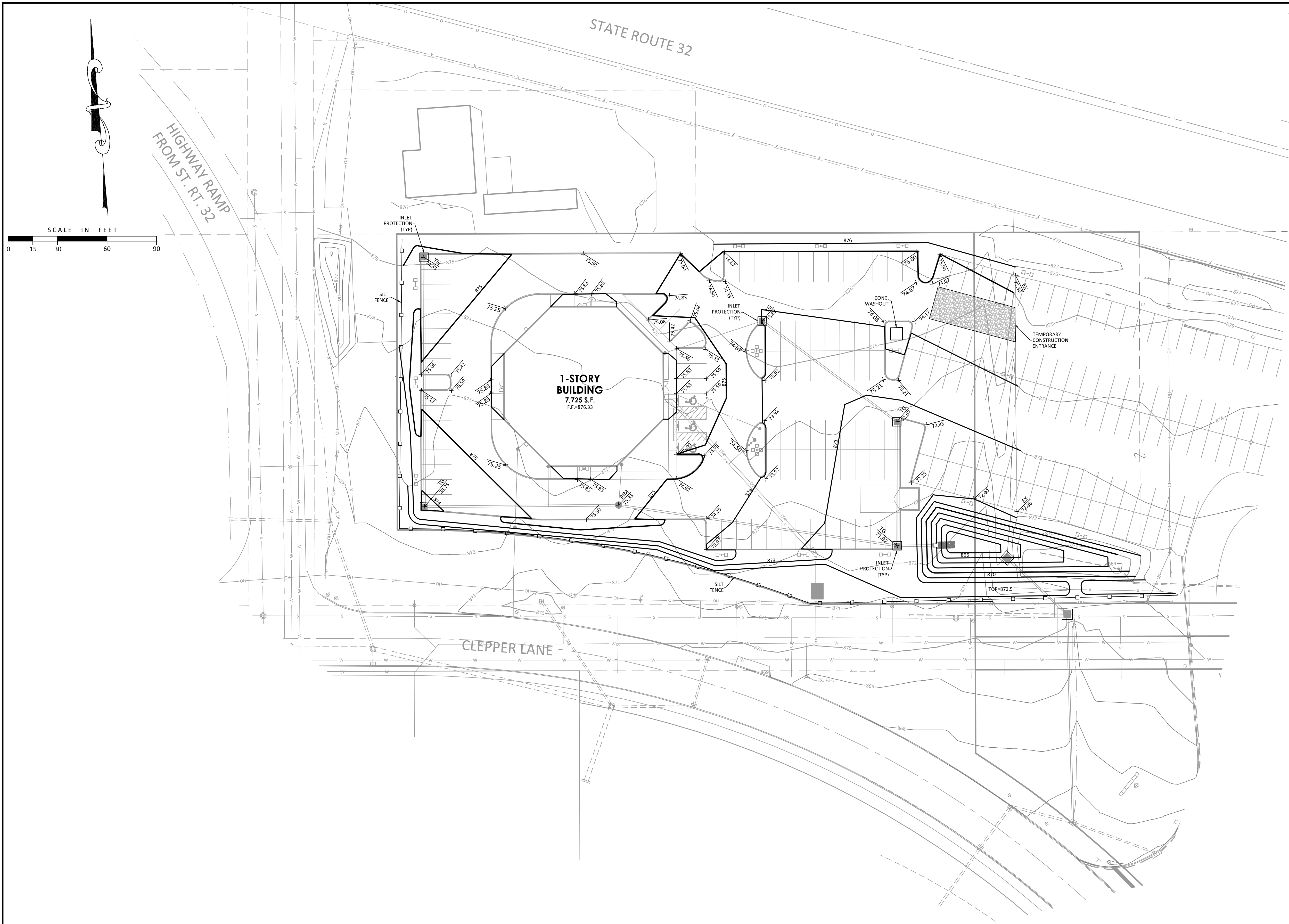
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#### GENERAL NOTES

1. PROJECT INVOLVES THE CONSTRUCTION OF A NEW AUTOMOBILE DEALERSHIP.
  2. AREA TO BE DISTURBED IS APPROXIMATELY 2.0 ACRES.
  3. PRE-CONSTRUCTION RUNOFF COEFFICIENT IS 0.35.  
POST-CONSTRUCTION RUNOFF COEFFICIENT IS 0.75.
  4. THE PREDOMINATE SOIL TYPE IS AN URBAN COMPLEX.
  5. SHAYLER RUN IS THE FIRST NAMED STREAM RECEIVING RUNOFF FROM THIS SITE.
  6. NPDES STORM WATER GENERAL PERMIT NUMBER: 1G009647\*AG
  7. PROJECT DURATION: THRU 2024
  8. SITE OPERATOR:  
JEFF WYLER AUTOMOTIVE  
401 MILFORD PARKWAY, SUITE A  
MILFORD, OH 45150
  9. SWPPP CONTACT:  
CER SERVICES, INC.  
5533 FAIR LANE  
CINCINNATI, OHIO 45227  
CONTACT: MARK BROUGHTON  
(513) 731-7300
  10. CONTRACTOR TO ACQUIRE A WATER MANAGEMENT AND SEDIMENT CONTROL PERMIT FROM THE CLERMONT COUNTY BUILDING DEPARTMENT BEFORE BEGINNING SITE WORK.
  11. IT SHALL BE THE CONTRACTOR'S OBLIGATION TO INSTALL, MAINTAIN, AND/OR REMOVE AS REQUIRED, ALL BARRIERS, INLET FILTERS, SEDIMENT BASINS, AND OTHER EROSION CONTROL DEVICES AS SHOWN ON THE PLANS OR AS NECESSARY TO PREVENT STORM WATER POLLUTION. ALSO INCLUDED IS THE PERFORMANCE AND MAINTENANCE OF A LOG OF INSPECTIONS AS REQUIRED BY THE N.P.D.E.S. PERMIT. THE INSPECTIONS AND LOG MAINTENANCE SHALL START WITH THE COMMENCEMENT OF THE JOB AND SHALL CONTINUE UNTIL 30 DAYS AFTER INSTALLATION OF THE BASE COURSES OF PAVING. THE LOG SHALL THEN BE TURNED OVER TO THE DEVELOPER OR HIS REPRESENTATIVE.
  12. UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
  13. PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE.
  14. SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY, AND SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS REESTABLISHED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.
  15. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF DEMOLITION AND ARE TO FINAL GRADE AND TO REMAIN SO, SHALL BE SEEDED AND IN ACCORDANCE WITH THE PERMANENT SEEDING OR TEMPORARY SEEDING PRACTICES DETAILED IN THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL, AND IN ACCORDANCE WITH THE CONDITIONS OF THE NPDES STORM WATER GENERAL PERMIT.
- TEMPORARY STABILIZATION MUST BE APPLIED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON AREAS TO REMAIN IDLE FOR 14 DAYS OR LONGER.

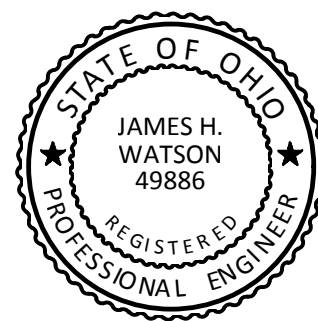
#### CONSTRUCTION SEQUENCE

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES
2. DEMO EXISTING BUILDINGS AND PAVEMENT
3. GRADING OF BUILDING AND PARKING AREA
4. PAVE PARKING AREA
5. BUILDING CONSTRUCTION.
6. REMOVAL OF EROSION AND SEDIMENT CONTROLS MEASURES.

- \* DUE TO THE DYNAMICS AND STAGING OF EARTH MOVEMENT, CONTRACTOR MAY NEED TO ALTER THE EROSION CONTROL MEASURES AS SHOWN HEREON. CONTRACTOR TO APPLY (B.M.P.) BEST MANAGEMENT PRACTICES IN ORDER TO CONTROL THE RUNOFF OF SILT AND SEDIMENT.
- \* ADDITIONAL SILT FENCE MAY BE REQUIRED AS SITE CONDITIONS DETERMINE.
- \* IF A TEMPORARY STOCKPILE IS CREATED, SILT FENCE SHALL BE PLACED AT THE TOE OF SLOPE

#### EROSION AND SEDIMENT CONTROL MAINTENANCE NOTES

1. EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AS FOLLOWS:
  - A. EROSION AND SEDIMENT CONTROLS NEED TO BE ESTABLISHED AS APPROPRIATE AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN.
  - B. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED EROSION CONTROL BARRIERS, END RUNS, AND THE UNDERCUTTING OF BARRIERS BY RUNOFF.
  - C. SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION HAS REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
  - D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT CONTROL BARRIER IS NOT LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE APPROPRIATE GRADE ELEVATION, PREPARED AND SEEDED.
  - E. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF MUD AND DIRT BEING TRACKED ONTO THE STREETS BY INSTITUTING BEST MANAGEMENT PRACTICES.
  - F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST PER ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS ITEM 616.



## JEFF WYLER USED CARS

UNION TOWNSHIP  
CLERMONT COUNTY, OHIO  
GRADING PLAN

*James H. Watson*

Revision	By	Date

Date	03/05/24
Scale	AS NOTED
Drawn By	DA
Proj. Mgr.	JW
Survey Database	08417.01
DWG	08417014-IMP-Used Cars
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Project Number	08417.01
File No.	Sheet No. C6







DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES BELOW.

Table 1: Permanent Stabilization

Area requiring permanent stabilization	Time frame to apply erosion controls
Any areas that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any areas within 50 feet of a surface water of the State and at final grade	Within two days of reaching final grade
Any other areas at final grade	Within seven days of reaching final grade within that area

Table 2: Temporary Stabilization

Area requiring permanent stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of a surface water of the State and not a final	Within two days of the most recent disturbance if the area will remain idle for more than 14 days
For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of a surface water of the State	Within seven days of the most recent disturbance within the area <div>For residential subdivisions, disturbed areas must be stabilized at least seven days prior to transfer of permit coverage for the individual lot(s).</div>
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

STABILIZATION TYPE	J	F	M	A	M	J	J	A	S	O	N	D
PERMANENT SEEDING	●	●	●	●	●	●	●	●	●	●	●	●
DORMANT SEEDING	●	●	●	●	●	●	●	●	●	●	●	●
TEMPORARY SEEDING	●	●	●	●	●	●	●	●	●	●	●	●
SODDING	●	●	●	●	●	●	●	●	●	●	●	●
MULCHING	●	●	●	●	●	●	●	●	●	●	●	●

\* -- IRRIGATION NEEDED  
 \*\* -- IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SOD IS APPLIED

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES SHALL BE EMPLOYED. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENFORCING OFFICIAL BEFORE IMPLEMENTING ALTERNATIVE STABILIZATION TECHNIQUES PER SECTION 310(N) OF THE HAMILTON COUNTY EARTHWORK REGULATIONS.

PERMANENT STABILIZATION OF DITCHES: SPECIAL MEASURES SHALL BE UNDERTAKEN TO STABILIZE DITCHES AND PREVENT EROSION. MEASURES MAY INCLUDE SEEDING, DORMANT SEEDING (AS DEFINED IN THE LATEST EDITION OF THE RAINWATER AND LAND DEVELOPMENT MANUAL), MULCHING, EROSION CONTROL MATTING, SODDING, RIPRAP, NATURAL DESIGN WITH BIOENGINEERING TECHNIQUES OR ROCK CHECK DAMS.

RUNOFF CONTROL PRACTICES: THE PROJECT SHALL INCORPORATE MEASURES WHICH CONTROL THE FLOW OF RUNOFF FROM DISTURBED AREAS SO AS TO PREVENT EROSION FROM OCCURRING. SUCH PRACTICES MAY INCLUDE ROCK CHECK DAMS, PIPE SLOPE DRAINS, DIVERSIONS TO DIRECT FLOW AWAY FROM EXPOSED SOILS AND PROTECTIVE GRADING PRACTICES. THESE PRACTICES SHALL DIVERT RUNOFF AWAY FROM DISTURBED AREAS AND STEEP SLOPES WHERE PRACTICABLE.

