



UNION TOWNSHIP BOARD OF TRUSTEES APRIL 9TH, 2024 MEETING

MAJOR AMENDMENT, PD

MOUNTAIN AGENCY EASTGATE LLC, Applicant
CLEPPER LANE

Staff Report: CASE # 7-94-Z

NATURE OF REQUEST

The Applicant is requesting the approval of a Major Amendment to a Planned Development District from the Union Township Board of Trustees for a 1.629-acre property (PIN # 414108.026B) in order to locate a new, used car dealership facility for Jeff Wyler.

**Please refer to the Applicant's statements, plans, and other application enclosures.*

LOCATION

The subject property, owned by Mountain Agency Eastgate LLC, is located off of Clepper Lane, immediately southeast of the State Route 32 off-ramp onto Clepper Lane.

ZONING

The subject property is zoned Planned Development (PD), with Planned Development (PD) zoning adjacent around the entire perimeter of the site. To the northwest, across the off-ramp State Route 32, the property is zoned Business (B-1).

RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the proposal is located within the Central (SR 32) Retail Corridor. The plan identifies this area as the primary retail and commercial corridor within the Township, and therefore, the area is ripe for infill development that maximizes intensity and efficiency of land use. Among other things, the Plan calls for architectural standards that promote cohesive and attractive design and an enhanced quality of life (and additional investment), sidewalks, shared driveway and parking configurations whenever practical, and site development to be conducted in a manner that focuses on maximizing land use efficiency with infill development.

For commercial development, the use of traditional building materials, adequate vegetative buffering, landscaping strategies along shared property lines, and landscaping enhancements along the corridor frontage is also required, in accordance with the Plan.

BACKGROUND

The Planned Development (PD) associated with this particular property was approved in January of 1995, and includes property along Clepper Lane from Gleneste Withamsville Road (the western edge) to the new off-ramp onto Clepper Lane, from State Route 32 (forming the eastern border). According to the Township staff report in 1994-1995, there was “no clear concept at all for the site” other than to change the existing residential uses and zoning to commercial uses and a Planned Development District. As a result, development has occurred in a slow, piecemeal fashion, as predicted—with most of the property being acquired relatively recently for the road improvements in the area.

On a related note, the Jeff Wyler Auto Mall Planned Development (PD)—which is immediately adjacent to the site to the east—has been in existence for more than three (3) decades, with the bulk of activity consisting of car dealerships, an automobile inventory area, and an overflow inventory storage area adjacent to Clepper Lane. As time has passed, several properties have been added to the PD as a result of property acquisition and consolidation by Mountain Agency Eastgate LLC. The owner most recently received approval in October of 2023 to modify the existing used car facility so that a new Hyundai dealership could be established on the site (in place of the used car sales dealership). In January of this year, the owner subsequently received approval to add an additional 12,133 square feet onto the new Hyundai dealership for vehicle maintenance space, including service bays. *The Applicant now seeks to relocate the used car dealership facility to this particular property—which the owner is in the process of acquiring from the State.*

STAFF REVIEW & ANALYSIS

Overall, the proposed Major Amendment to this particular Planned Development (PD) appears to be consistent with the prior approvals for the development in this particular PD, as well as this particular area of the SR 32 Central Retail Corridor (including the Jeff Wyler sites to the east). While some architectural elements still need to be confirmed, the project will ultimately enhance the investment associated with the site, promote cohesive and attractive design, and the use is compatible with current onsite and surrounding uses. Access to the site will be limited to Jeff Wyler’s existing access point off of Clepper Lane (a Minor Collector with an ADT of 4,306)—which is preferred given the recent access management and road improvements in the area. *As a part of this proposal, the Applicant will, at minimum, be required to provide a pedestrian connection from the Jeff Wyler Auto Mall site to the new sidewalk along the southern portion of Clepper Lane.* The Applicant has also submitted landscaping and photometric plans for this project, both of which staff finds to be satisfactory. There is no free-standing signage currently proposed as a part of this application; however, in conversations with staff, the Applicant’s representative has expressed this item will be addressed at a later time, as part of a separate submittal.

ACTION REQUIRED

In accordance with Sections 680-687 of the Zoning Resolution, the Board of Trustees' role in this process is to either enter a motion to approve, approve with some modification, or deny the Applicant's request as submitted, along with any further modifications deemed appropriate by the Board.

RECOMMENDED MODIFICATIONS

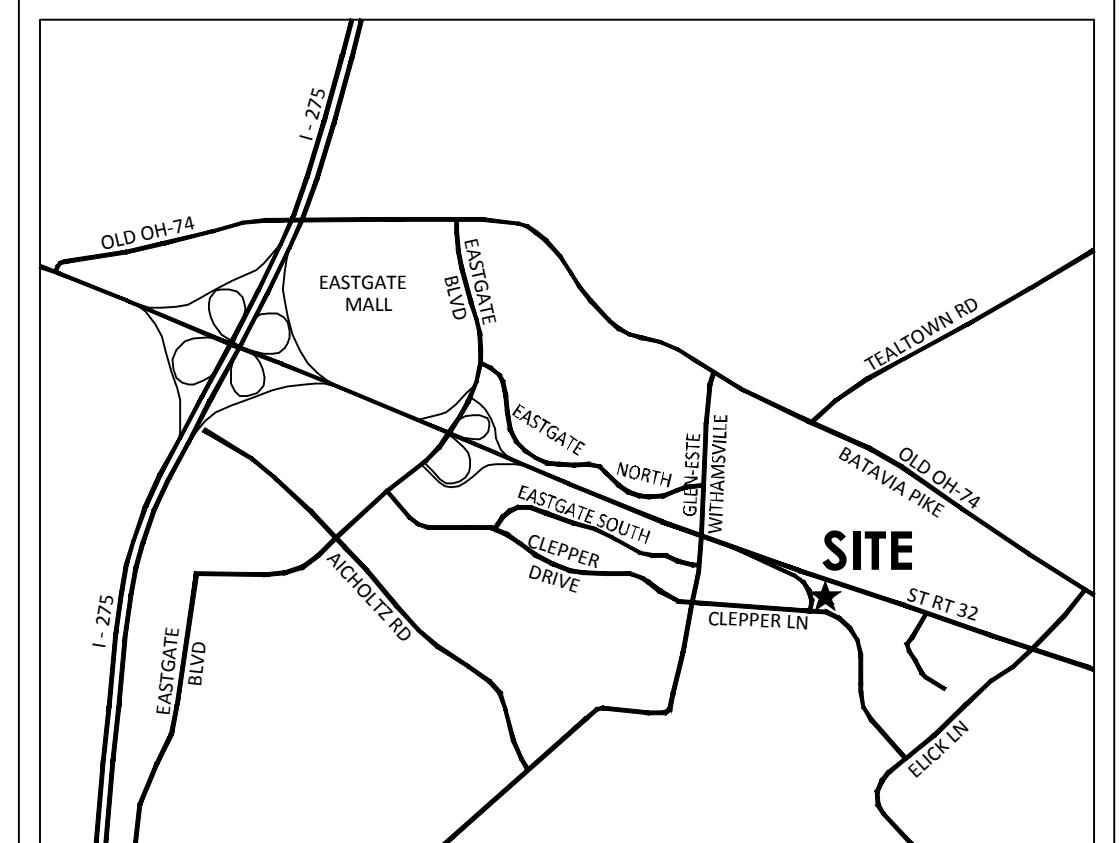
If the Board should choose to grant favorable consideration to this PD Major Amendment application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant would need to address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant must provide a pedestrian connection from the Jeff Wyler Auto Mall site to the entrance drive to facilitate access to the existing sidewalk on the south side of Clepper Lane. *If a crosswalk from the entrance drive to the south side sidewalk along Clepper Lane is not initially approved to satisfy this condition, the owner must also agree to allow and help facilitate a sidewalk and associated improvements (truncated domes, pedestrian signals, etc.) within 90 days of being notified by the Township.*
- 3) The Applicant would need to provide additional information with respect to the proposed primary structure improvements—to ensure that the architectural standards and proposed building materials meet the requirements and standards set forth in the Township's Comprehensive Plan and Zoning Resolution. *This is an item that can be addressed administratively by staff.*
- 4) A final, revised signage plan will ultimately need to be submitted for the Applicant to obtain the necessary commercial zoning permit. *This item will be subject to administrative review and approval.*

JEFF WYLER USED CARS

PROPOSED MAJOR AMENDMENT TO ZONING CASE 7-94-Z

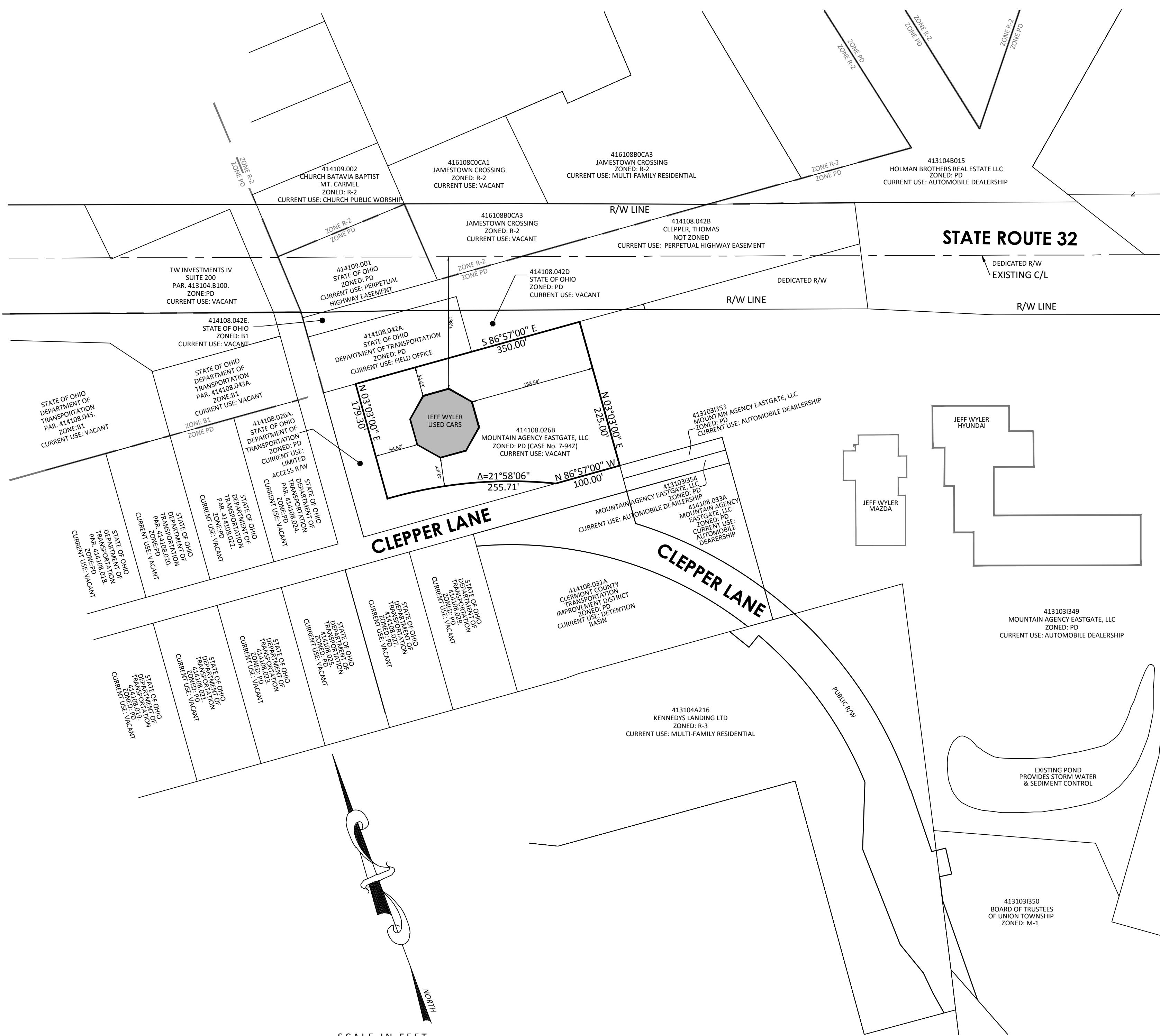
UNION TOWNSHIP
CLERMONT COUNTY, OHIO



VICINITY MAP

NTS

1. PARCEL DATA:
SITE ADDRESS: CLEPPER LANE
PARCEL No.: 414108.026B, 1.6290 Ac.
2. OWNER
THE MOUNTAIN AGENCY EASTGATE, LLC.
401 MILFORD PARKWAY, SUITE A
MILFORD, OH 45150
3. ZONING CLASSIFICATION: "PD" PLANNED DISTRICT, PART OF CASE No. 7-94-Z
4. GROSS FLOOR AREA 7,725 S.F.
5. MAXIMUM BUILDING HEIGHT 32'
6. PARKING SPACES SHALL BE DEPARTMENTED BY 4" WIDE WHITE PAINTED STRIPES.
7. PARKING REQUIREMENTS
FLOOR AREA 7525 S.F. 1 SPACE/400 S.F. 19
EMPLOYEES 35 1 SPACE/EMPLOYEE 35
TOTAL PARKING SPACES REQUIRED 54
TOTAL NEW PARKING SPACES PROVIDED 112
8. NO PART OF THIS SITE IS LOCATED WITHIN A 100-YR FLOODPLAIN.
9. EXTERIOR POLE LIGHT, CANOPY LIGHTING, OR SIMILAR LIGHTING SHALL BE FLAT LENS DESIGN AND SHIELDED SO THAT ALL LIGHT IS DOWN DIRECTED. SAG LENS LIGHTING IS PROHIBITED.
10. CONSTRUCTION IS ANTICIPATED TO COMMENCE SPRING 2024 AND TO BE COMPLETED DECEMBER 2024.
11. LOCATION OF EXISTING UTILITIES SHOWN HEREON IS APPROXIMATE AND IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. THE OWNER AND ENGINEER ASSUMES NO LIABILITY FOR THE LOCATION OF ANY AND ALL UTILITIES WITHIN THE LIMITS OF WORK. ANY DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS AND EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
12. UNLESS OTHERWISE NOTED, MATERIALS AND SPECIFICATIONS SHALL CONFORM TO THE CONSTRUCTION AND MATERIALS SPECIFICATIONS OF ODOT.
13. ALL CONSTRUCTION AND PERMANENT STRUCTURES WHICH ARE CONSIDERED PART OF THE STORMWATER MANAGEMENT AND SEDIMENT CONTROL SYSTEM SHALL ADHERE TO THE LATEST ISSUE OF THE "CLERMONT COUNTY WATER MANAGEMENT AND SEDIMENT CONTROL REGULATIONS" AND SHALL BE SUBJECT TO FIELD INSPECTION BY THE CLERMONT COUNTY ENGINEERING DEPARTMENT TO VERIFY COMPLIANCE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY CLERMONT COUNTY DEPENDENT ON SITE CONDITIONS.
14. EROSION AND SEDIMENTATION CONTROL MEASURES AND SEDIMENTATION BASINS ARE TO BE IN PLACE BEFORE BEGINNING SITE WORK.
15. IT SHALL BE THE CONTRACTOR'S OBLIGATION TO INSTALL, MAINTAIN, AND/OR REMOVE AS REQUIRED, ALL BARRIERS, INLET FILTERS, SEDIMENT BASINS, AND OTHER EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS OR AS NECESSARY TO PREVENT STORM WATER POLLUTION. ALSO INCLUDED IS THE PERFORMANCE AND MAINTENANCE OF A LOG OF INSPECTIONS AS REQUIRED BY THE N.P.D.E.S. PERMIT. THE INSPECTIONS AND LOG MAINTENANCE SHALL START WITH THE COMMENCEMENT OF THE JOB AND SHALL CONTINUE UNTIL 30 DAYS AFTER INSTALLATION OF THE BASE COURSES OF PAVING. THE LOG SHALL THEN BE TURNED OVER TO THE OWNER OR HIS REPRESENTATIVE.
16. ANY NEW SIGNAGE REQUIRES SEPERATE APPROVAL FROM UNION TOWNSHIP.



I CERTIFY THAT THIS "PD" PLAN MEETS THE REQUIREMENTS SET BY UNION TOWNSHIP AND IS THE APPROVED "PD" PLAN FOR THIS PROPERTY.

DIRECTOR OF PLANNING & ZONING

(DATE)

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN HEREIN AND ADOPT THIS "PD" PLAN AS MY DEVELOPMENT FOR THE PROPERTY. I MUST OBTAIN A ZONING CERTIFICATE PRIOR TO CONSTRUCTION.

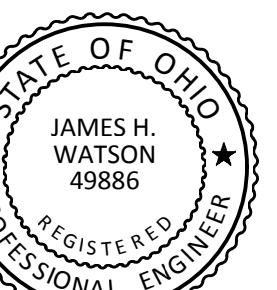
(OWNER)

(PRINT NAME)

(DATE)

INDEX OF SHEETS

SHEET #	DESCRIPTION
C1	COVER SHEET
C2	DEMOLITION PLAN
C3	LAYOUT PLAN
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C5	UTILITY DETAILS
C6	GRADING PLAN
C7	EROSION CONTROL NOTES & DETAILS
C8	S.W.P.P. NOTES & DETAILS
C9	LIGHTING PLAN
L101	PLANTING PLAN
L102	LANDSCAPE DETAILS & NOTES



James H. Watson

JEFF WYLER USED CARS
UNION TOWNSHIP
CLERMONT COUNTY, OHIO
COVER SHEET

DEMOLITION PLAN NOTES

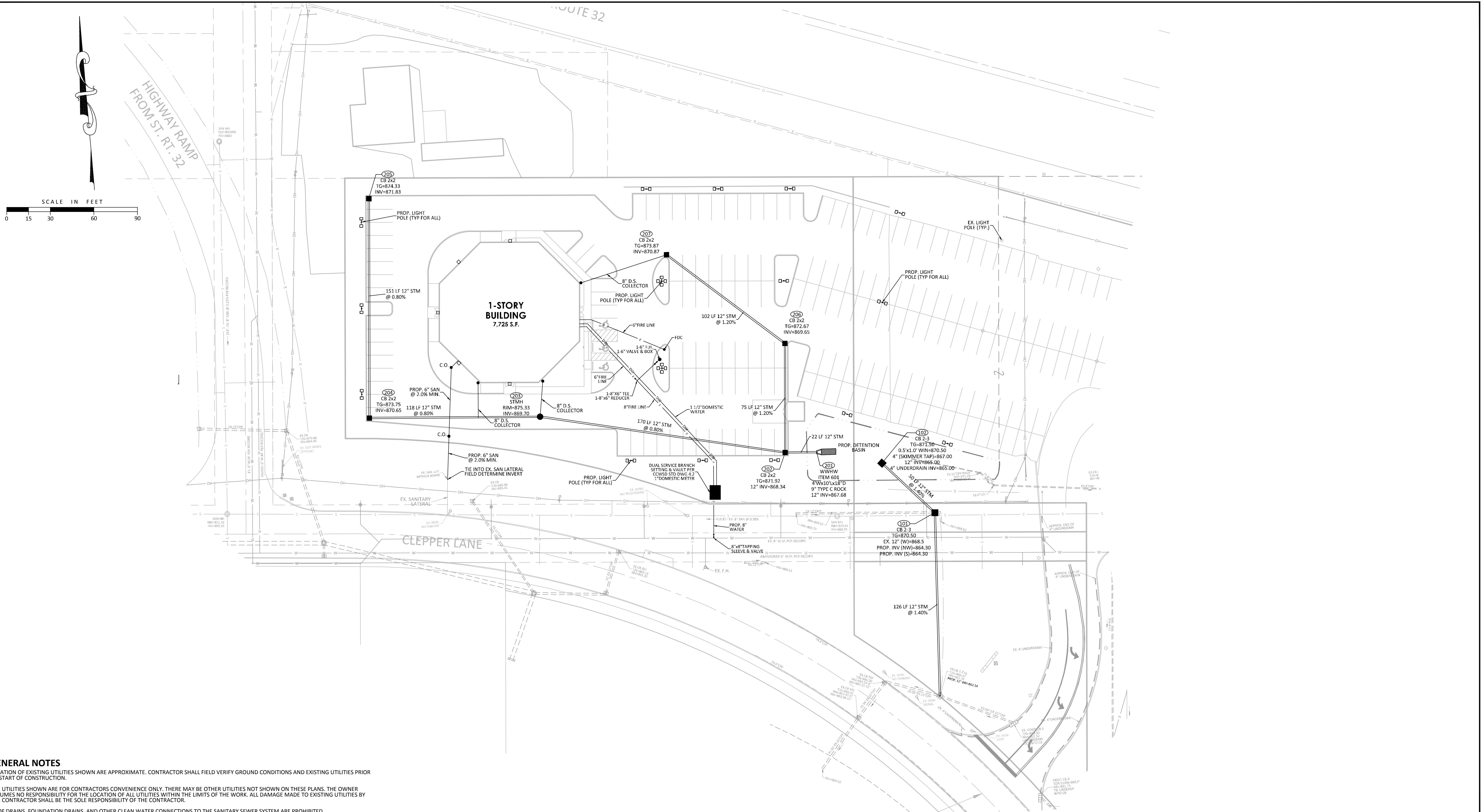
1. ALL WORK SHALL COMPLY WITH LOCAL AND STATE CODES AND STANDARDS OF CONSTRUCTION.
2. ALL DEMOLITION PERMITS SHALL BE OBTAINED PRIOR TO THE START OF DEMOLITION.
3. THE CONTRACTOR IS TO COORDINATE ALL EX. UTILITIES TO BE REMOVED & ABANDON WITH THE APPROPRIATE UTILITY COMPANY. CONTACT DUKE ENERGY FOR GAS & ELECTRIC SERVICES. TWO WEEK NOTIFICATION PRIOR TO REMOVAL IS REQUIRED.
4. THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF SURFACE EVIDENCE AND AVAILABLE PLANS AND RECORDS. THEY HAVE NOT BEEN PHYSICALLY LOCATED. THERE ARE NO GUARANTEES THAT THE UNDERGROUND UTILITIES AS SHOWN COMprise ALL SUCH UTILITIES WITHIN THE CONSTRUCTION AREA, EITHER IN SERVICE OR ABANDONED. NOR IS IT GUARANTEED THAT THEY ARE IN THE EXACT LOCATION AS INDICATED. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
5. CONTRACTOR TO COORDINATE ALL DEMOLITION WITH NEW WORK.



JEFF WYLER USED CARS
UNION TOWNSHIP
CLERMONT COUNTY, OHIO
DEMOLITION PLAN

James H. Watson

Date	03/05/24
Scale	AS NOTED
Drawn By	DA
Proj. Mgr.	JW
Survey Database	0841701
DWG	08417014-IMP-Used Cars
X-Ref(s)	08417013-BAS-05
Project Number	08417.01
File No.	Sheet No.
	C2



GENERAL NOTES

LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS AND EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.

THE UTILITIES SHOWN ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

PROPOSED BUILDINGS SHALL NOT BE CONNECTED TO THE SANITARY SEWER SYSTEM UNTIL UNDER ROOF. 24 HOUR NOTICE IS REQUIRED TO THE CLERMONT COUNTY WATER RESOURCES DEPARTMENT FOR SANITARY SEWER LATERAL INSPECTION.

STORM WATER MANAGEMENT FACILITIES SHALL BE PRIVATELY MAINTAINED.

STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED IN THE LATEST EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWINGS.

GRANULAR BACKFILL IS REQUIRED IN ALL PIPE TRENCHES LOCATED UNDER OR WITHIN 5 FEET OF PAVEMENT OR SIDEWALKS OUTSIDE OF THE PUBLIC RIGHT-OF-WAY. BACKFILL SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY AND TESTED BY APPROVED AGENT, UNLESS NOTED OTHERWISE.

STORM SEWER PIPE BEDDING SHALL BE CLASS "B" PER ODOT 603.06. BACKFILLING SHALL CONFORM WITH ODOT 603.10 AND 603.11 OR ODOT 613.