OTHER CONTROLS

WASTE DISPOSAL  
 ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL, CITY AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULLED OFF-SITE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. ALL CONSTRUCTION AND DEMOLITION DEBRIS (&DD) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY ORC 3714.

NON-SEDIMENT POLLUTANT CONTROLS  
 NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE PERMITTEE MUST IMPLEMENT ALL NECESSARY BMPs TO PREVENT THE DISCHARGE OF NON-SEDIMENT POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS OF THE STATE. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATERS OF THE STATE. NO EXPOSURE OF STORM WATER TO WASTE MATERIALS IS RECOMMENDED.

HAZARDOUS WASTE  
 ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE  
 ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

OFF-SITE VEHICLE TRACKING  
 OFF-SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

DEWATERING ACTIVITIES  
 THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

CONTAMINATED SEDIMENT  
 WHERE CONSTRUCTION ACTIVITIES ARE TO OCCUR ON SITES WITH CONTAMINATION FROM PREVIOUS ACTIVITIES, OPERATORS MUST BE AWARE THAT CONCENTRATIONS OF MATERIALS THAT MEET OTHER CRITERIA (IS NOT CONSIDERED A HAZARDOUS WASTE, MEETING VAP STANDARDS, ETC.) MAY STILL RESULT IN STORM WATER DISCHARGES IN EXCESS OF OHIO WATER QUALITY STANDARDS. SUCH DISCHARGES ARE NOT AUTHORIZED BY THIS PERMIT. APPROPRIATE BMPs INCLUDE, BUT ARE NOT LIMITED TO:

- THE USE OF BERMS, TRENCHES, AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES;
- PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SEWER OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY; AND
- COVERING AREAS OF CONTAMINATION WITH TARPS OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL. OPERATORS SHOULD CONSULT WITH OHIO EPA DIVISION OF SURFACE WATER PRIOR TO SEEKING PERMIT COVERAGE.

PROCESS WASTEWATER  
 ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES  
 THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING  
 THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS:  
 THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS - ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FUEL STORAGE TANKS SHALL BE LOCATED AWAY FROM SURFACE WATERS AND STORM SEWER SYSTEM INLETS. FUEL TANKS SHALL BE STORED IN A DIKED AREA CAPABLE OF HOLDING 150% OF THE TANK CAPACITY.

FERTILIZERS - FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS - ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS - CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. SPILLS OF 25 OR MORE GALLONS OF PETROLEUM WASTE MUST BE REPORTED TO OHIO EPA (1-800-282-9278), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE SPILL.
- SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED/DISPOSED AT AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY (TSDF).
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

DUST CONTROL

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

- VEGETATIVE COVER AND/MULCH - APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS, SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING - SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- SPRAY-ON ADHESIVES - APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS.

ADHESIVE	WATER DILUTION (ADHESIVE: WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
RESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

- STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS - EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- CALCIUM CHLORIDE - THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS' SPECIFIED RATES.

MAINTENANCE

ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED.

INSPECTIONS

THE PERMITTEE SHALL ASSIGN "QUALIFIED INSPECTION PERSONNEL" TO CONDUCT INSPECTIONS TO ENSURE THAT THE CONTROL PRACTICES ARE FUNCTIONAL AND TO EVALUATE WHETHER THE SWP3 IS ADEQUATE AND PROPERLY IMPLEMENTED OR WHETHER ADDITIONAL CONTROL MEASURES ARE REQUIRED.

AT A MINIMUM, ALL CONTROLS ON THE SITE ARE INSPECTED AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24-HOUR PERIOD BY THE END OF THE NEXT CALENDAR DAY, EXCLUDING WEEKENDS AND HOLIDAYS UNLESS WORK IS SCHEDULED; AND ONCE EVERY SEVEN CALENDAR DAYS.

THE INSPECTION FREQUENCY MAY BE REDUCED TO AT LEAST ONCE EVERY MONTH FOR DORMANT SITES IF THE ENTIRE SITE IS TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WEATHER CONDITIONS FOR EXTENDED PERIODS OF TIME (E.G., SITE IS COVERED WITH SNOW, ICE, OR THE GROUND IS FROZEN).

THE BEGINNING AND ENDING DATES OF ANY REDUCED INSPECTION FREQUENCY SHALL BE DOCUMENTED IN THE SWP3.

ONCE A DEFINABLE AREA HAS ACHIEVED FINAL STABILIZATION, THE AREA MAY BE MARKED ON THE SWP3 AND NO FURTHER INSPECTION REQUIREMENTS SHALL APPLY TO THAT PORTION OF THE SITE. FOLLOWING EACH INSPECTION, A CHECKLIST MUST BE COMPLETED AND SIGNED BY THE QUALIFIED INSPECTION PERSONNEL REPRESENTATIVE. AN INSPECTION FORM IS PROVIDED AS PART OF THIS SWP3.

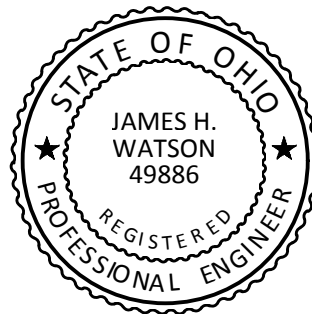
IF INSPECTION REVEALS A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT SETTLING POND, IT SHALL BE REPAIRED OR MAINTAINED WITHIN 3 DAYS OF THE INSPECTION. SEDIMENT SETTLING PONDS SHALL BE REPAIRED OR MAINTAINED WITHIN 10 DAYS OF THE INSPECTION.

IF INSPECTION REVEALS A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THE SWP3 SHALL BE AMENDED AND THE NEW CONTROL PRACTICE SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.

IF INSPECTION REVEALS A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SCHEDULE CONTAINED IN PART II.G.1.H OF THE NPDES PERMIT, THE CONTROL PRACTICE SHALL BE IMPLEMENTED WITHIN 10 DAYS FROM THE DATE OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD SHALL CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.

THE PERMITTEE SHALL MAINTAIN FOR THREE YEARS FOLLOWING THE SUBMITTAL OF A NOTICE OF TERMINATION FORM, A RECORD SUMMARIZING THE RESULTS OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWP3 AND A CERTIFICATION AS TO WHETHER THE FACILITY IS IN COMPLIANCE WITH THE SWP3 AND THE PERMIT AND IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE. THE RECORD AND CERTIFICATION SHALL BE SIGNED IN ACCORDANCE WITH PART V.G. OF THE NPDES PERMIT.

IMPORTANT INSPECTION AND MAINTENANCE PROCEDURE: WHEN STORAGE VOLUME HAS BEEN SIGNIFICANTLY REDUCED, CLEAN OUT SEDIMENT AND FLOATABLE DEBRIS.		
INSPECTION ACTIVITIES SHALL BE PERFORMED AS FOLLOWS. ANY DEFICIENCIES THAT ARE FOUND SHALL BE REPAIRED IMMEDIATELY.		
BMP ELEMENT	POTENTIAL DEFICIENCIES	DEFICIENCY REMEDIATION
ENTIRE SYSTEM	TRASH/DEBRIS IS PRESENT	REMOVE THE TRASH/DEBRIS
SWQ TREATMENT UNIT	SEDIMENT AND/OR OIL ARE ACCUMULATING IN THE DEVICE	REMOVE SEDIMENT AND OIL AND PROPERLY DISPOSE OF IT OFF-SITE.
	STRUCTURAL DAMAGE HAS OCCURRED IN THE DEVICE	REPAIR OR REPLACE THE DEVICE OR ITS COMPONENTS AS NECESSARY
INLET DEVICE	PIPE IS CLOGGED	UNCLOG THE PIPE, PROPERLY DISPOSE OF SEDIMENT OFF-SITE
	PIPE IS CRACKED OR OTHERWISE DAMAGED	REPLACE THE PIPE
BASIN	SEDIMENT HAS ACCUMULATED TO A DEPTH GREATER THAN THE ORIGINAL DESIGN DEPTH FOR THE SEDIMENT STORAGE	REMOVE SEDIMENT AND PROPERLY DISPOSE OF IT OFF-SITE.
	EXCESSIVE VEGETATION HAS ACCUMULATED TO A VOLUME GREATER THAN THE ORIGINAL DESIGN VOLUME FOR SEDIMENT STORAGE	REMOVE VEGETATION AND PROPERLY DISPOSE OF IT OFF-SITE.
	THE BASIN HAS LOW AREAS COLLECTING STAGNANT WATER	REMOVE EXCESSIVE SEDIMENT AND BLOCKAGES TO FLOW, REGRADE THE BASIN AS NEEDED
	STRUCTURAL DAMAGE HAS OCCURRED TO CONCRETE CHANNELS OR OTHER COMPONENTS	REPAIR OR REPLACE THE VAULT, PIPING, AND/OR OTHER COMPONENTS AS NECESSARY
	OIL IS ACCUMULATING	PUMP THE ACCUMULATED OIL OUT OF THE VAULT OR PIPING AND DISPOSE OF IT PROPERLY
	BLOCKED, DAMAGED, OR PLUGGED OUTLET AND EMERGENCY OVERFLOW	CLEAR VENTS OF ALL BLOCKAGES AND MAKE STRUCTURAL REPAIRS AS NECESSARY
OUTLET DEVICE AND EMERGENCY OVERFLOW	CLOGGING HAS OCCURRED	CLEAN OUT THE OUTLET DEVICE PROPERLY DISPOSE OF SEDIMENT OFF-SITE
	OUTLET DEVICE IS DAMAGED	REPAIR OR REPLACE THE OUTLET DEVICE
	EROSION OTHER SIGNS OF DAMAGE HAVE OCCURRED AT THE OUTLET	STABILIZE SOIL WITHIN YOUR PROPERTY