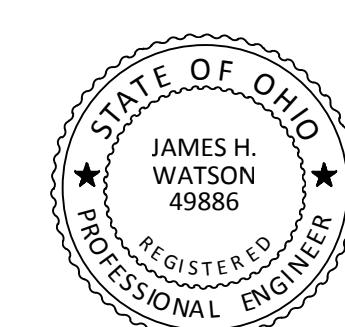
STORM SEWER PIPE SHALL BE TYPE "C" CONDUIT CONFORMING WITH ODOT 706.02, REINFORCED CONCRETE CLASS IV, ODOT 707.33, CORRUGATED POLYETHYLENE SMOOTH LINED PIPE OR ODOT 707.42, PVC CONFORMING WITH ASTM F949.

DOWNSPOUT COLLECTOR PIPING SHALL MEET THE REQUIREMENTS OF ODOT 707.33, 707.42 (ASTM F949) OR 707.43 (ASTM F794). PIPE SHALL BE INSTALLED WITH WATERTIGHT CONNECTIONS. A SUITABLE CLEANOUT SHALL BE INSTALLED AT THE UPSTREAM END OF THE COLLECTOR PIPE. CLEANOUT STRUCTURES SHALL BE OF UNIFORM DESIGN WITH READILY ACCESSIBLE CAPS LEVEL WITH THE GROUND. CONNECT DOWNSPOUTS TO COLLECTOR PIPING WITH APPROPRIATE CONNECTIONS.

ALL CATCH BASINS & MANHOLES IN THE PAVEMENT AREAS SHALL BE CONSTRUCTED WITH TRAFFIC-DUTY FRAMES AND GRATES.

ALL CONSTRUCTION AND PERMANENT STRUCTURES WHICH ARE CONSIDERED PART OF THE STORMWATER MANAGEMENT AND SEDIMENT CONTROL SYSTEM SHALL ADHERE TO THE LATEST ISSUE OF THE CLERMONT COUNTY WATER MANAGEMENT AND SEDIMENT CONTROL REGULATIONS. AND SHALL BE SUBJECT TO FIELD INSPECTION BY THE CLERMONT COUNTY ENGINEERING DEPARTMENT TO VERIFY COMPLIANCE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY CLERMONT COUNTY DEPENDENT ON SITE CONDITIONS.

NO PART OF SUBJECT PROPERTY IS LOCATED WITHIN A DESIGNATED FLOOD ZONE.



JEFF WYLER USED CARS

UNION TOWNSHIP
CLERMONT COUNTY, OHIO

UTILITY PLAN

Date	03/05/24
Scale	AS NOTED
Drawn By	DA
Proj. Mgr.	JW
Survey Database	08417014-IMP-Used Cars
DWG	08417014-IMP-Used Cars
X-Ref(s)	08417013-BAS-05
Project Number	08417.01
File No.	Sheet No.
	C4

James H. Watson



MSP
DESIGN

McGill Smith Punshon

Architecture

Engineering

Landscape Architecture

Planning

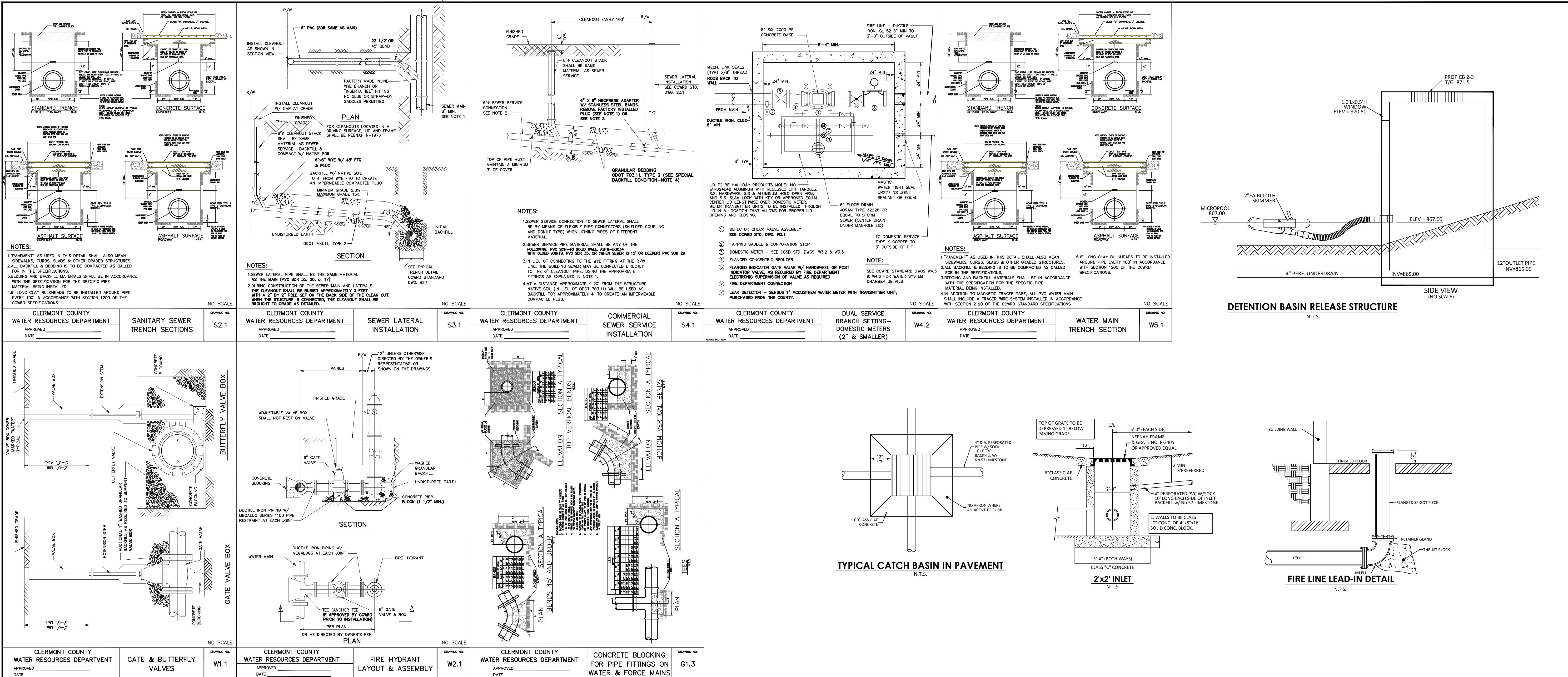
Surveying

Suite 1908

Cincinnati OH 45241

Phone 513.759.0004

www.mspdesign.com

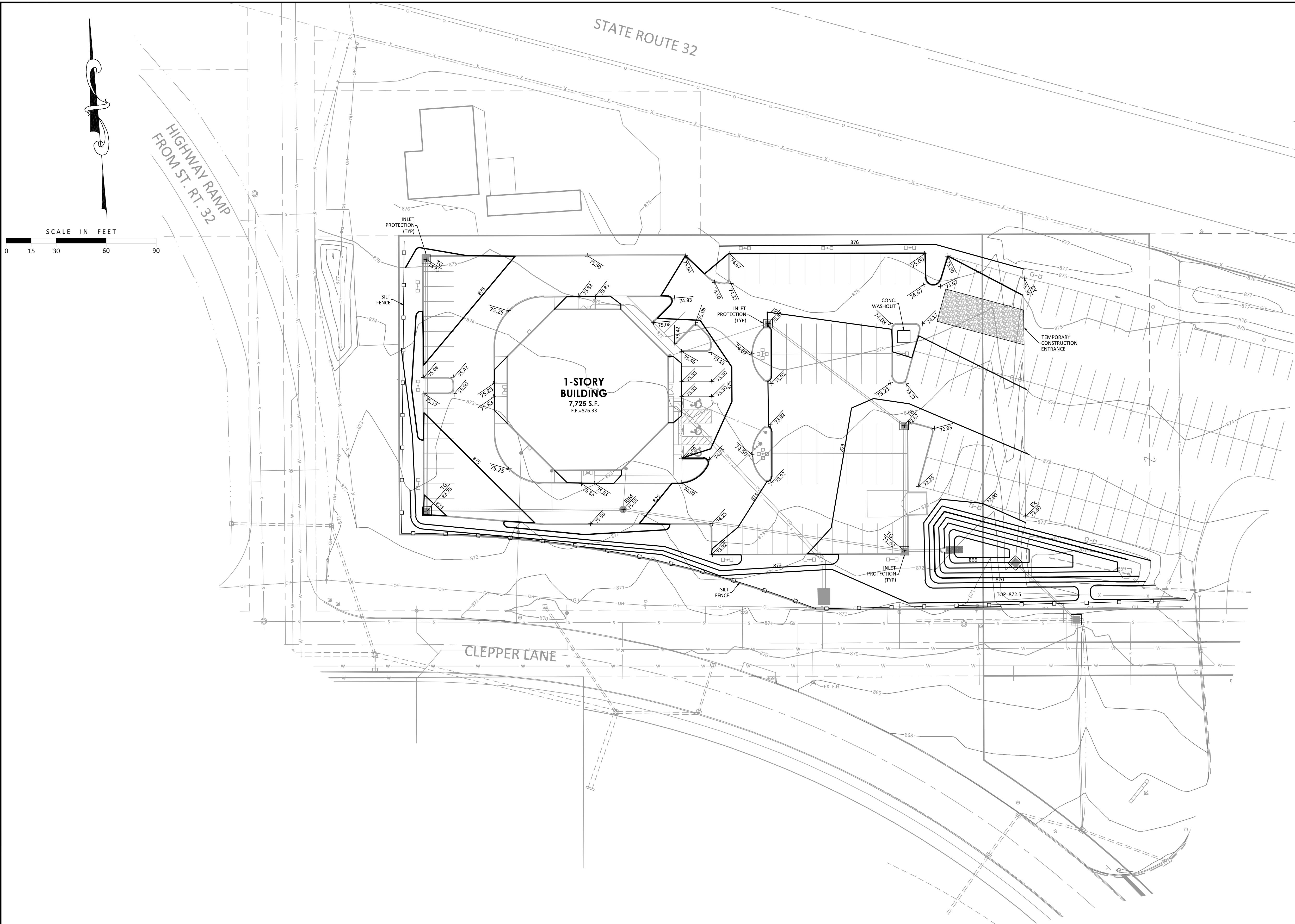


JEFF WYLER USED CARS
UNION TOWNSHIP
CLERMONT COUNTY, OHIO



James H. Watson

UTILITY DETAILS	
Date	C5
Scale	AS NOTED
Drawn By	DA Proj. Mgr. JW
Survey Database	08417.01
DWG	08417014-IMP-Used Cars
X-Ref(s)	08417013-BAS-05
Project Number	08417.01
File No.	Sheet No. C5



1. PROJECT INVOLVES THE CONSTRUCTION OF A NEW AUTOMOBILE DEALERSHIP.
2. AREA TO BE DISTURBED IS APPROXIMATELY 2.0 ACRES.
3. PRE-CONSTRUCTION RUNOFF COEFFICIENT IS 0.35.
POST-CONSTRUCTION RUNOFF COEFFICIENT IS 0.75.
4. THE PREDOMINATE SOIL TYPE IS AN URBAN COMPLEX.
5. SHAYLER RUN IS THE FIRST NAMED STREAM RECEIVING RUNOFF FROM THIS SITE.
6. NPDES STORM WATER GENERAL PERMIT NUMBER: 1GC09647*AG
7. PROJECT DURATION: THRU 2024
8. SITE OPERATOR: JEFF WYLER AUTOMOTIVE
401 MILFORD PARKWAY, SUITE A
MILFORD, OH 45150
9. SWPPP CONTACT: CER SERVICES, INC.
5533 FAIR LANE
CINCINNATI, OHIO 45227
CONTACT: MARK BROUGHTON
(513) 731-7300
10. CONTRACTOR TO ACQUIRE A WATER MANAGEMENT AND SEDIMENT CONTROL PERMIT FROM THE CLERMONT COUNTY BUILDING DEPARTMENT BEFORE BEGINNING SITE WORK.
11. IT SHALL BE THE CONTRACTOR'S OBLIGATION TO INSTALL, MAINTAIN, AND/OR REMOVE AS REQUIRED, ALL BARRIERS, INLET FILTERS, SEDIMENT BASINS, AND OTHER EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS OR AS NECESSARY TO PREVENT STORM WATER POLLUTION. ALSO INCLUDED IS THE PERFORMANCE AND MAINTENANCE OF A LOG OF INSPECTIONS AS REQUIRED BY THE N.P.D.E.S. PERMIT. THE INSPECTIONS AND LOG MAINTENANCE SHALL START WITH THE COMMENCEMENT OF THE JOB AND SHALL CONTINUE UNTIL 30 DAYS AFTER INSTALLATION OF THE BASE COURSES OF PAVING. THE LOG SHALL THEN BE TURNED OVER TO THE DEVELOPER OR HIS REPRESENTATIVE.
12. UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
13. PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE.
14. SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. AND SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS REESTABLISHED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.
15. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF DEMOLITION AND ARE TO FINAL GRADE AND TO REMAIN SO, SHALL BE SEEDED AND IN ACCORDANCE WITH THE PERMANENT SEEDING OR TEMPORARY SEEDING PRACTICES DETAILED IN THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL, AND IN ACCORDANCE WITH THE CONDITIONS OF THE NPDES STORM WATER GENERAL PERMIT.