James H. Watson



Revision	By	Date

JEFF WYLER USED CARS  
 UNION TOWNSHIP  
 CLERMONT COUNTY, OHIO  
 S.W.P.P.P. NOTES & DETAILS

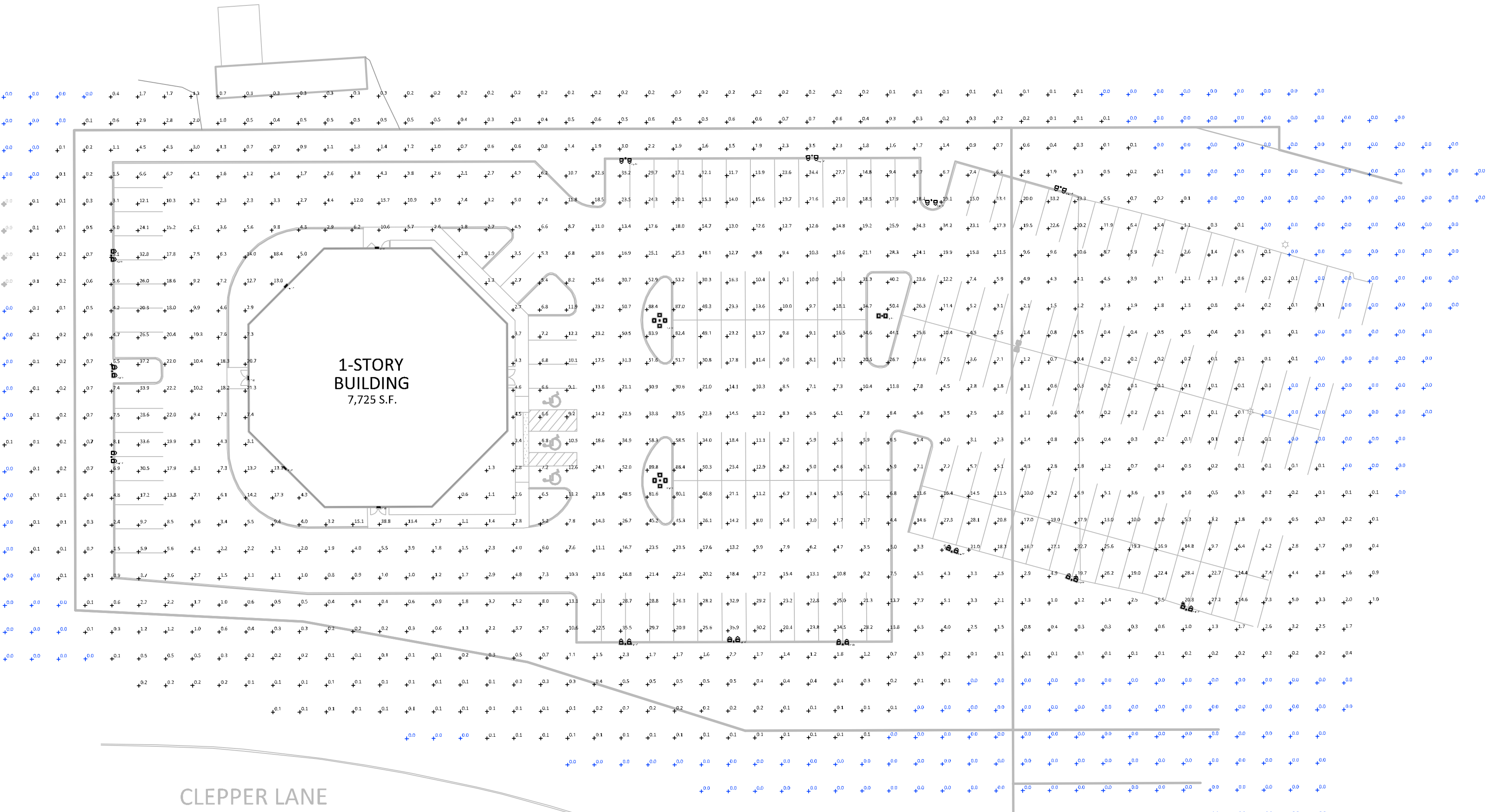
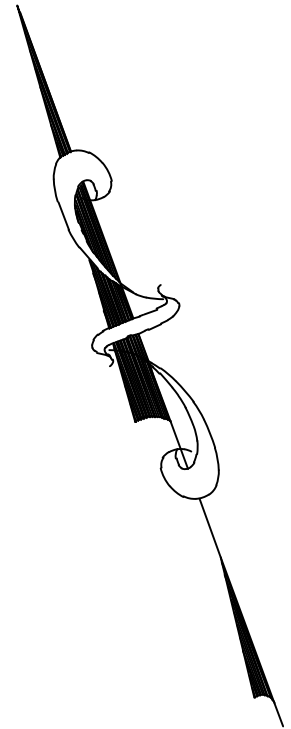
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Project Number	08417.01
File No.	Sheet No. C8



■ Architecture 3700 Park 42 Drive  
 ■ Engineering Suite 1908  
 ■ Landscape Architecture Cincinnati OH 45241  
 ■ Planning Phone 513.759.0004  
 ■ Surveying www.mspsdesign.com

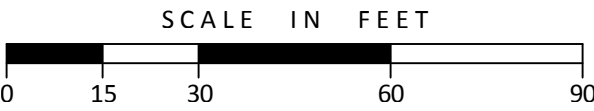


NOTE: MOUNTED ON 20 FOOT POLES ON TOP OF A  
30" CONCRETE BASE.  
POLE PART NUMBER RNS-20-40-11-AB-D28-BZ



Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	B		13	Leotek Electronics USA LLC	AR18-96N-MV-NW-4-XX-220-BLS		1	14824	1	340	 Max: 12461cd
			1	Leotek Electronics USA LLC	AR18-96N-MV-NW-4-XX-400	Brown formed aluminum housing, clear plastic optics, no lens enclosure	1	40867	1	601.21	 Max: 18031cd
	D		2	Leotek Electronics USA LLC	AR18-96N-MV-NW-4-XX-400	Brown formed aluminum housing, clear plastic optics, no lens enclosure	1	40867	1	1202.42	 Max: 18031cd
			5	Leotek Electronics USA, LLC	ES2-130H-MV-CW-FT-DB-450	outdoor wall lighting product	1	19150	1	181.68	 Max: 11120cd
	E										

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min	
Calc Zone #1	+	6.6 fc	89.8 fc	0.0 fc	N/A	N/A



## JEFF WYLER USED CARS

UNION TOWNSHIP  
CLERMONT COUNTY, OHIO  
LIGHTING PLAN

**OHIO811.org**  
Before You Dig  
811 OR 1-800-362-2764  
CALL TWO WORKING DAYS BEFORE YOU DIG  
(NON MEMBERS MUST BE CALLED DIRECTLY)

Revision	By	Date

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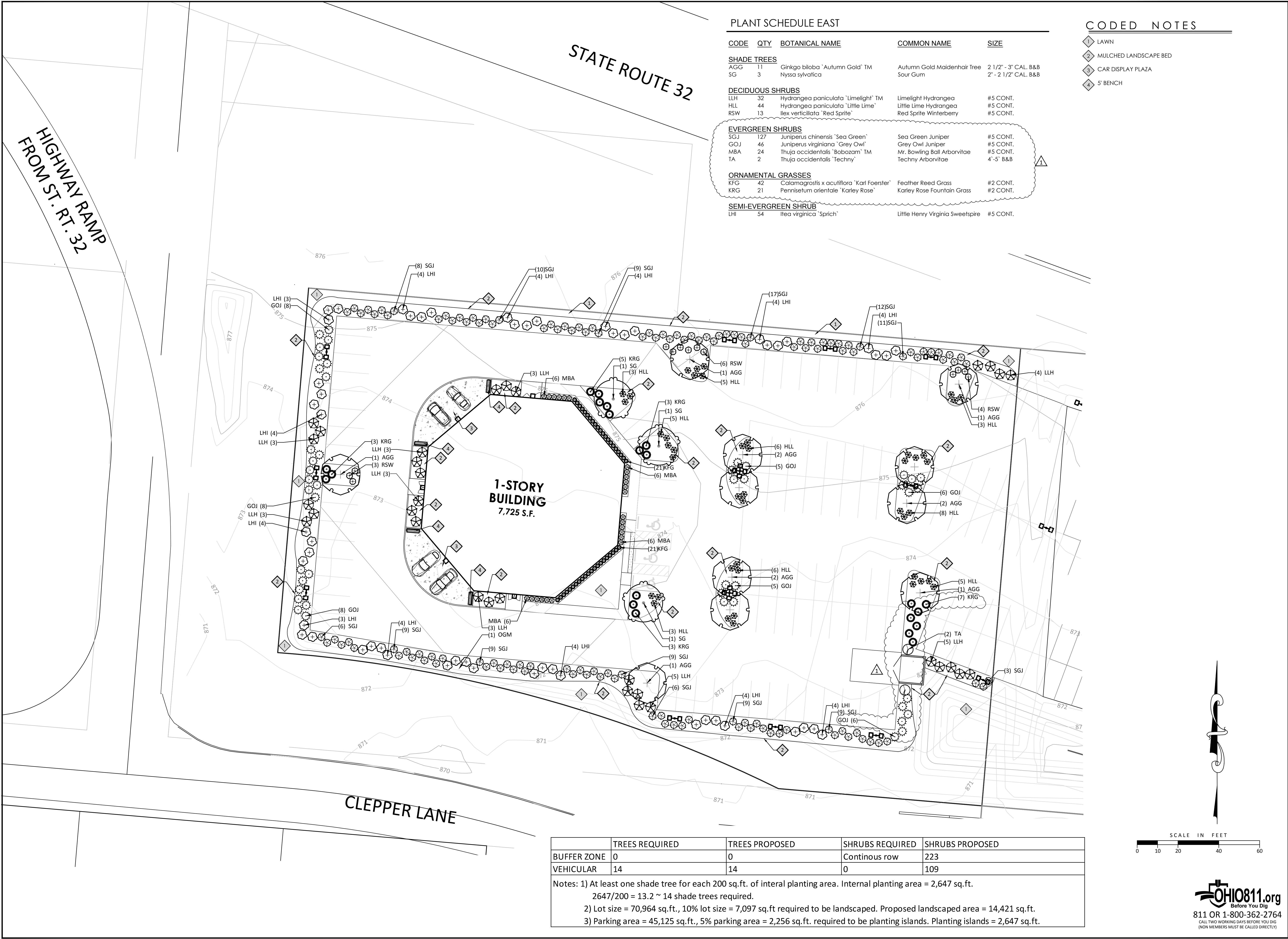
**MSP**  
DESIGN  
McGill Smith Punshon

- Architecture
- Engineering
- Landscape Architecture
- Planning
- Surveying

3700 Park 42 Drive  
Suite 1908  
Cincinnati OH 45241  
Phone 513.759.0004  
www.mspdesign.com



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**MSP**  
DESIGN  
McGill Smith Punshon

■ Architecture 3700 Park 42 Drive  
■ Engineering Suite 190B  
■ Landscape Architecture Cincinnati OH 45241  
■ Planning Phone 513.759.0004  
■ Surveying www.mspsdesign.com

Project Manager BMG  
Drawn By LC  
DWG 08417006-24-03-29 REV PLA-00  
X-Ref(s) ---

Issue/Revision	No.	Date
TWP COMMENTS	1	03/29/24

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JEFF WYLER USED CARS  
UNION TOWNSHIP  
CLERMONT COUNTY, OHIO

Sheet Title

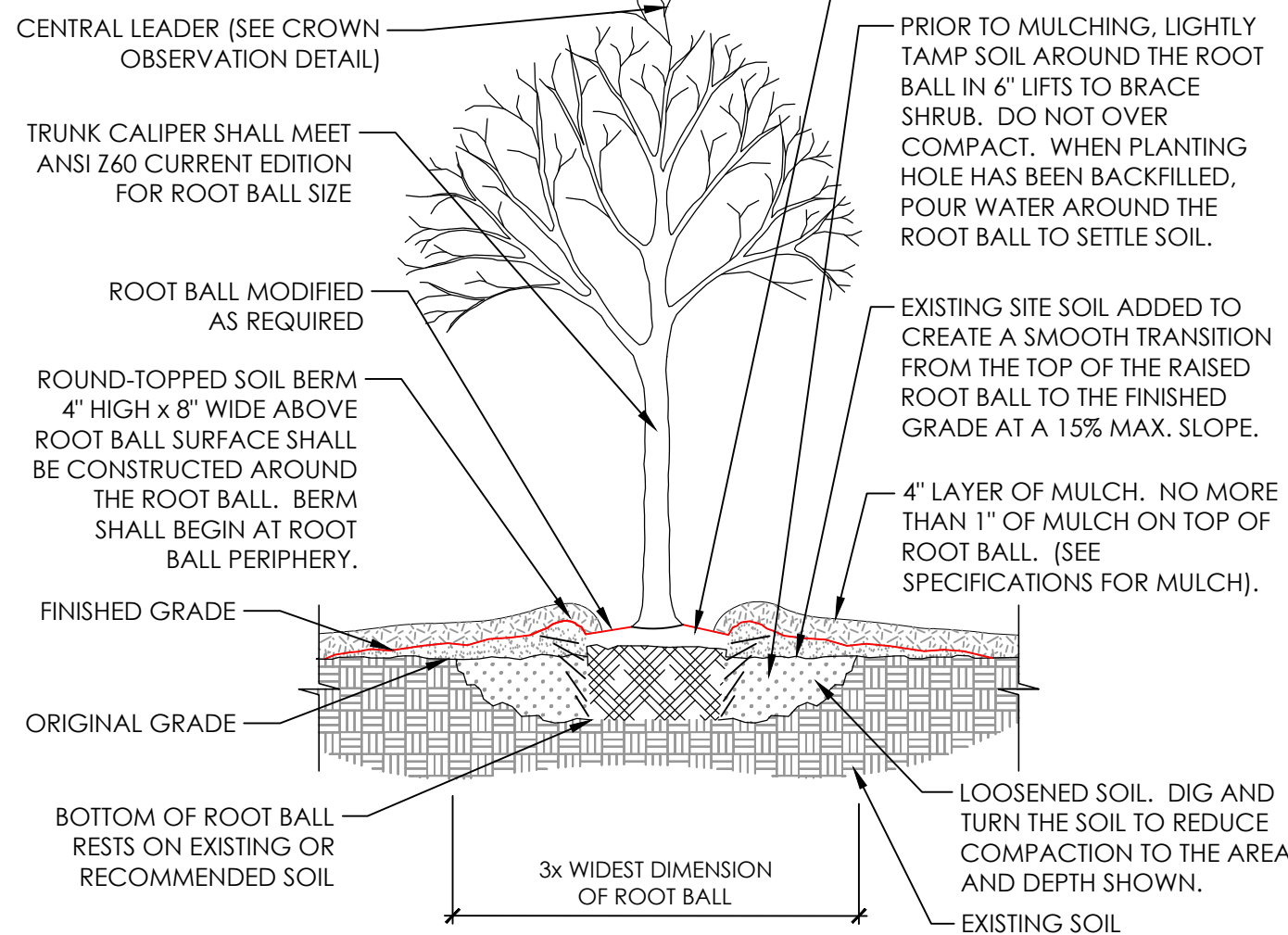
PLANTING PLAN	
Project Number	08417.01
Drawing Scale	1" = 20'
Sheet Number	L101
File Number	08417