<divCONSTRUCTION SEQUENCE

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES
2. DEMO EXISTING BUILDINGS AND PAVEMENT
3. GRADING OF BUILDING AND PARKING AREA
4. PAVE PARKING AREA
5. BUILDING CONSTRUCTION.
6. REMOVAL OF EROSION AND SEDIMENT CONTROLS MEASURES

<div * DUE TO THE DYNAMICS AND STAGING OF EARTH MOVEMENT. CONTRACTOR MAY NEED TO ALTER THE EROSION CONTROL MEASURES AS SHOWN HEREON. CONTRACTOR TO APPLY (B.M.P.) BEST MANAGEMENT PRACTICES IN ORDER TO CONTROL THE RUNOFF OF SILT AND SEDIMENT.

* ADDITIONAL SILT FENCE MAY BE REQUIRED AS SITE CONDITIONS DETERMINE.

EROSION AND SEDIMENT CONTROL MAINTENANCE NOTES

1. EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AS FOLLOWS:

- A. EROSION AND SEDIMENT CONTROLS NEED TO BE ESTABLISHED AS APPROPRIATE AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN.
- B. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED EROSION CONTROL BARRIERS, END RUNS, AND THE UNDERCUTTING OF BARRIERS BY RUNOFF.
- C. SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION HAS REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT CONTROL BARRIER IS NOT LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE APPROPRIATE GRADE ELEVATION, PREPARED AND SEDED.
- E. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF MUD AND DIRT BEING TRACKED ONTO THE STREETS BY INSTITUTING BEST MANAGEMENT PRACTICES.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST PER ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS ITEM 616.



JEFF WYLER USED CARS

UNION TOWNSHIP CLERMONT COUNTY, OHIO

GRADING PLAN

James H Watson

Specifications
for
Permanent Seeding

SITE PREPARATION
1. A subsoiler, plow or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Monitoring infiltration will help control both runoff rates and water quality.) Subsoiling should be done when the soil moisture is low enough so that the soil will crack or fracture. Subsoiling should not be done on slope areas where soil preparation should be limited to what is necessary for establishing vegetation.

2. The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.

3. Resoil shall be applied where needed to establish vegetation.

SEEDBED PREPARATION
1. Lime-Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 lbs./1,000 sq. ft. or 500 lb./ac. /d 10-10-10 or 12-12-12 analysis.

2. Fertilizer-Fertilizer shall be applied as recommended by a soil test. In lieu of a soil test, fertilizer shall be applied at the rate of 100 lbs./1,000 sq. ft. or 500 lb./ac. /d 10-10-10 or 12-12-12 analysis.

3. The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other similar implement. On slopes of 3 in. or less, the soil shall be mechanically anchored shall not be finely chopped but, generally, be left longer than 6 in.

* Mulch Netting-Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.

* Asphalt Emulsion-Asphalt shall be applied as recommended by the manufacturer or at the rate of 160 gal./ac.

* Synthetic Binders-Synthetic binders such as Acrylic DLR (Agritac), DCA-70, Petroset, Terra Tack or equivalent may be used at rates recommended by manufacturer.

4. Wood Cellulose Fiber-Wood cellulose fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lbs./100 gal.

IRRIGATION

1. Permanent seeding shall include irrigation to establish vegetation during the first 30 days. Irrigation on adverse site conditions as needed for adequate moisture for seed germination and plant growth.

2. Excessive irrigation rates shall be avoided and irrigation monitored to prevent erosion and damage from runoff.

3. Where feasible, except when a cultipacker type seeder is used, the seedbed shall be firm following seeding. If used with a cultipacker, firm or light drag. On long land, seeding operations should be on the contour where feasible.

4. Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.

5. Where feasible, except when a cultipacker type seeder is used, the seedbed shall be firm following seeding. If used with a cultipacker, firm or light drag. On long land, seeding operations should be on the contour where feasible.

6. The following methods may be used for "Dormant Seeding":

* From October 1 through November 20, prepare the seedbed, lime and fertilizer, then mulch and anchor. After November 20, and before March 15, broadcast the selected seed mixture, mulch and anchor. Increase the seeding rates by 50 % for this type of seeding.

* From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilizer, then mulch and anchor. Increase the seeding rates by 50 % for this type of seeding.

* Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.

7. Other approved seed species may be substituted.

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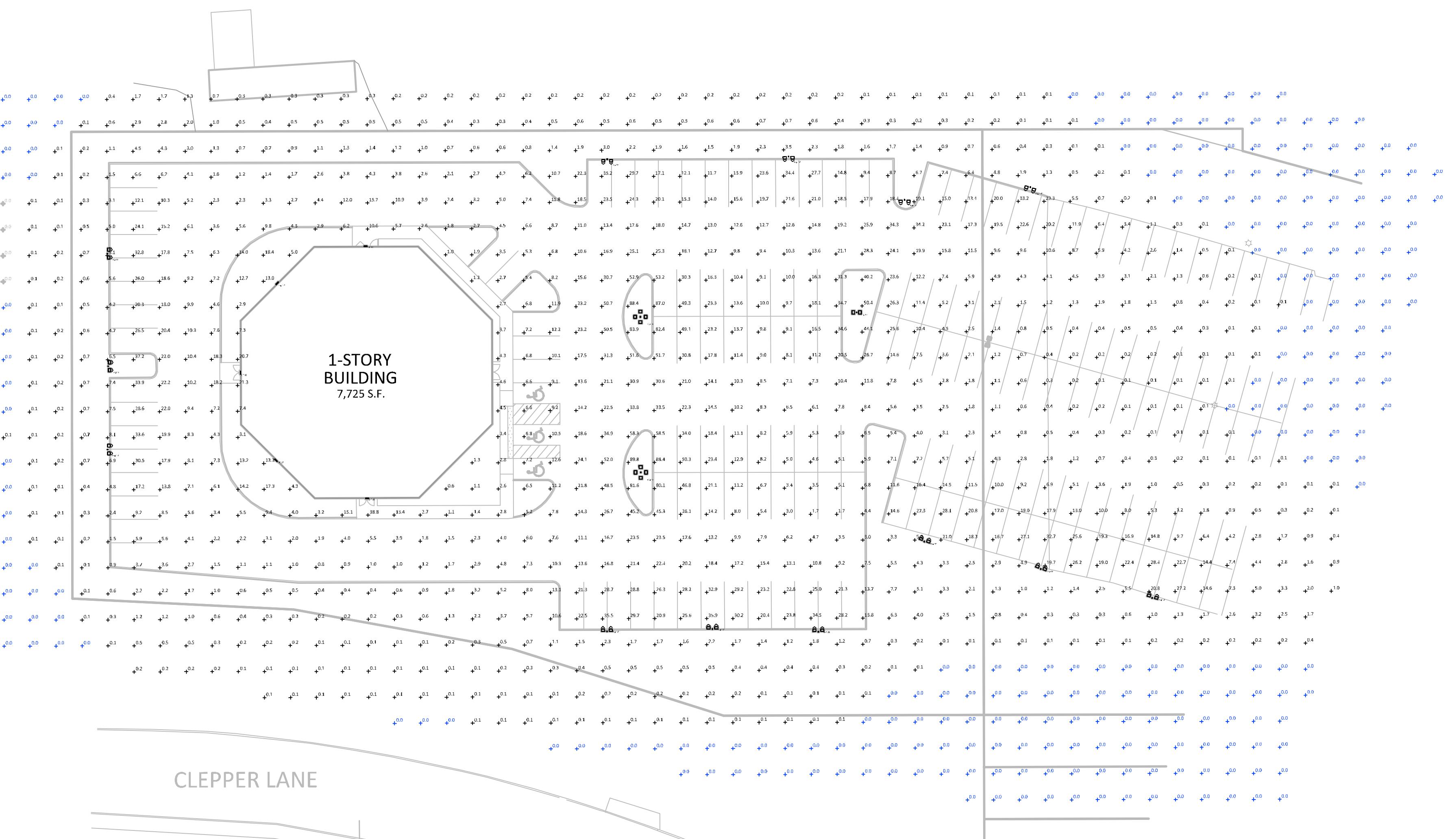
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147. Other approved seed species may be substituted.

NOTE: MOUNTED ON 20 FOOT POLES ON TOP OF A
30" CONCRETE BASE.
POLE PART NUMBER RNS-20-40-11-AB-D28-BZ



Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
↳	B		13	Leotek Electronics USA LLC	AR18-96N-MV-NW-4-XX-220-BLS		1	14824	1	340	 Max: 12461cd
↳	C		1	Leotek Electronics USA LLC	AR18-96N-MV-NW-4-XX-400	Brown formed aluminum housing, clear plastic optics, no lens enclosure	1	40867	1	601.21	 Max: 18031cd
↳	D		2	Leotek Electronics USA LLC	AR18-96N-MV-NW-4-XX-400	Brown formed aluminum housing, clear plastic optics, no lens enclosure	1	40867	1	1202.42	 Max: 18031cd
==	E		5	Leotek Electronics USA, LLC	EG2-130H-MV-CW-FT-DB	outdoor wall lighting product	1	19150	1	181.68	 Max: 11120cd

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min	
Calc Zone #1	+	6.6 fc	89.8 fc	0.0 fc	N/A	N/A

SCALE IN FEET
0 15 30 60 90



JEFF WYLER USED CARS

UNION TOWNSHIP
CLERMONT COUNTY, OHIO

LIGHTING PLAN

Date	03/05/24
Scale	AS NOTED
Drawn By	DA
Proj. Mgr.	JW
Survey Database	08417014
	DA
DWG	08417014-IMP-Used Cars
X-Ref(s)	08417013-BAS-05
Project Number	08417.01
File No.	Sheet No.
	C9

JEFF WYLER USED CARS

UNION TOWNSHIP, OHIO

STATE ROUTE 32

HIGHWAY RAMP
FROM ST. RT. 32

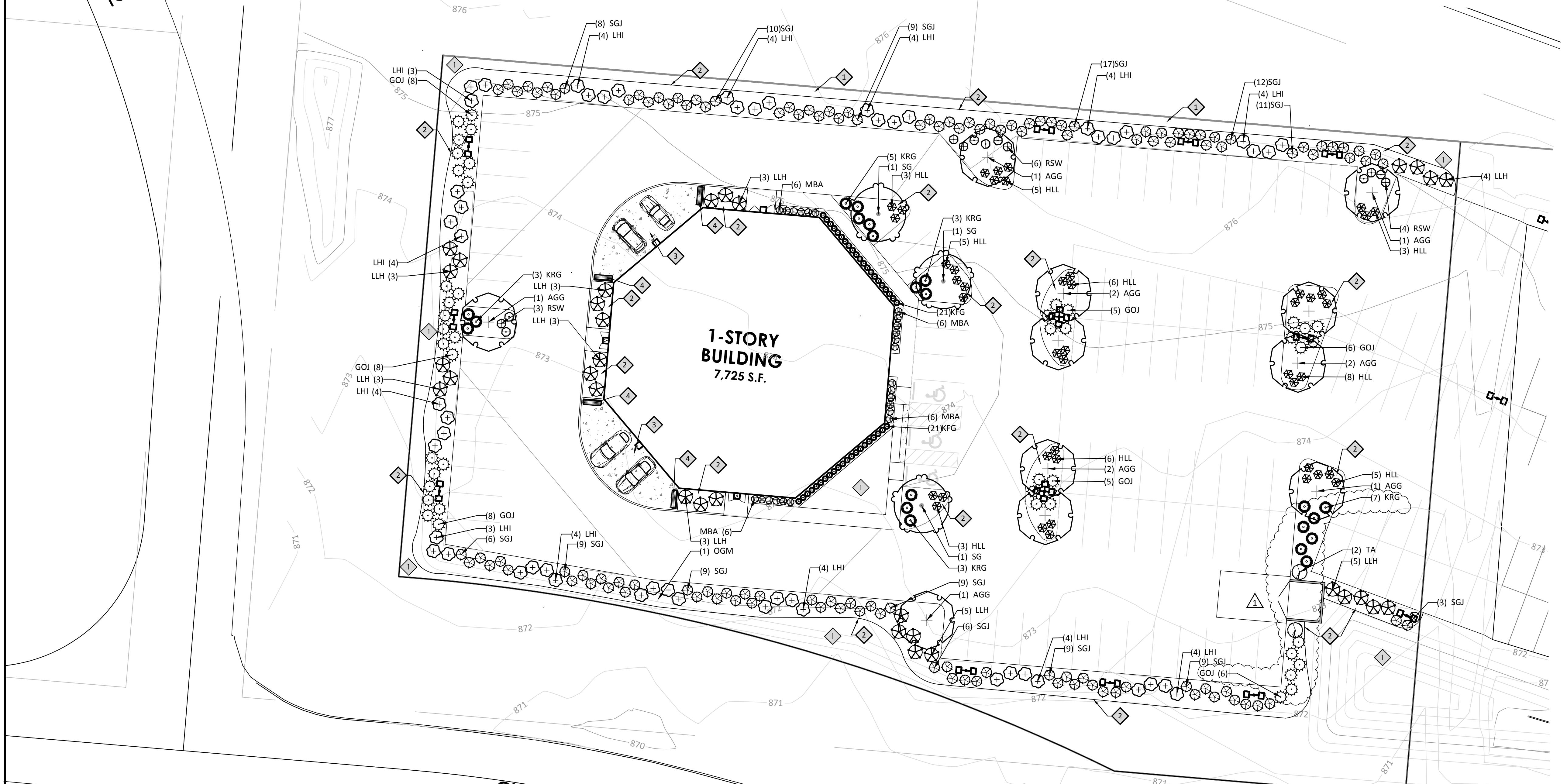
CLEPPER LANE

PLANT SCHEDULE EAST

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
SHADE TREES				
AGG	11	Ginkgo biloba 'Autumn Gold' TM	Autumn Gold Maidenhair Tree	2 1/2" - 3" CAL. B&B
SG	3	Nyssa sylvatica	Sour Gum	2" - 2 1/2" CAL. B&B
DECIDUOUS SHRUBS				
LLH	32	Hydrangea paniculata 'Limelight' TM	Limelight Hydrangea	#5 CONT.
HLL	44	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	#5 CONT.
RSW	13	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	#5 CONT.
EVERGREEN SHRUBS				
SGJ	127	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5 CONT.
GOJ	46	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	#5 CONT.
MBA	24	Thuya occidentalis 'Bobozam' TM	Mr. Bowling Ball Arborvitae	#5 CONT.
TA	2	Thuya occidentalis 'Techny'	Techny Arborvitae	4"-5" B&B
ORNAMENTAL GRASSES				
KFG	42	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2 CONT.
KRG	21	Pennisetum orientale 'Karley Rose'	Karley Rose Fountain Grass	#2 CONT.
SEMI-EVERGREEN SHRUB				
LHI	54	Itea virginica 'Sprich'	Little Henry Virginia Sweetspire	#5 CONT.

CODED NOTES

-  LAWN
-  MULCHED LANDSCAPE BED
-  CAR DISPLAY PLAZA
-  5' BENCH



	TREES REQUIRED	TREES PROPOSED	SHRUBS REQUIRED	SHRUBS PROPOSED
BUFFER ZONE	0	0	Continous row	223
VEHICULAR	14	14	0	109

Notes: 1) At least one shade tree for each 200 sq.ft. of internal planting area. Internal planting area = 2,647 sq.ft.
 $2647/200 = 13.2 \sim 14$ shade trees required.
2) Lot size = 70,964 sq.ft., 10% lot size = 7,097 sq.ft required to be landscaped. Proposed landscaped area = 14,421 sq.ft.
3) Parking area = 45,125 sq.ft., 5% parking area = 2,256 sq.ft. required to be planting islands. Planting islands = 2,647 sq.ft.

SCALE IN FEET
0 10 20 40 60

Issue/Revision	No.	Date

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JEFF WYLER USED CARS UNION TOWNSHIP, OHIO

Sheet Title

LANDSCAPE DETAILS AND NOTES

Project Number 08417006-PLA-00
Drawing Scale AS NOTED
Sheet Number L102
File Number 08417

GENERAL NOTES - PLANTING

- LANDSCAPE CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UTILITIES WITH THE OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES, WHETHER INDICATED ON PLANS OR NOT. LANDSCAPE CONTRACTOR MUST CALL THE UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DAMAGE OF UTILITY LINES, WHICH IS CAUSED BY THEIR ACTIONS OR THE ACTIONS OF THEIR CONSULTANTS.
- LANDSCAPE CONTRACTOR TO EXAMINE FINISH SURFACE, GRADE ACCURACY AND TOPSOIL FOR DEPTH AND QUALITY. REFER TO SPECIFICATIONS (IF APPLICABLE); IF CONDITIONS ARE UNSATISFACTORY NOTIFY OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND DO NOT BEGIN WORK UNTIL CONDITIONS HAVE BEEN CORRECTED.
- AFTER INSTALLATION, REPAIR ALL DAMAGES MADE TO EXISTING CONDITIONS TO OWNER'S REPRESENTATIVE'S SATISFACTION.
- PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AND SHALL HAVE PASSED INSPECTION REQUIRED UNDER STATE REGULATIONS. CALL (202)-789-2900 TO OBTAIN A COPY OF THE AMERICAN STANDARD FOR NURSERY STOCK BOOKLET.
- NURSERY STOCK IDENTIFICATION TAGS SHALL NOT BE REMOVED FROM ANY PLANTING PRIOR TO INSPECTION AND APPROVAL OF INSTALLATION BY THE OWNER'S REPRESENTATIVE.
- A GRANULAR PRE-EMERGENT HERBICIDE SHOULD BE APPLIED TO LANDSCAPE BEDS PER MANUFACTURER RECOMMENDATIONS PRIOR TO COVERING WITH MULCH.
- ALL PLANTINGS TO BE CONTAINED WITHIN BARK MULCHED BED. ALL TREES LOCATED WITHIN LAWN AREAS TO BE CONTAINED WITH A 5' MULCH RING. BARK MULCH SHALL BE FINELY SHREDDED HARDWOOD, DARK IN COLOR.
- SEED ALL DISTURBED LAWN AREAS THAT ARE NOT LANDSCAPED.
- LANDSCAPE CONTRACTOR, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE IN LAWN AREAS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANT'S LIVABILITY. REFER TO FRONT END SPECIFICATIONS IF APPLICABLE.
- ANY LANDSCAPE CONTRACTOR RECOMMENDED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. UNAPPROVED SUBSTITUTIONS SHALL BE REMOVED AND REPLACED WITH APPROPRIATE PLANTS.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER COMMENTS IS SHOWN ON THE DRAWINGS (IF REQUIRED). IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT SCHEDULE, THE PLANTING PLANS SHALL GOVERN.
- GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND SHALL MAKE CONSULTANTS AWARE OF THESE ORDINANCES.
- GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR TO COORDINATE CONSTRUCTION STAGING AND MATERIAL STOCKPILING WITH THE OWNER OR OWNER'S REPRESENTATIVE.
- DURING ALL PHASES OF CONSTRUCTION ACTIVITY, IF THE LANDSCAPE CONTRACTOR OR THEIR SUBS ENCOUNTER ANY 'SOLID WASTE MATERIAL' (EXCLUDING CLEAN HARD FILL) THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE SHALL BE CONTACTED IMMEDIATELY FOR FURTHER DIRECTION.
- LANDSCAPE CONTRACTOR SHALL CLEAN STREETS OF MUD AND DEBRIS GENERATED BY THEIR CONSTRUCTION ACTIVITIES OR THEIR SUB'S CONSTRUCTION ACTIVITIES, PURSUANT WITH LOCAL CODE REQUIREMENTS.
- LANDSCAPE CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE TO PROVIDE FOR APPROPRIATE CARE OF EXISTING PLANT MATERIAL AND NEWLY LANDSCAPED AREAS DURING CONSTRUCTION.
- STREET TREE LOCATIONS TO BE COORDINATED WITH DRIVEWAY, FIRE HYDRANT, STREET LIGHT LOCATIONS AND OTHER UTILITIES AS REQUIRED.
- ALL SHRUBS TO BE 3' HEIGHT AT TIME OF INSTALLATION.
- ALL SHADE TREES TO BE 8' HEIGHT AT TIME OF INSTALLATION.

GENERAL NOTES - PLANT MIX

TOPSOIL: FERTILE, FRIBLE NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE BETWEEN pH 6.0 AND 6.8.

- IDENTIFY SOURCE LOCATION OF TOPSOIL PROPOSED FOR USE ON THE PROJECT.
- PROVIDE TOPSOIL FREE OF SUBSTANCES HARMFUL TO THE PLANTS, WHICH WILL BE GROWN IN THE SOIL.

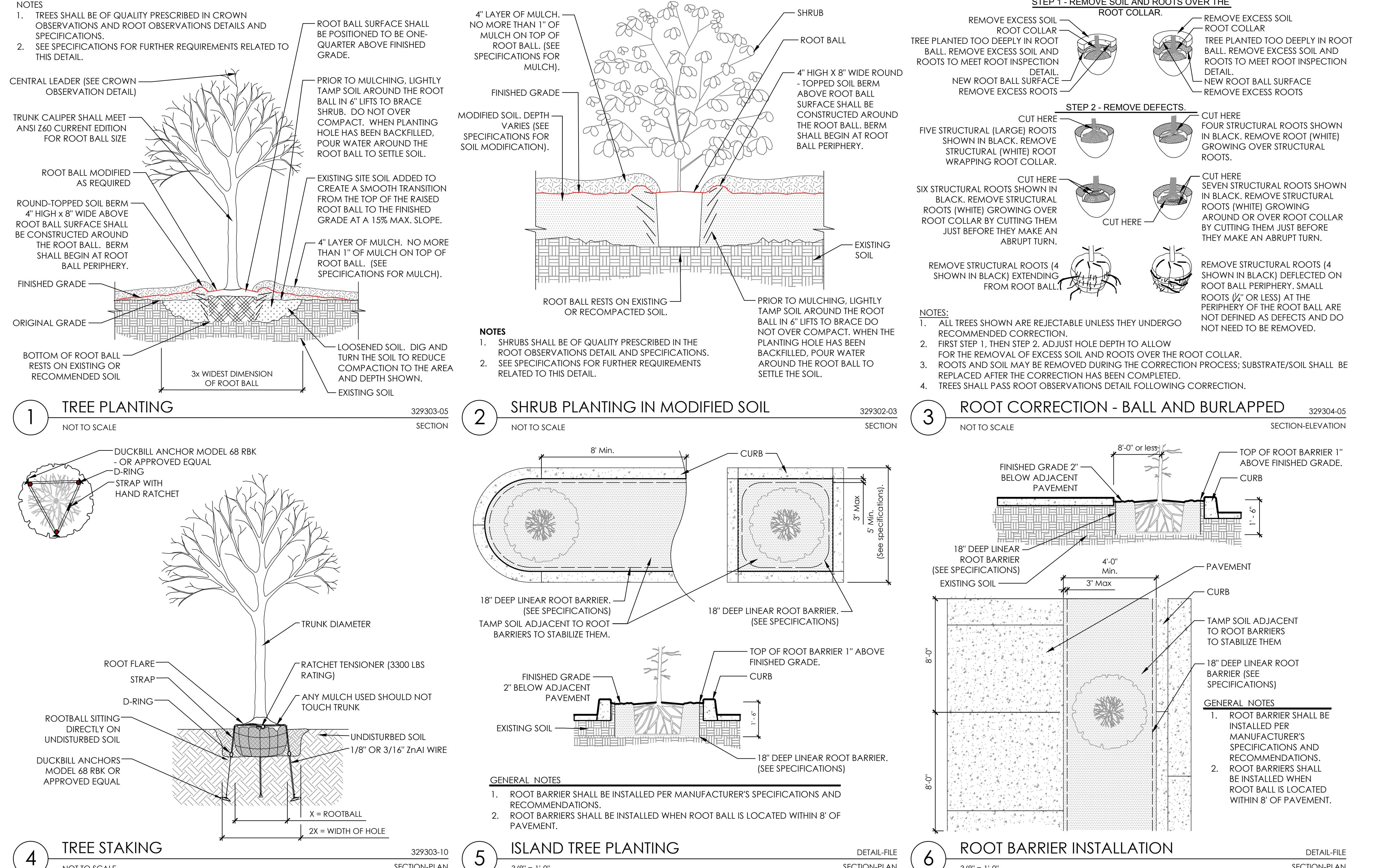
PEAT MOSS: SHREDDED, LOOSE, SPAGHUM MOSS; FREE OF LUMPS, ROOTS, INORGANIC MATERIAL OR ACIDIC MATERIALS; MINIMUM OF (95) NINETY-FIVE PERCENT ORGANIC MATERIAL MEASURED BY OVEN DRY WEIGHT; A PH RANGE OF (4 TO 5) FOUR TO FIVE; AND A MOISTURE CONTENT OF (30) THIRTY PERCENT.