N:\land projects\08000\08417\dwg\08417006-PLA-00.dwg, L102, 3/8/2024 3:04:32 PM, bryangrone

#### NOTES

- TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



#### 1 TREE PLANTING

329303-05

SECTION

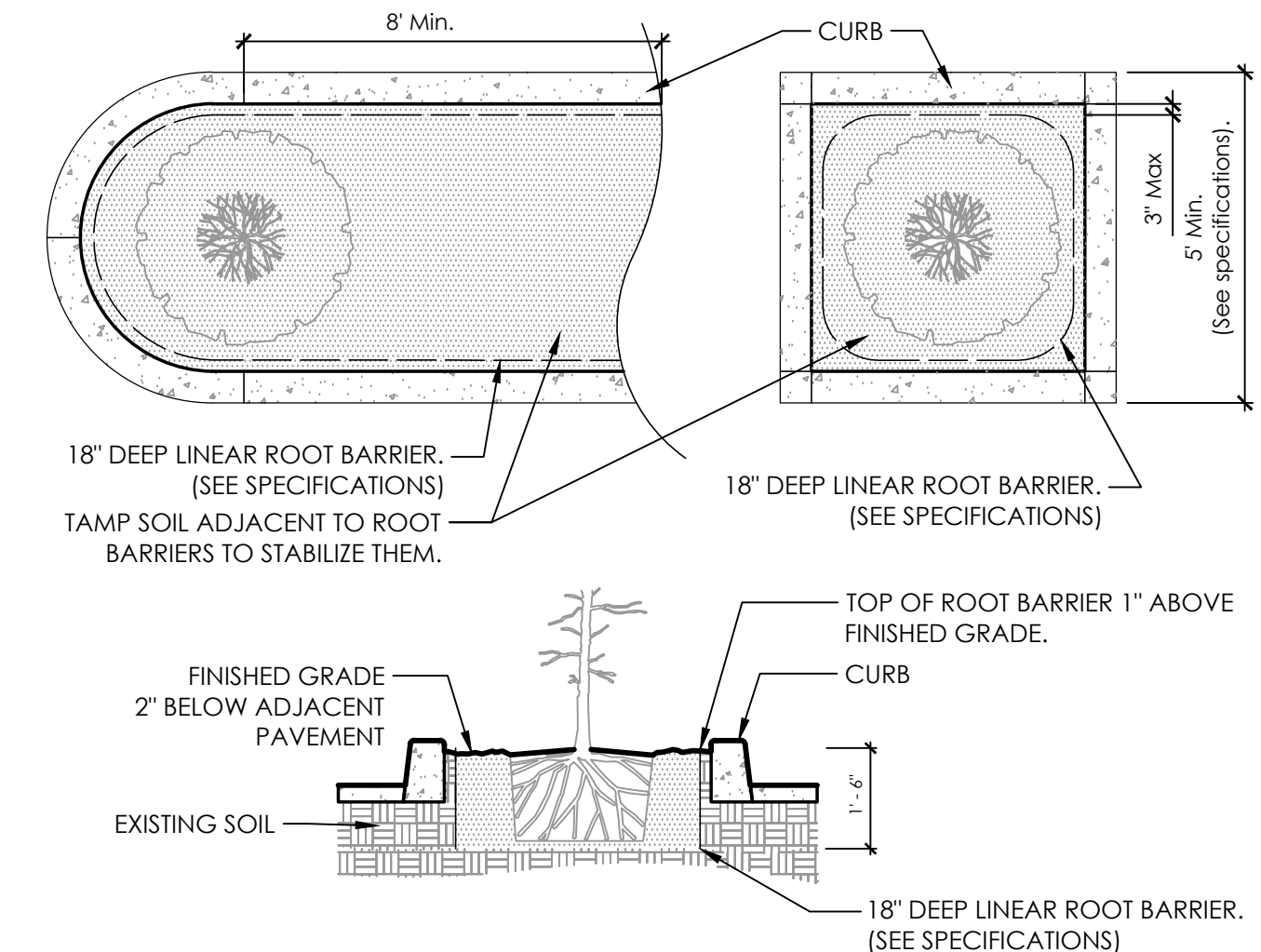
#### NOTES

- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

#### 2 SHRUB PLANTING IN MODIFIED SOIL

329302-03

SECTION



#### GENERAL NOTES

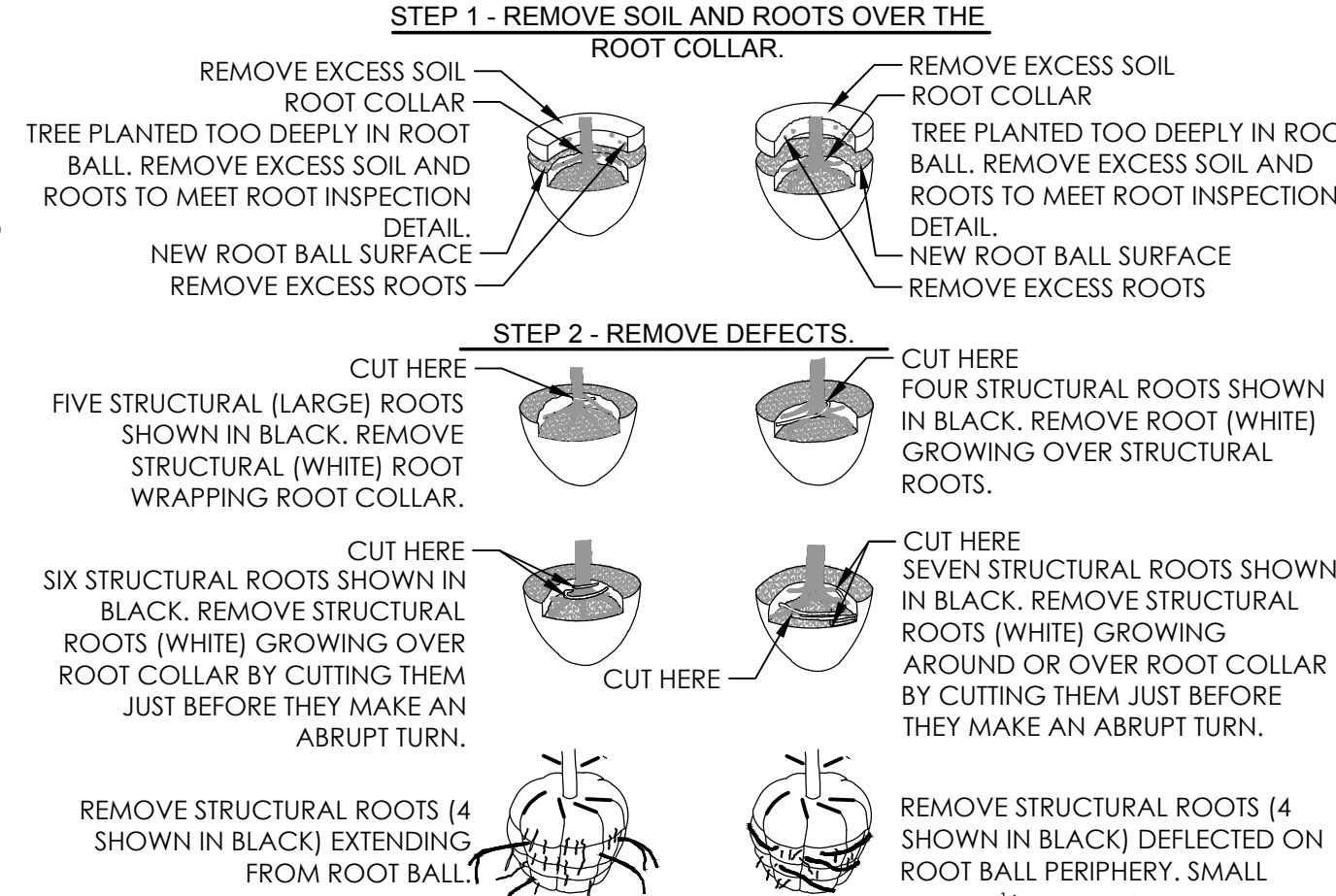
- ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ROOT BARRIERS SHALL BE INSTALLED WHEN ROOT BALL IS LOCATED WITHIN 8' OF PAVEMENT.

#### 3 ISLAND TREE PLANTING

DETAIL-FILE

SECTION-PLAN

3/8\"/>



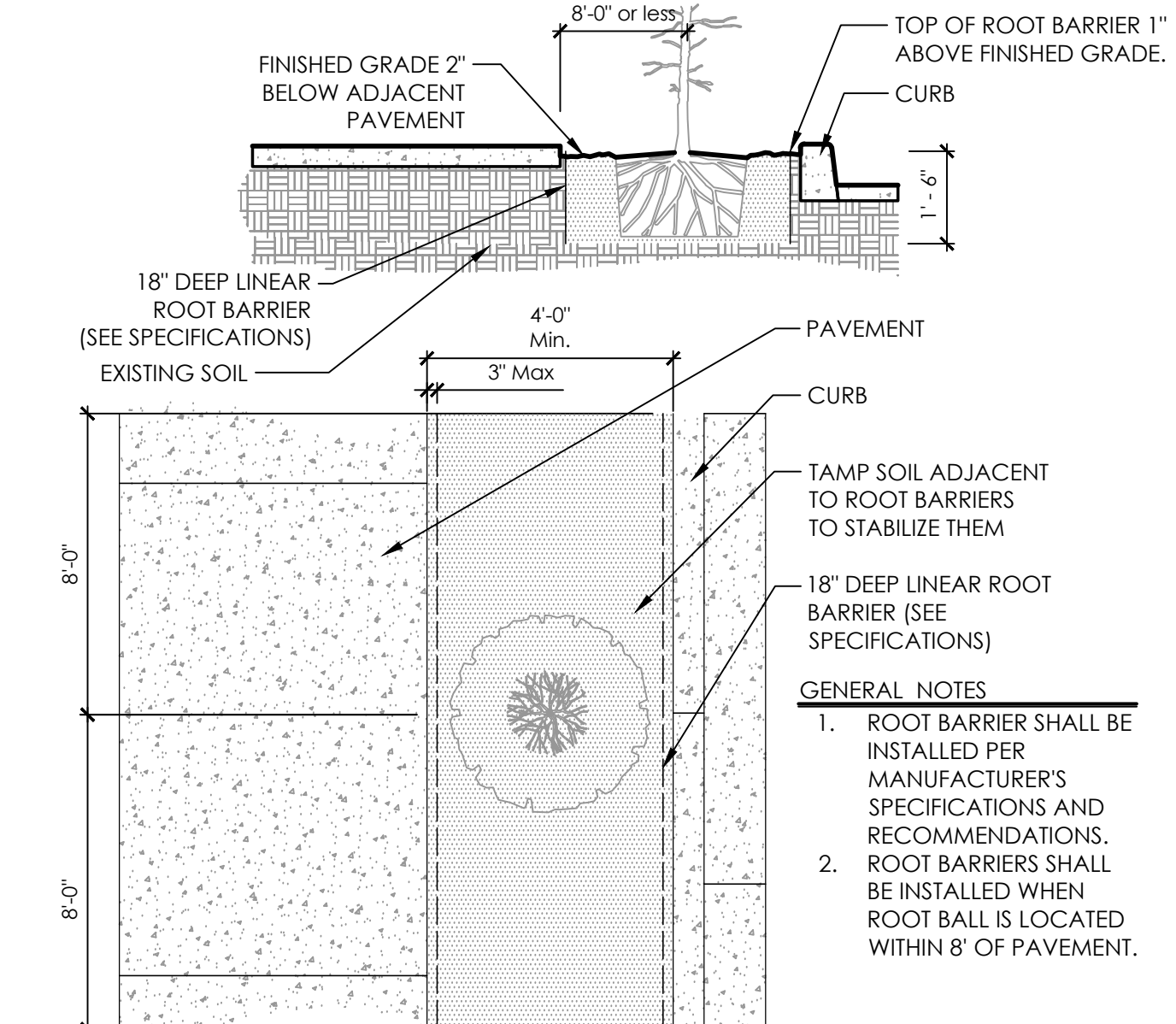
#### NOTES:

- ALL TREES SHOWN ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.
- FIRST STEP 1, THEN STEP 2. ADJUST HOLE DEPTH TO ALLOW FOR THE REMOVAL OF EXCESS SOIL AND ROOTS OVER THE ROOT COLLAR.
- ROOTS AND SOIL MAY BE REMOVED DURING THE CORRECTION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER THE CORRECTION HAS BEEN COMPLETED.
- TREES SHALL PASS ROOT OBSERVATIONS DETAIL FOLLOWING CORRECTION.