MANURE: STERILIZED COW OR DEHYDRATED HORSE MANURE, SHREDDED, WEED AND SEED FREE, FURNISH IN BAGS OR BULK.

BONE MEAL: RAW, FINELY GROUND, COMMERCIAL GRADE, MINIMUM 3% NITROGEN, 20% PHOSPHOROUS.

FERTILIZER: COMMERCIAL APPROVED 12-12-12 (12% NITROGEN, 12% PHOSPHORIC ACID, AND 12% POTASH BY WEIGHT), 1/4 OF NITROGEN IN THE FORM OF NITRATES; 1/4 IN THE FORM OF AMMONIA SALT, AND 1/2 IN THE FORM OF ORGANIC NITROGEN.

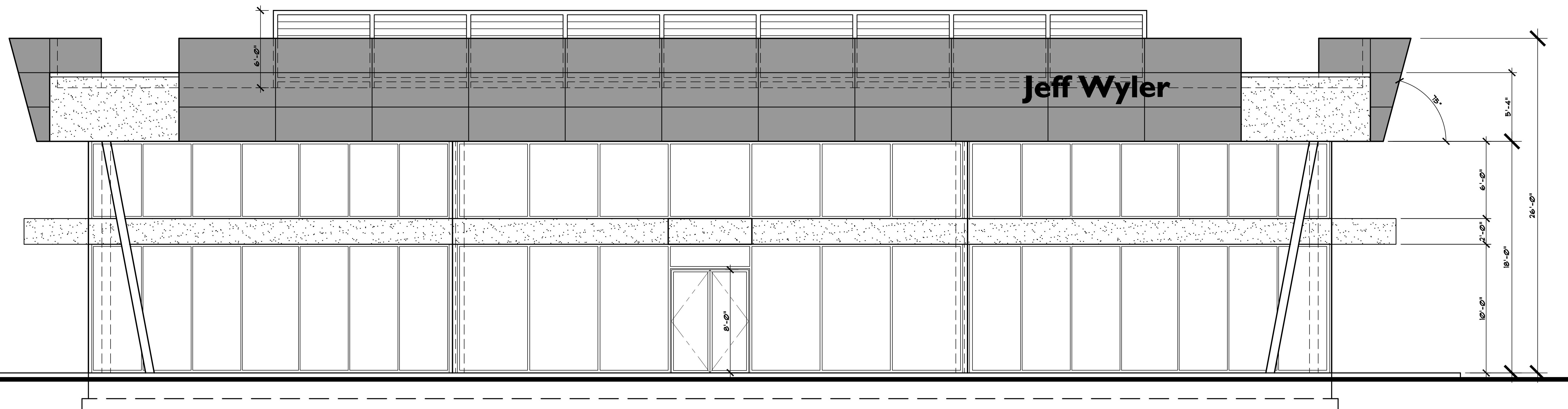
PROVIDE PRE-MIXED PLANTING MIXTURE FOR USE AROUND THE ROOT BALL/ROOTS OF THE PLANTS CONSISTING OF 5 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART MANURE, 10 LBS. FERTILIZER (PER CUBIC YARD) AND 2 1/3 LBS. OF BONE MEAL (PER CUBIC YARD).



A NEW AUTOMOBILE
DEALERSHIP FOR:

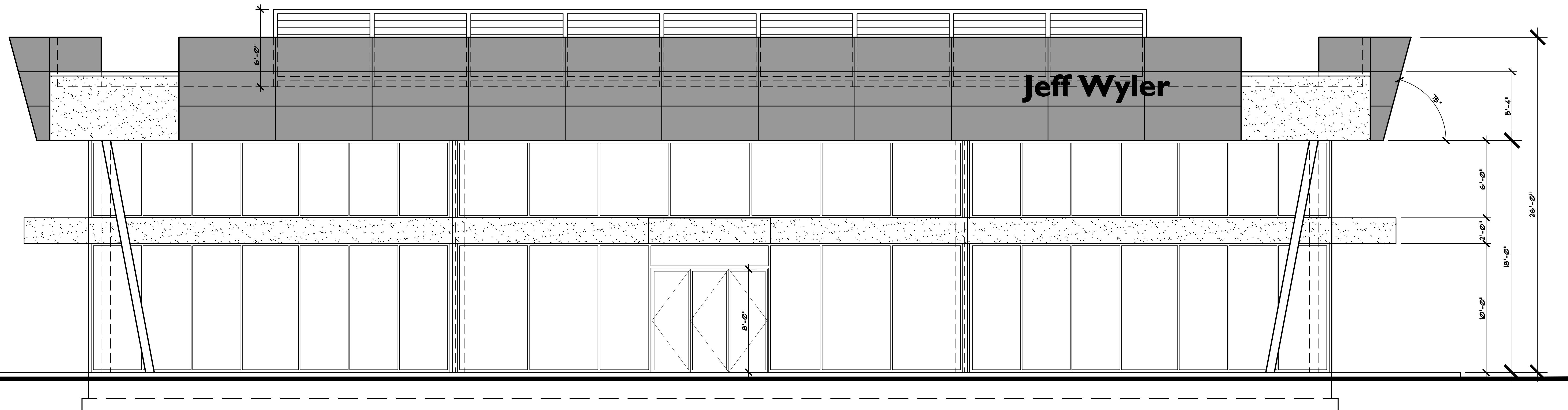
JEFF WYLER
EASTGATE
USED CARS

BATAVIA, OHIO 45103
CLERMONT COUNTY



EAST ELEVATION

SCALE: $1/4'' = 1'-0''$



NORTH (STATE ROUTE 32) ELEVATION

SCALE: $1/4'' = 1'-0''$

DATE: MARCH 1, 2024

REVISIONS:

SCALE: $1/4'' = 1'-0''$

DRAWN BY: AMW
CHECKED BY: MJD

EAST AND
NORTH
ELEVATIONS

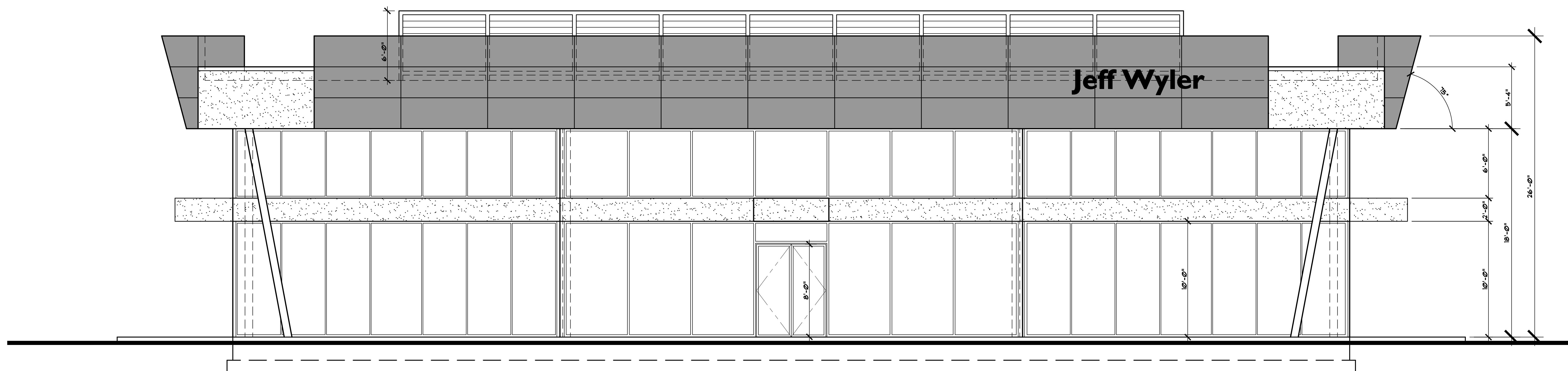
NOT FOR
CONTRACT
BIDDING OR
BUILDING
PERMITS OR
CONSTRUCTION
Expiration Date 12/31/2025

A3

A NEW AUTOMOBILE
DEALERSHIP FOR:

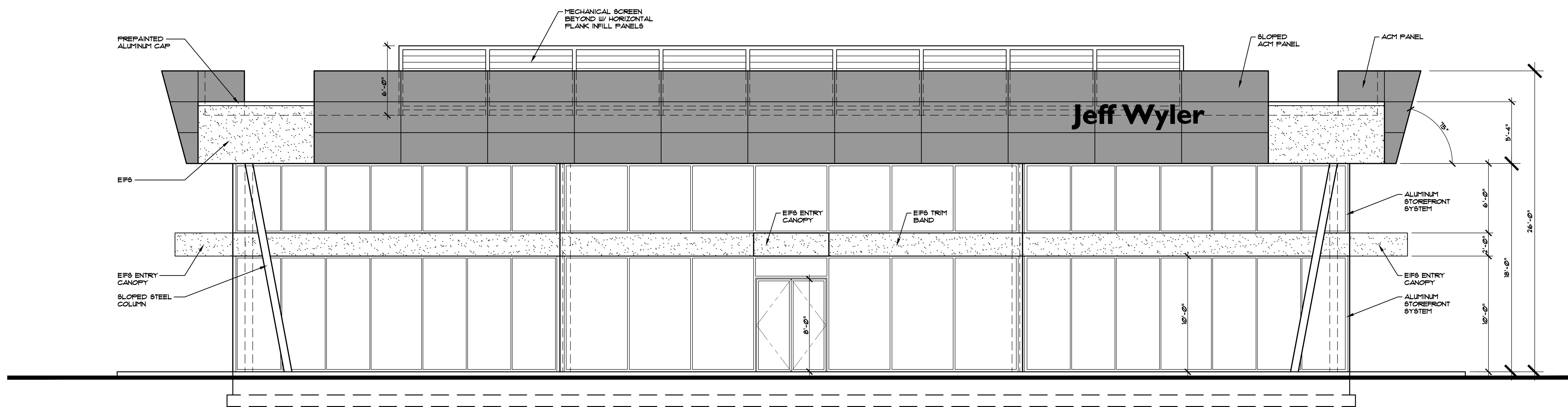
JEFF WYLER
EASTGATE
USED CARS

BATAVIA, OHIO 45103
CLERMONT COUNTY



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH (CLEPPER LANE) ELEVATION

SCALE: 1/4" = 1'-0"

NOT FOR
CONTRACT
BIDDING OR
BUILDING
PERMITS OR
CONSTRUCTION
Expiration Date 12/31/2025

A2

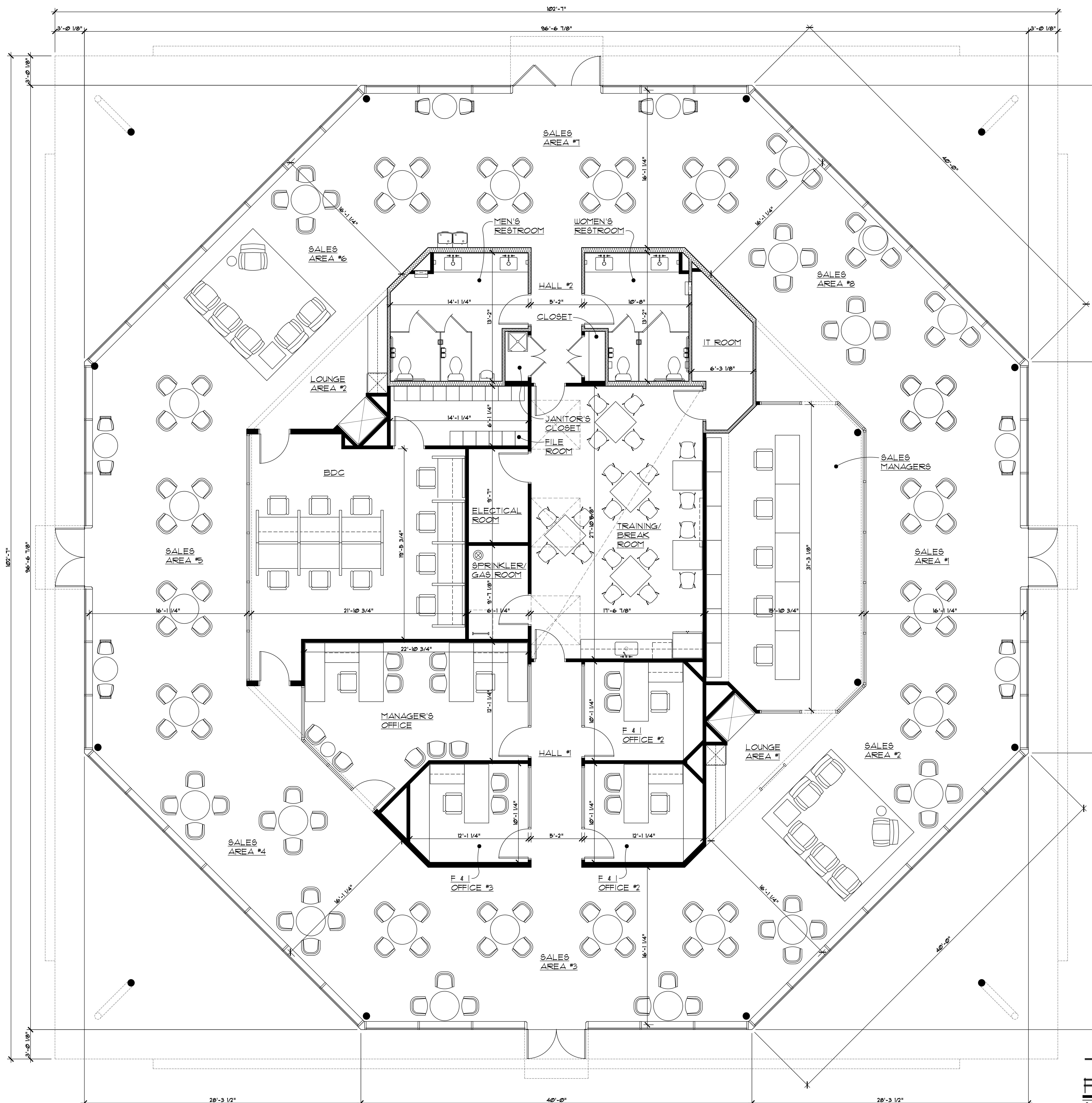
DATE: MARCH 1, 2024

REVISIONS:

SCALE: 1/4" = 1'-0"

DRAWN BY: AMW
CHECKED BY: MJD

WEST AND
SOUTH
ELEVATIONS



7,725 S.F.
FIRST FLOOR PLAN

SCALE: $1/4"$ = $1'-0"$

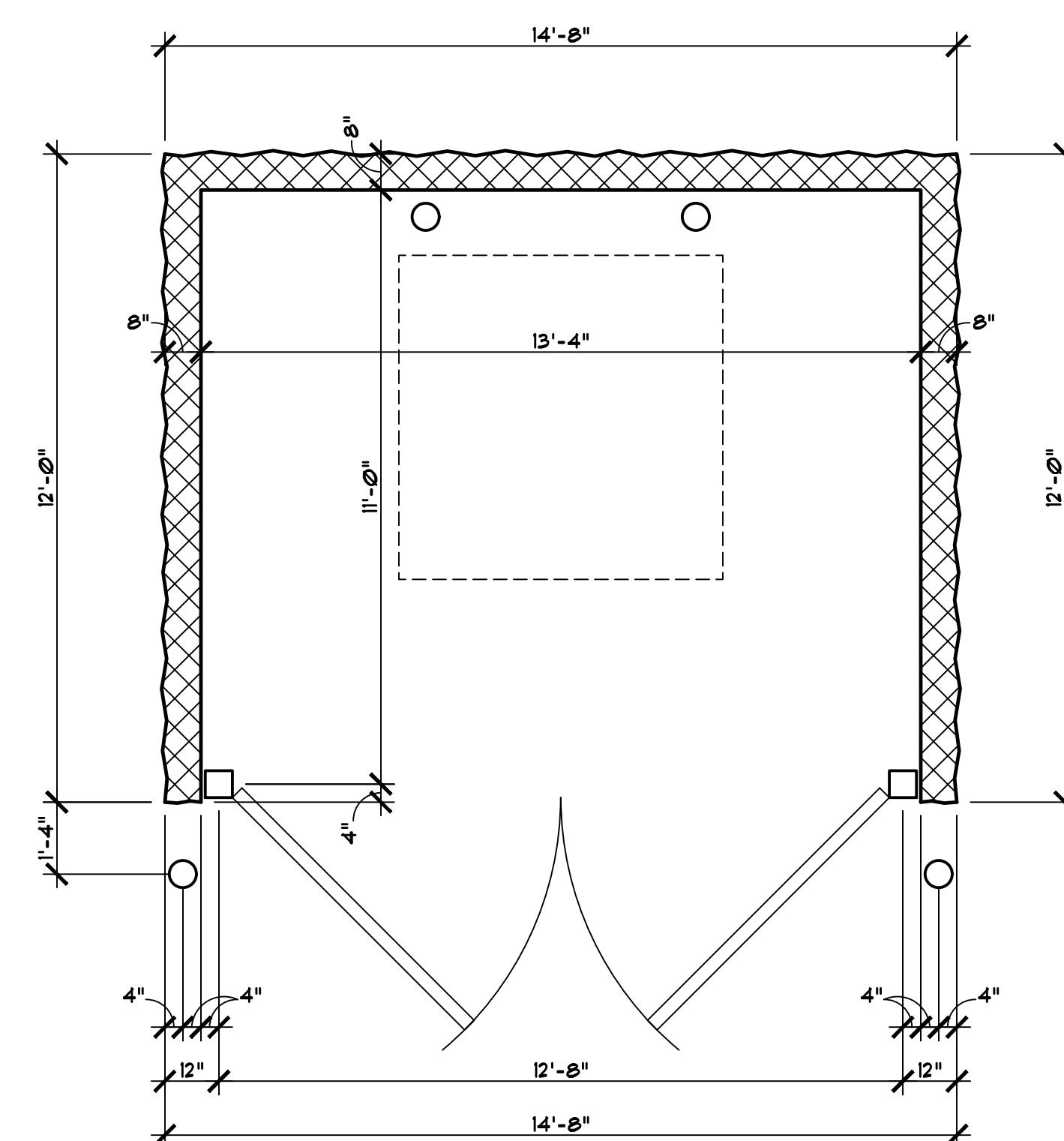
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REVISIONS

SCALE: 1/4" = 1'-0"

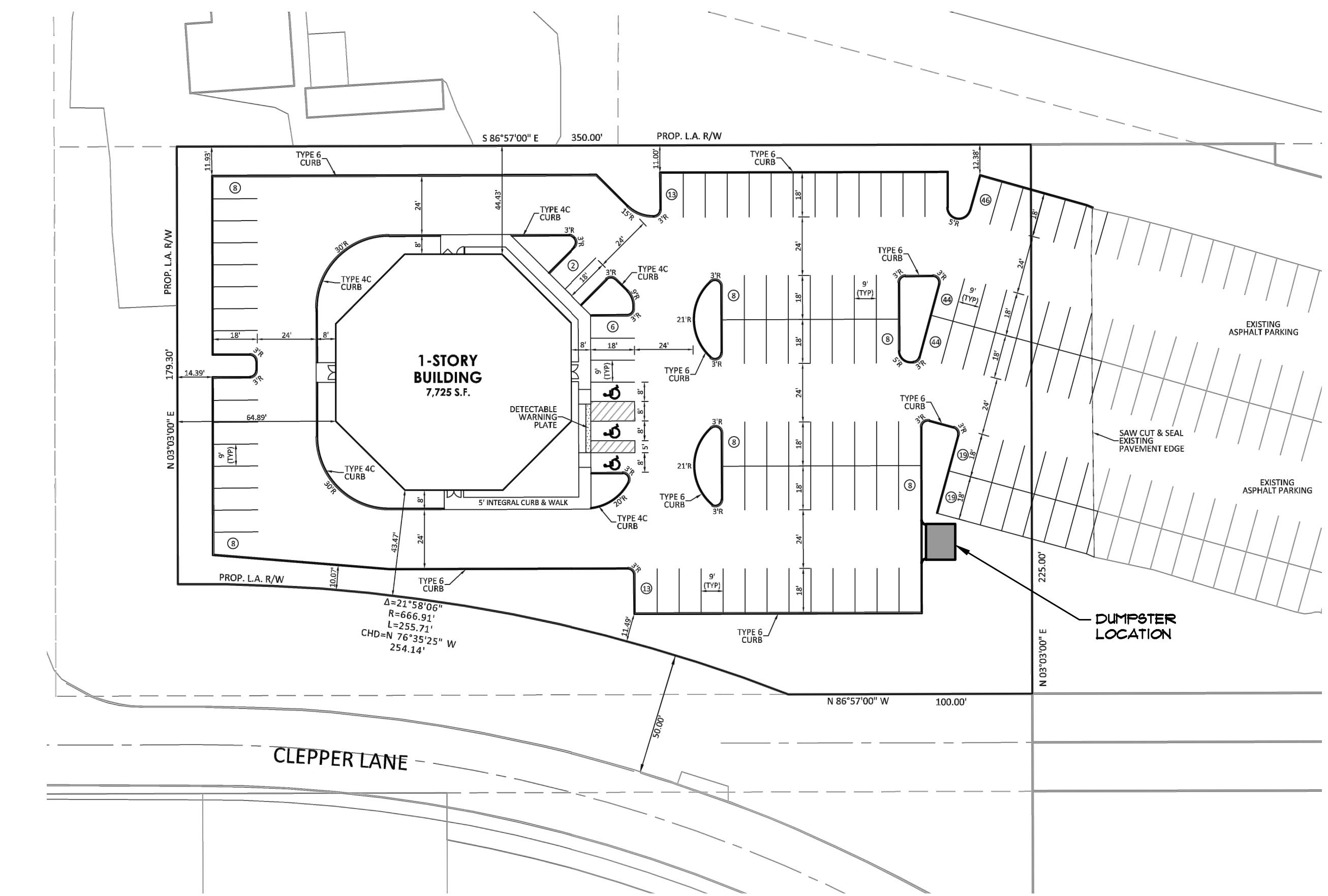
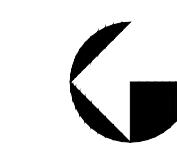
DRAWN BY: AMW
CHECKED BY: MJD

A black and white photograph of a sign. The left side of the sign contains the text 'FOR', 'TRACT', 'G OR', 'PING', 'TS OR', and 'DUCTION' stacked vertically. The right side of the sign contains the text 'A5' stacked vertically. The sign is mounted on a white wall with a black crosshair overlay.