#### 4 ROOT CORRECTION - BALL AND BURLAPPED

329304-05

SECTION-ELEVATION



#### 5 ROOT BARRIER INSTALLATION

DETAIL-FILE

SECTION-PLAN

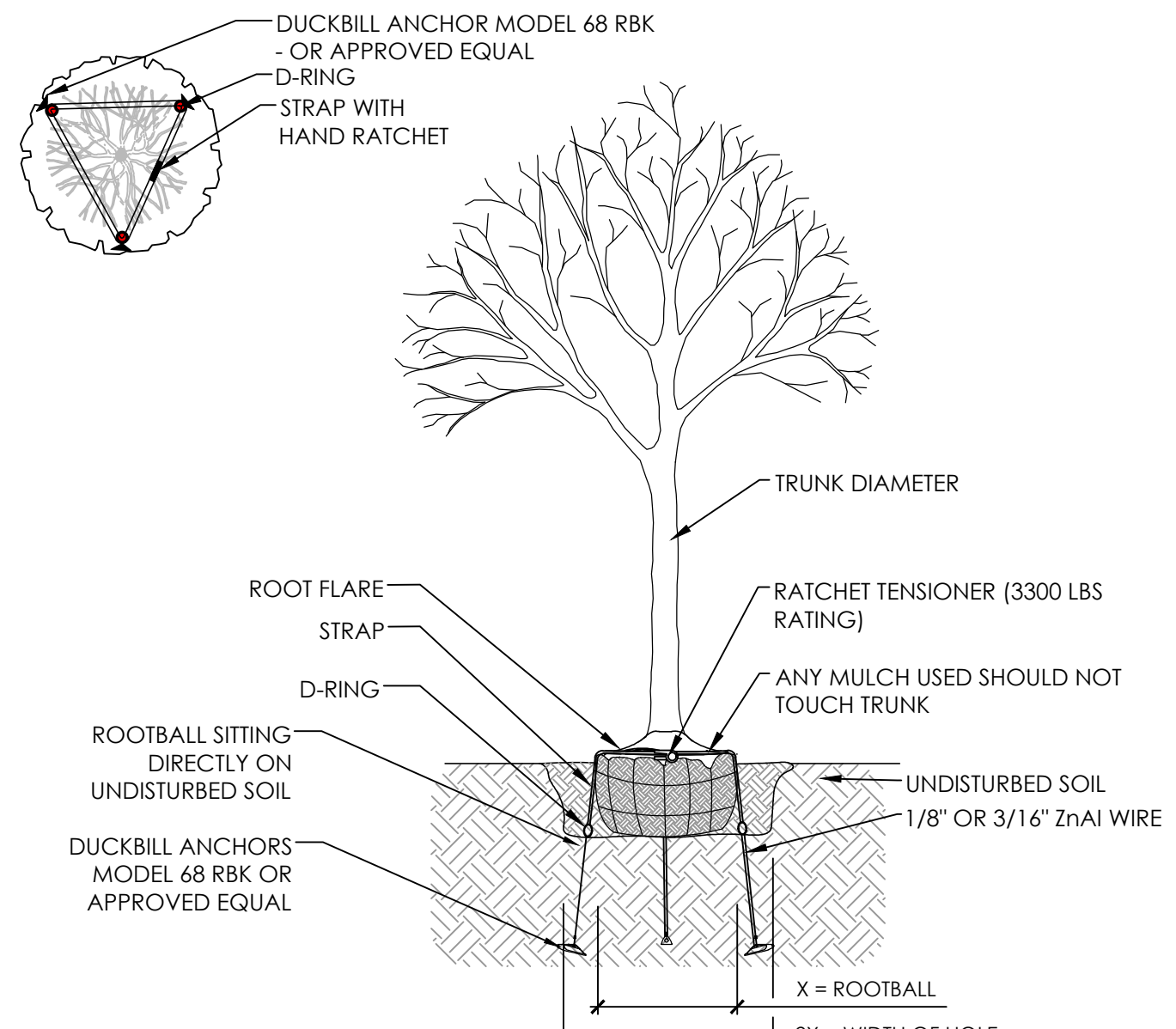
3/8\"/>

#### 6 TREE STAKING

329303-10

SECTION-PLAN

NOT TO SCALE



#### GENERAL NOTES - PLANTING

- LANDSCAPE CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UTILITIES WITH THE OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES, WHETHER INDICATED ON PLANS OR NOT. LANDSCAPE CONTRACTOR MUST CALL THE UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DAMAGE OF UTILITY LINES, WHICH IS CAUSED BY THEIR ACTIONS OR THE ACTIONS OF THEIR CONSULTANTS.
- LANDSCAPE CONTRACTOR TO EXAMINE FINISH SURFACE, GRADE ACCURACY AND TOPSOIL FOR DEPTH AND QUALITY. REFER TO SPECIFICATIONS (IF APPLICABLE); IF CONDITIONS ARE UNSATISFACTORY, NOTIFY OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND DO NOT BEGIN WORK UNTIL CONDITIONS HAVE BEEN CORRECTED.
- AFTER INSTALLATION, REPAIR ALL DAMAGES MADE TO EXISTING CONDITIONS TO OWNER'S REPRESENTATIVE'S SATISFACTION.
- PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AND SHALL HAVE PASSED INSPECTION REQUIRED UNDER STATE REGULATIONS. CALL (202)-789-2900 TO OBTAIN A COPY OF THE AMERICAN STANDARD FOR NURSERY STOCK BOOKLET.
- NURSERY STOCK IDENTIFICATION TAGS SHALL NOT BE REMOVED FROM ANY PLANTING PRIOR TO INSPECTION AND APPROVAL OF INSTALLATION BY THE OWNER'S REPRESENTATIVE.
- A GRANULAR PRE-EMERGENT HERBICIDE SHOULD BE APPLIED TO LANDSCAPE BEDS PER MANUFACTURER RECOMMENDATIONS PRIOR TO COVERING WITH MULCH.
- ALL PLANTINGS TO BE CONTAINED WITHIN BARK MULCHED BED. ALL TREES LOCATED WITHIN LAWN AREAS TO BE CONTAINED WITH A 5' MULCH RING. BARK MULCH SHALL BE FINELY SHREDDED HARDWOOD, DARK IN COLOR.
- SEED ALL DISTURBED LAWN AREAS THAT ARE NOT LANDSCAPED.
- LANDSCAPE CONTRACTOR, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE IN LAWN AREAS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANTS LIVABILITY. REFER TO FRONT END SPECIFICATIONS IF APPLICABLE.
- ANY LANDSCAPE CONTRACTOR RECOMMENDED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. UNAPPROVED SUBSTITUTIONS SHALL BE REMOVED AND REPLACED WITH APPROPRIATE PLANTS.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER COMMENTS IS SHOWN ON THE DRAWINGS (IF REQUIRED). IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT SCHEDULE, THE PLANTING PLANS SHALL GOVERN.
- GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND SHALL MAKE CONSULTANTS AWARE OF THESE ORDINANCES.
- GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR TO COORDINATE CONSTRUCTION STAGING AND MATERIAL STOCKPILING WITH THE OWNER OR OWNER'S REPRESENTATIVE.
- DURING ALL PHASES OF CONSTRUCTION ACTIVITY, IF THE LANDSCAPE CONTRACTOR OR THEIR SUBS ENCOUNTER ANY "SOLID WASTE MATERIAL" (EXCLUDING CLEAN HARD FILL) THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE SHALL BE CONTACTED IMMEDIATELY FOR FURTHER DIRECTION.
- LANDSCAPE CONTRACTOR SHALL CLEAN STREETS OF MUD AND DEBRIS GENERATED BY THEIR CONSTRUCTION ACTIVITIES OR THEIR SUB'S CONSTRUCTION ACTIVITIES, PURSUANT WITH LOCAL CODE REQUIREMENTS.
- LANDSCAPE CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE TO PROVIDE FOR APPROPRIATE CARE OF EXISTING PLANT MATERIAL AND NEWLY LANDSCAPED AREAS DURING CONSTRUCTION.
- STREET TREE LOCATIONS TO BE COORDINATED WITH DRIVEWAY, FIRE HYDRANT, STREET LIGHT LOCATIONS AND OTHER UTILITIES AS REQUIRED.
- ALL SHRUBS TO BE 36" HEIGHT AT TIME OF INSTALLATION.
- ALL SHADE TREES TO BE 8' HEIGHT AT TIME OF INSTALLATION.

#### GENERAL NOTES - PLANT MIX

TOPSOIL: FERTILE, FRIABLE NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE BETWEEN pH 6.0 AND 6.8.

- IDENTIFY SOURCE LOCATION OF TOPSOIL PROPOSED FOR USE ON THE PROJECT.
- PROVIDE TOPSOIL FREE OF SUBSTANCES HARMFUL TO THE PLANTS, WHICH WILL BE GROWN IN THE SOIL.

PEAT MOSS: SHREDDED, LOOSE, SPHAGNUM MOSS; FREE OF LUMPS, ROOTS, INORGANIC MATERIAL OR ACIDIC MATERIALS; MINIMUM OF (95) NINETY-FIVE PERCENT ORGANIC MATERIAL MEASURED BY OVEN DRY WEIGHT; A PH RANGE OF (4 TO 5) FOUR TO FIVE; AND A MOISTURE CONTENT OF (30) THIRTY PERCENT.

MANURE: STERILIZED COW OR DEHYDRATED HORSE MANURE, SHREDDED, WEED AND SEED FREE. FURNISH IN BAGS OR BULK.

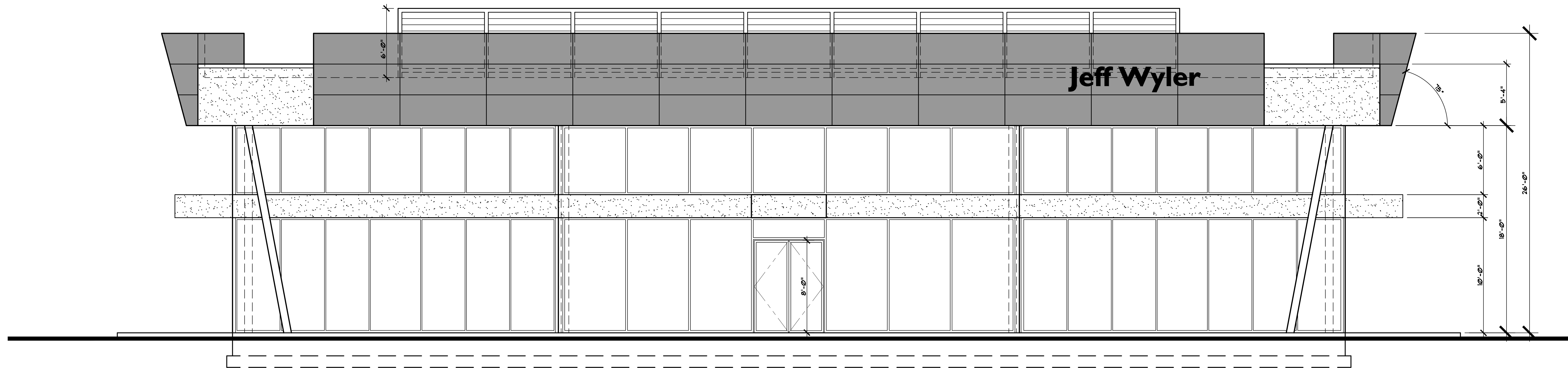
BONE MEAL: RAW, FINELY GROUND, COMMERCIAL GRADE, MINIMUM 3% NITROGEN, 20% PHOSPHOROUS.

FERTILIZER: COMMERCIALY APPROVED 12-12-12 (12% NITROGEN, 12% PHOSPHORIC ACID, AND 12% POTASH BY WEIGHT), 1/4 OF NITROGEN IN THE FORM OF NITRATES; 1/4 IN THE FORM OF AMMONIA SALT, AND 1/2 IN THE FORM OF ORGANIC NITROGEN.

PROVIDE PRE-MIXED PLANTING MIXTURE FOR USE AROUND THE ROOT BALL/ROOTS OF THE PLANTS CONSISTING OF 5 PARTS TOPSOIL, 1 PART PEAT MOSS, 10 LBS. FERTILIZER (PER CUBIC YARD) AND 2 1/3 LBS. OF BONE MEAL (PER CUBIC YARD).

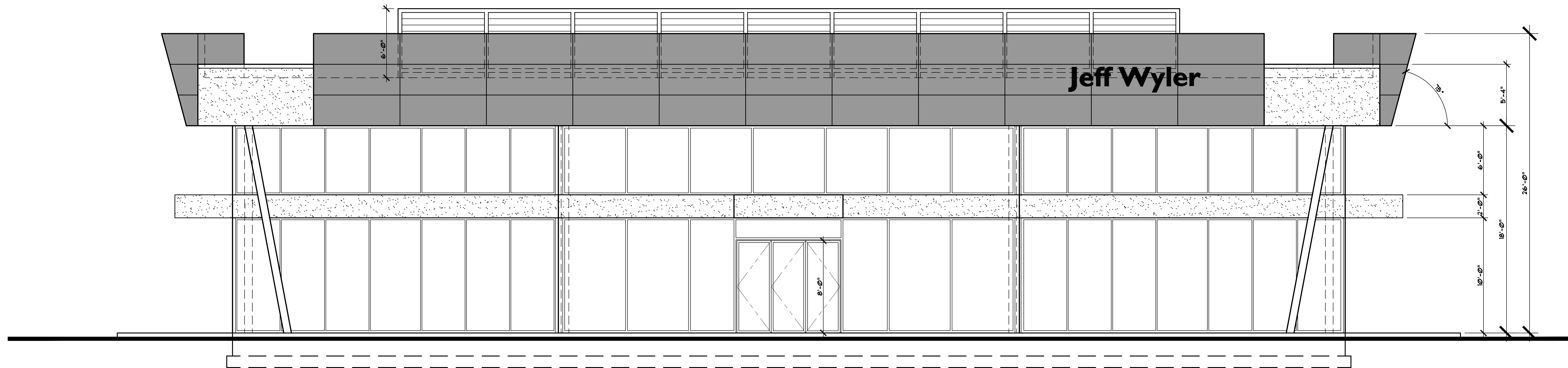
Issue/Revision	No.	Date





EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH (STATE ROUTE 32) ELEVATION

SCALE: 1/4" = 1'-0"

DATE: MARCH 7, 2024

REVISIONS:


SCALE: 1/4" = 1'-0"

DRAWN BY: AMW  
CHECKED BY: MJD

EAST AND  
NORTH  
ELEVATIONS

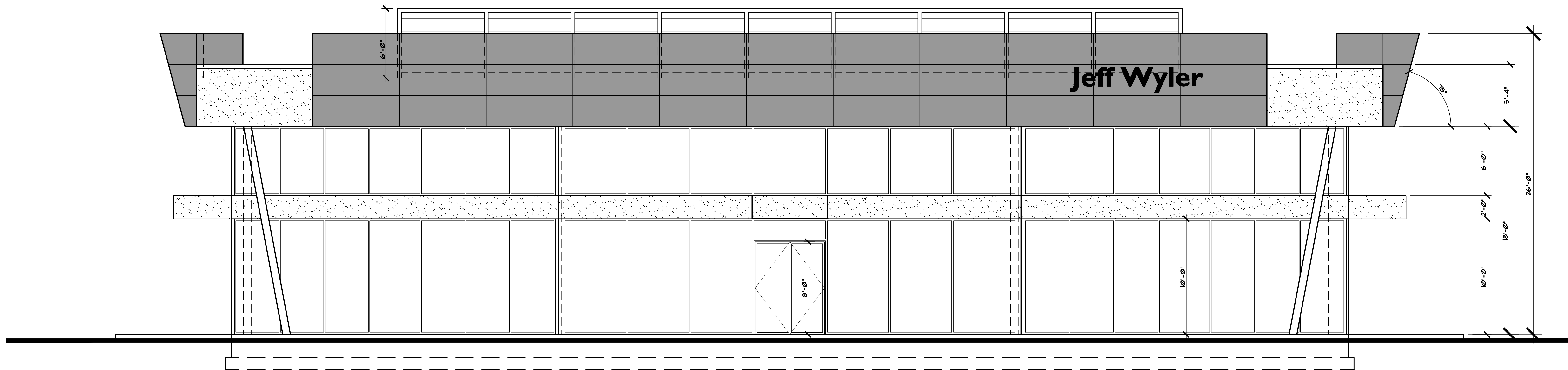
NOT FOR  
CONTRACT  
BIDDING OR  
BUILDING  
PERMITS OR  
CONSTRUCTION

A3

A NEW AUTOMOBILE  
DEALERSHIP FOR:

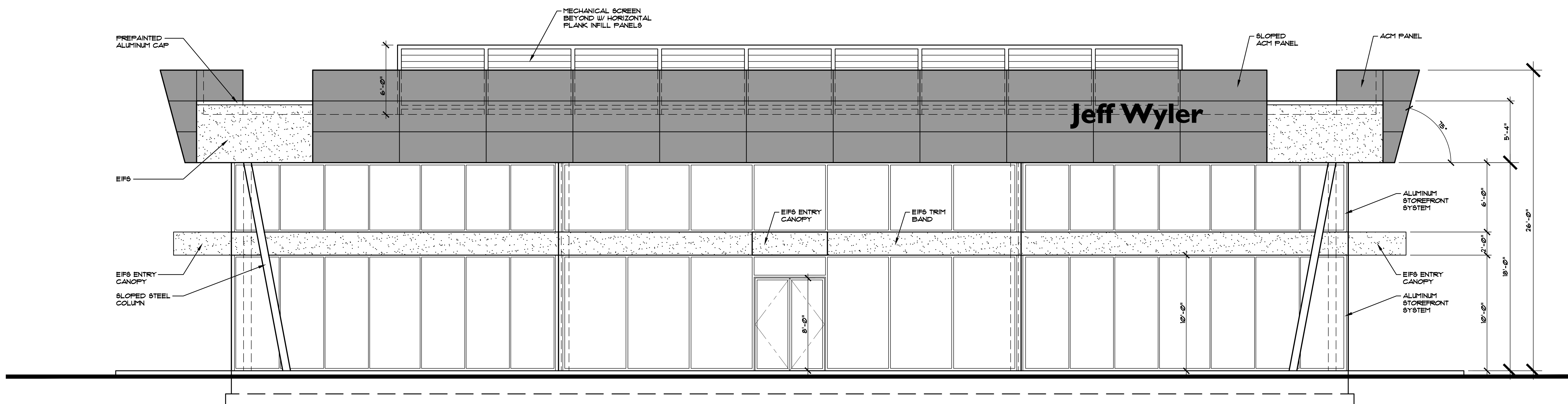
JEFF WYLER  
EASTGATE  
USED CARS

BATAVIA, OHIO 45103  
CLERMONT COUNTY



## WEST ELEVATION

SCALE: 1/4" = 1'-0"



## SOUTH (CLEPPER LANE) ELEVATION

SCALE: 1/4" = 1'-0"

DATE: MARCH 7, 2024

REVISIONS:

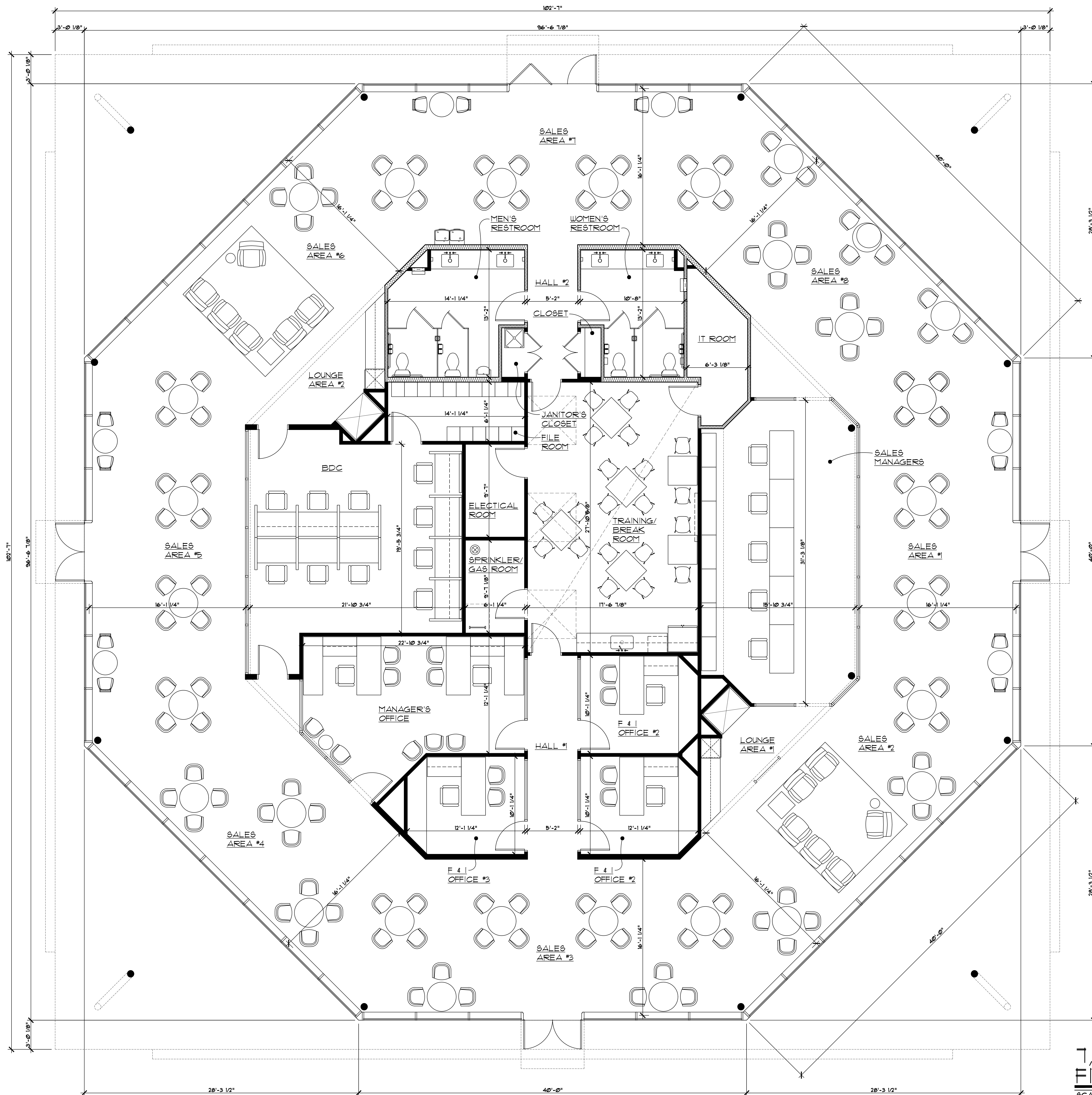

SCALE: 1/4" = 1'-0"

DRAWN BY: AMJ  
CHECKED BY: MJD

WEST AND  
SOUTH  
ELEVATIONS

NOT FOR  
CONTRACT  
BIDDING OR  
BUILDING  
PERMITS OR  
CONSTRUCTION

A2



7,725 S.F.  
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DATE: MARCH 7, 2024

REVISIONS:

SCALE: 1/4" = 1'-0"

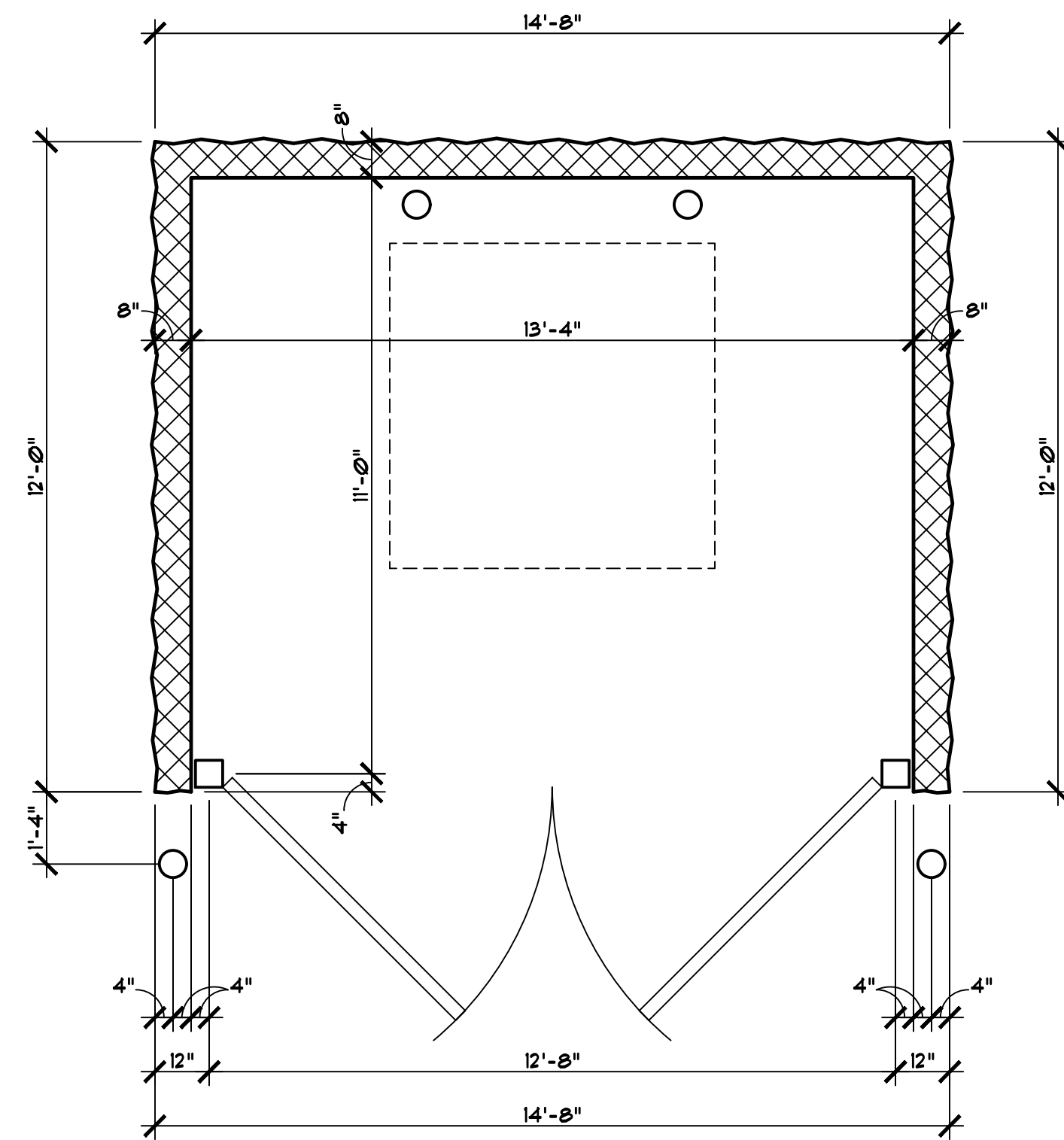
DRAWN BY: AMW  
CHECKED BY: MJD

FIRST  
FLOOR  
PLAN

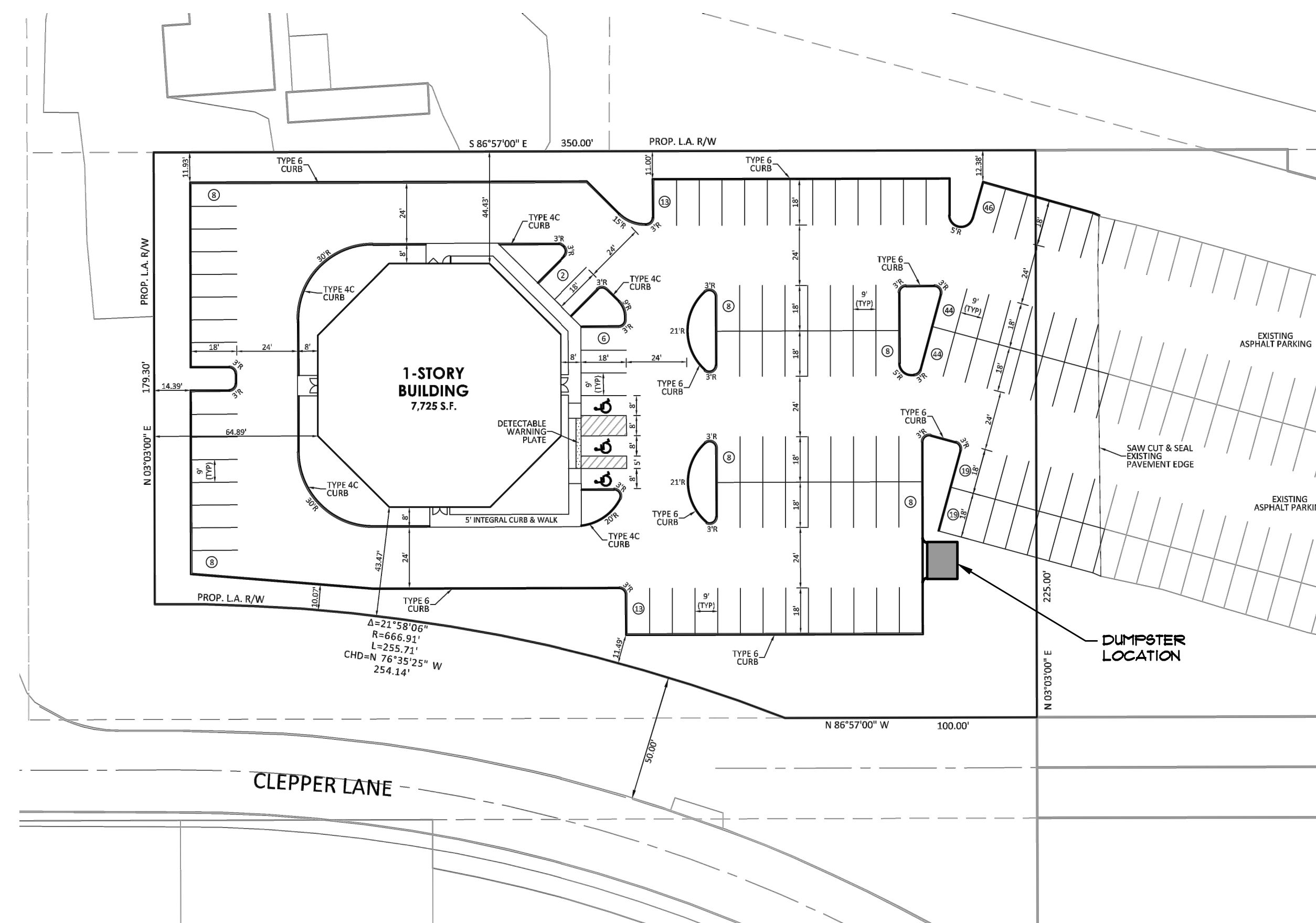
NOT FOR  
CONTRACT  
BIDDING OR  
BUILDING  
PERMITS OR  
CONSTRUCTION

A5

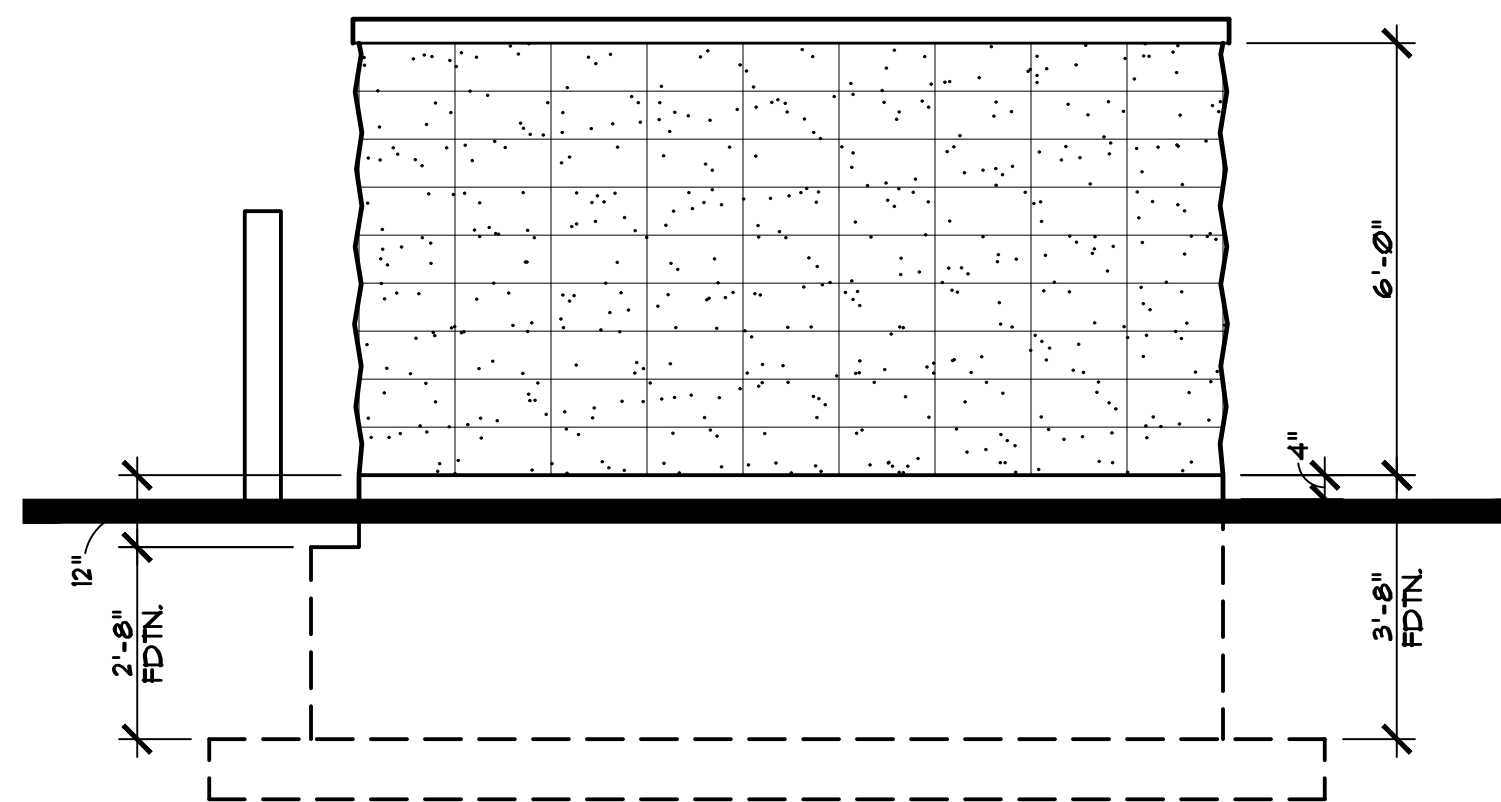




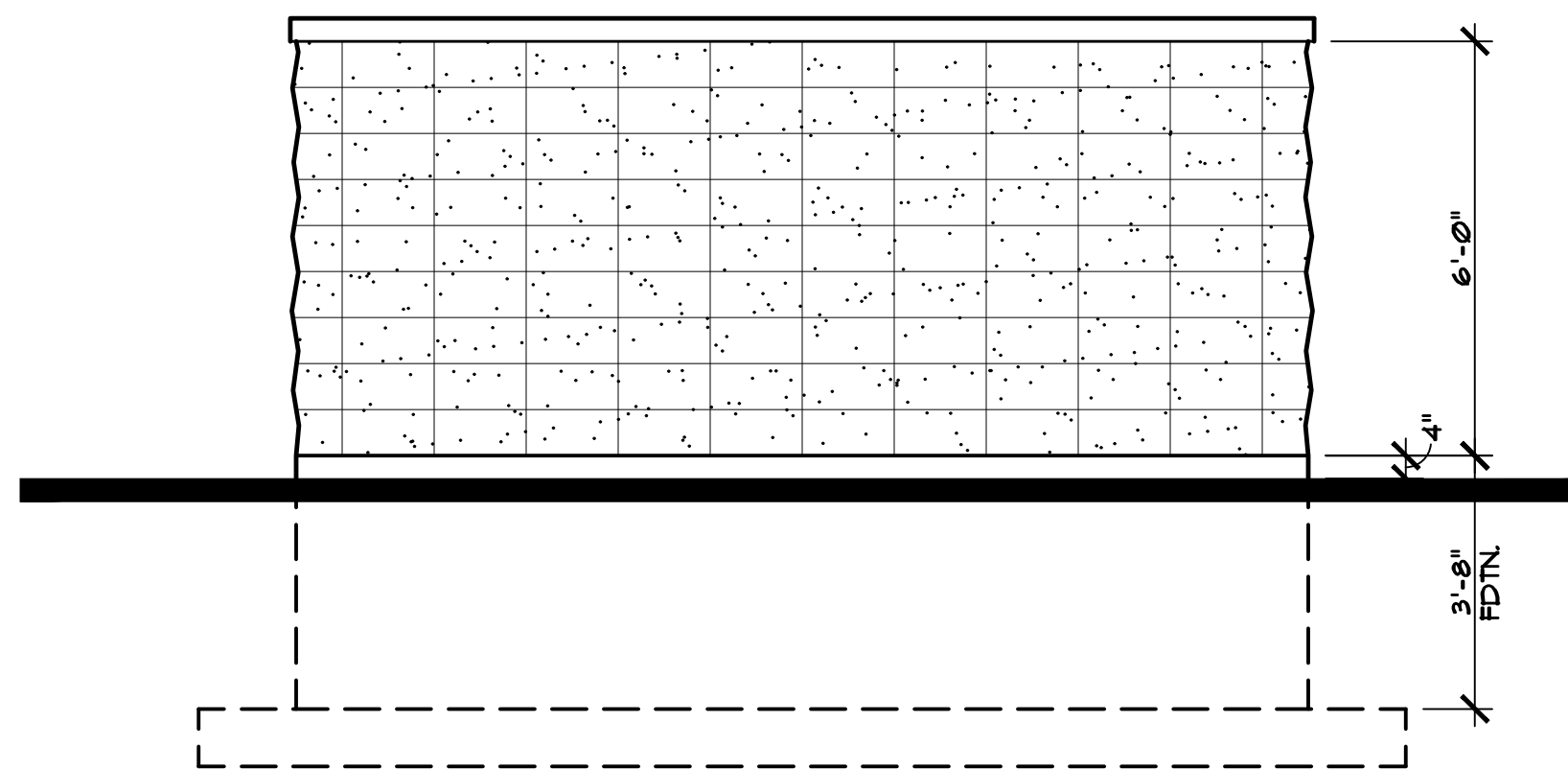
FLOOR PLAN  
@ DUMPSTER  
SCALE: 3/8" = 1'-0"



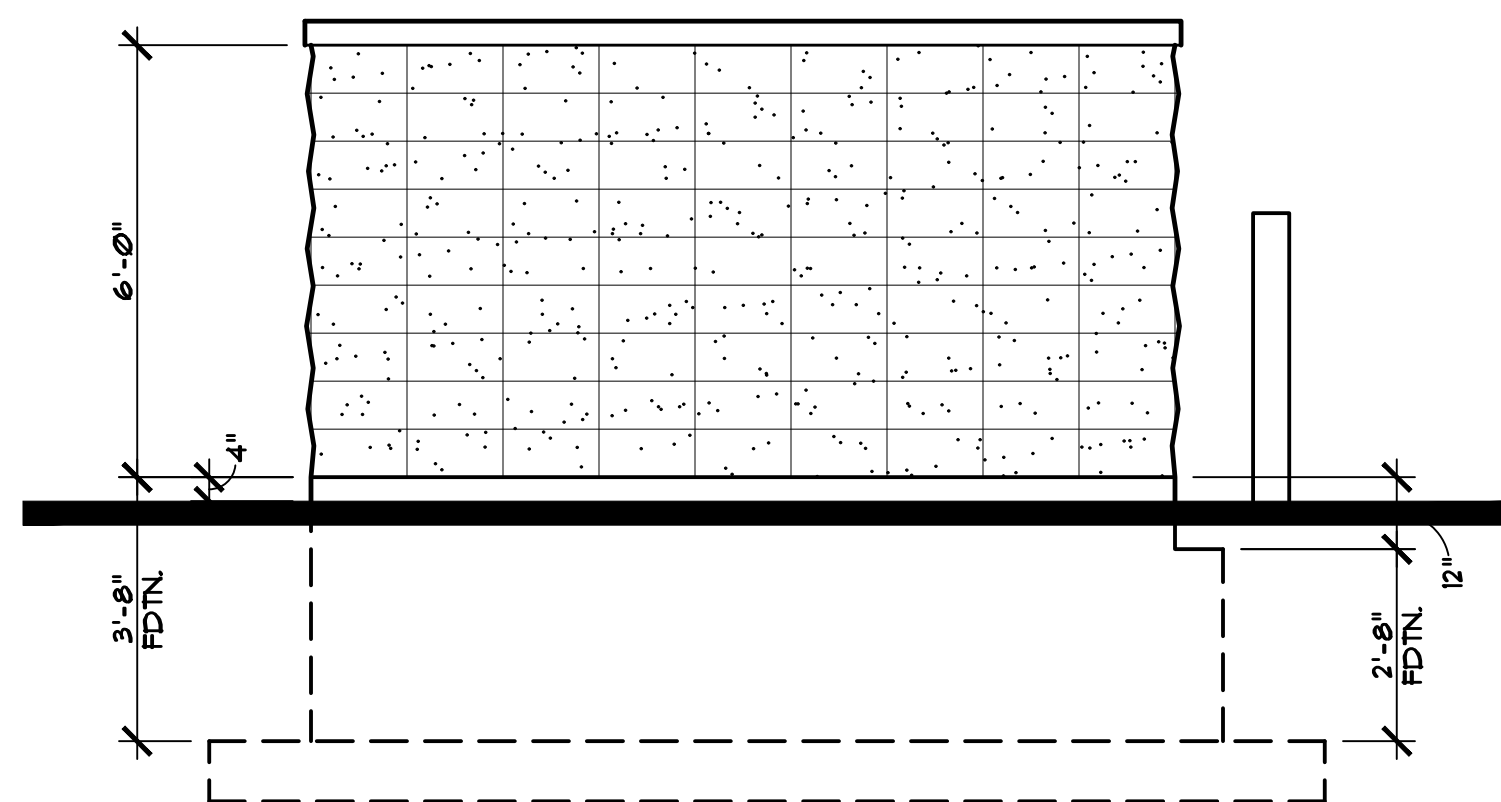
ARCHITECT'S SITE PLAN  
SCALE: 1" = 40'-0"



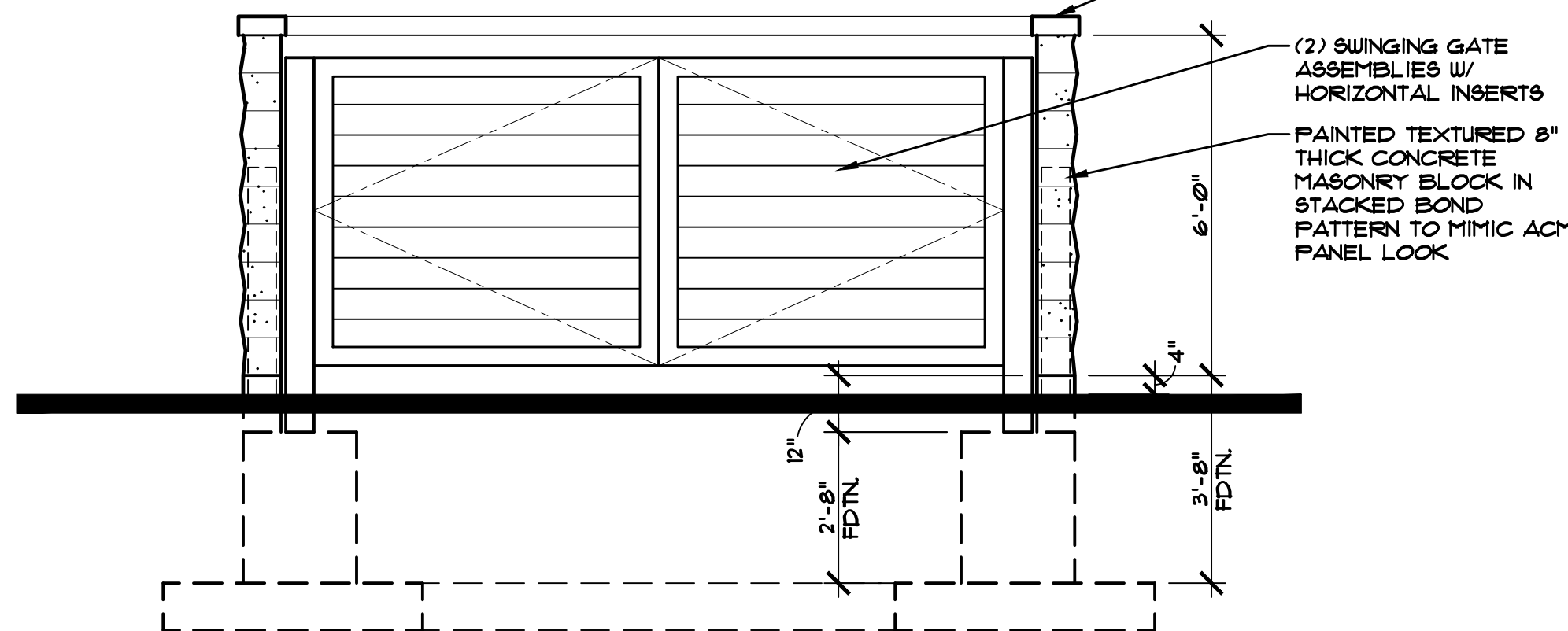
SOUTH DUMPSTER ELEVATION  
SCALE: 3/8" = 1'-0"



EAST DUMPSTER ELEVATION  
SCALE: 3/8" = 1'-0"



NORTH DUMPSTER ELEVATION  
SCALE: 3/8" = 1'-0"



WEST DUMPSTER ELEVATION  
SCALE: 3/8" = 1'-0"

DATE: MARCH 7, 2024

REVISIONS:


SCALE: AS NOTED

DRAWN BY: AMW  
CHECKED BY: MJD

DUMPSTER  
PLANS AND  
ELEVATIONS

NOT FOR  
CONTRACT  
BIDDING OR  
BUILDING  
PERMITS OR  
CONSTRUCTION