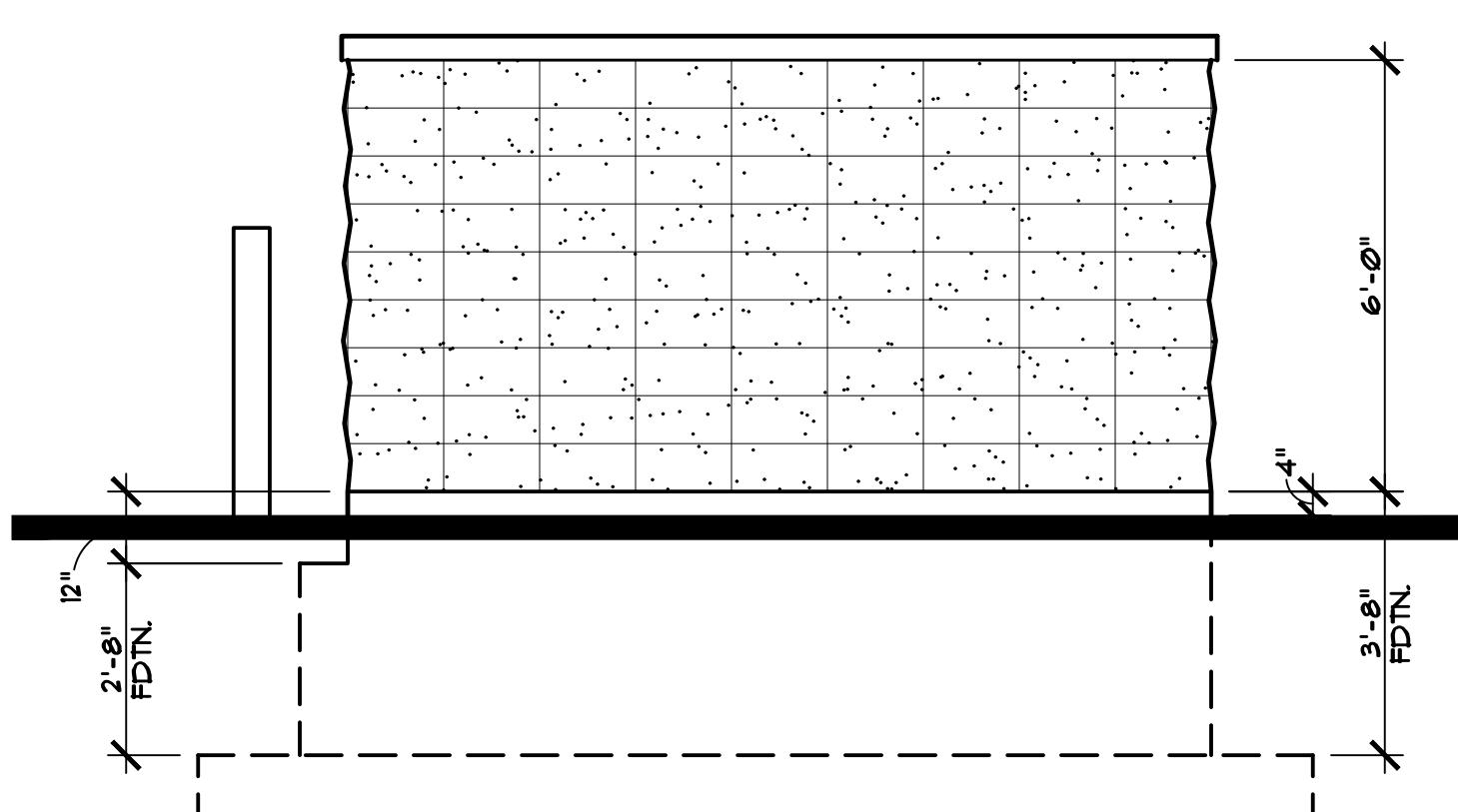
**FLOOR PLAN
@ DUMPSTER**

SCALE: 3/8" = 1'-0"



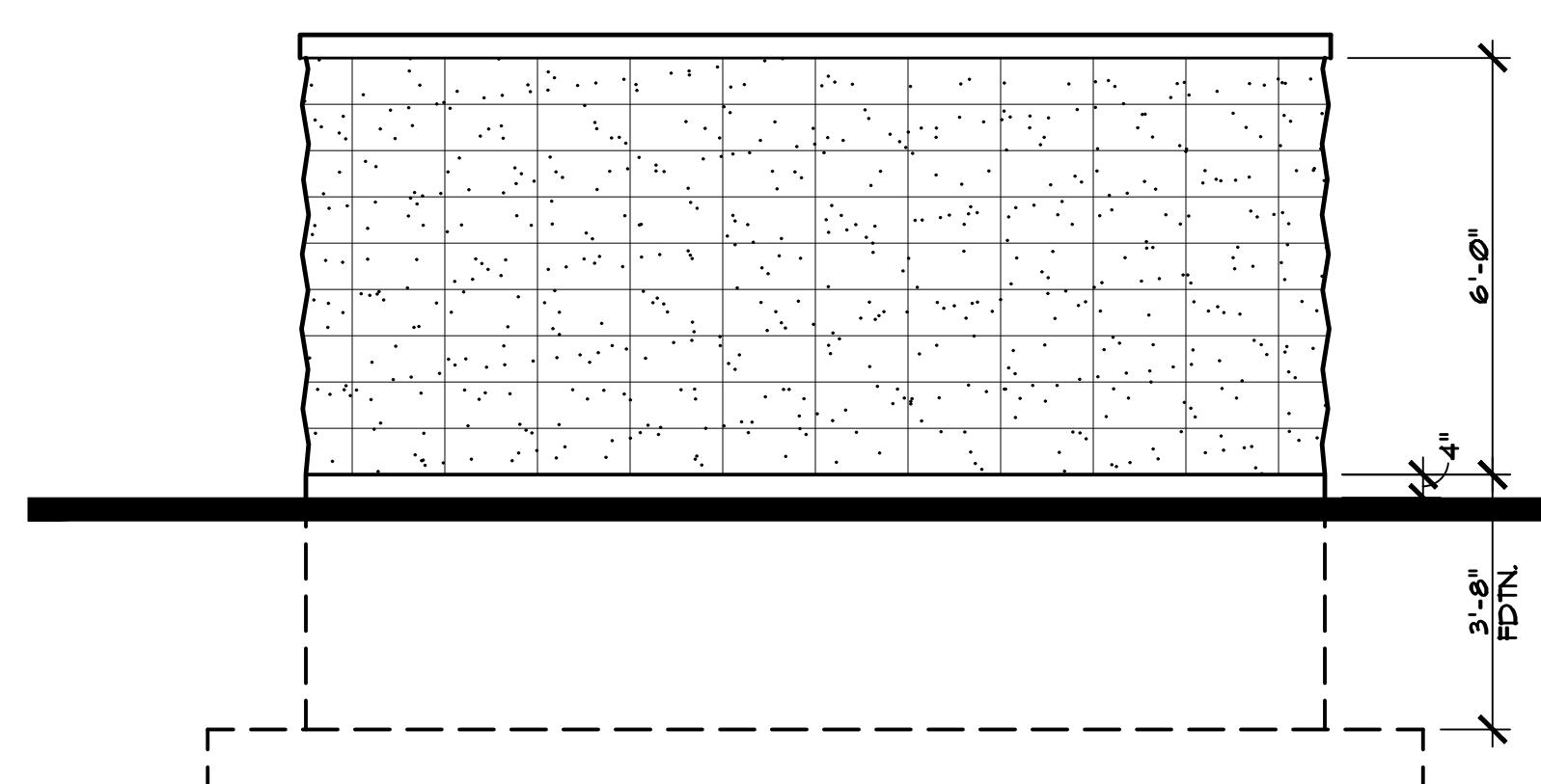
ARCHITECT'S SITE PLAN

SCALE: 1" = 40'-0"



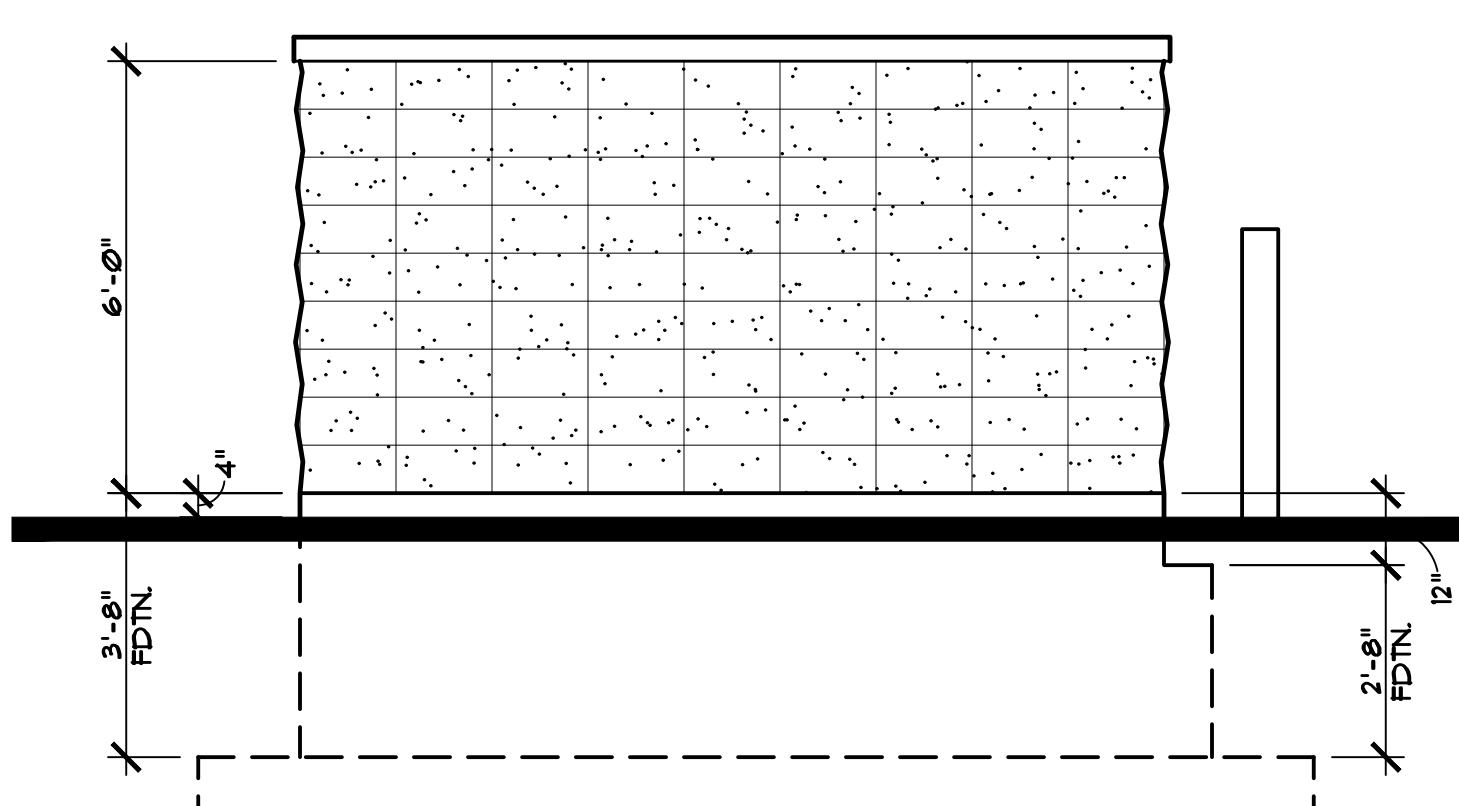
SOUTH DUMPSTER ELEVATION

SCALE: 3/8" = 1'-0"



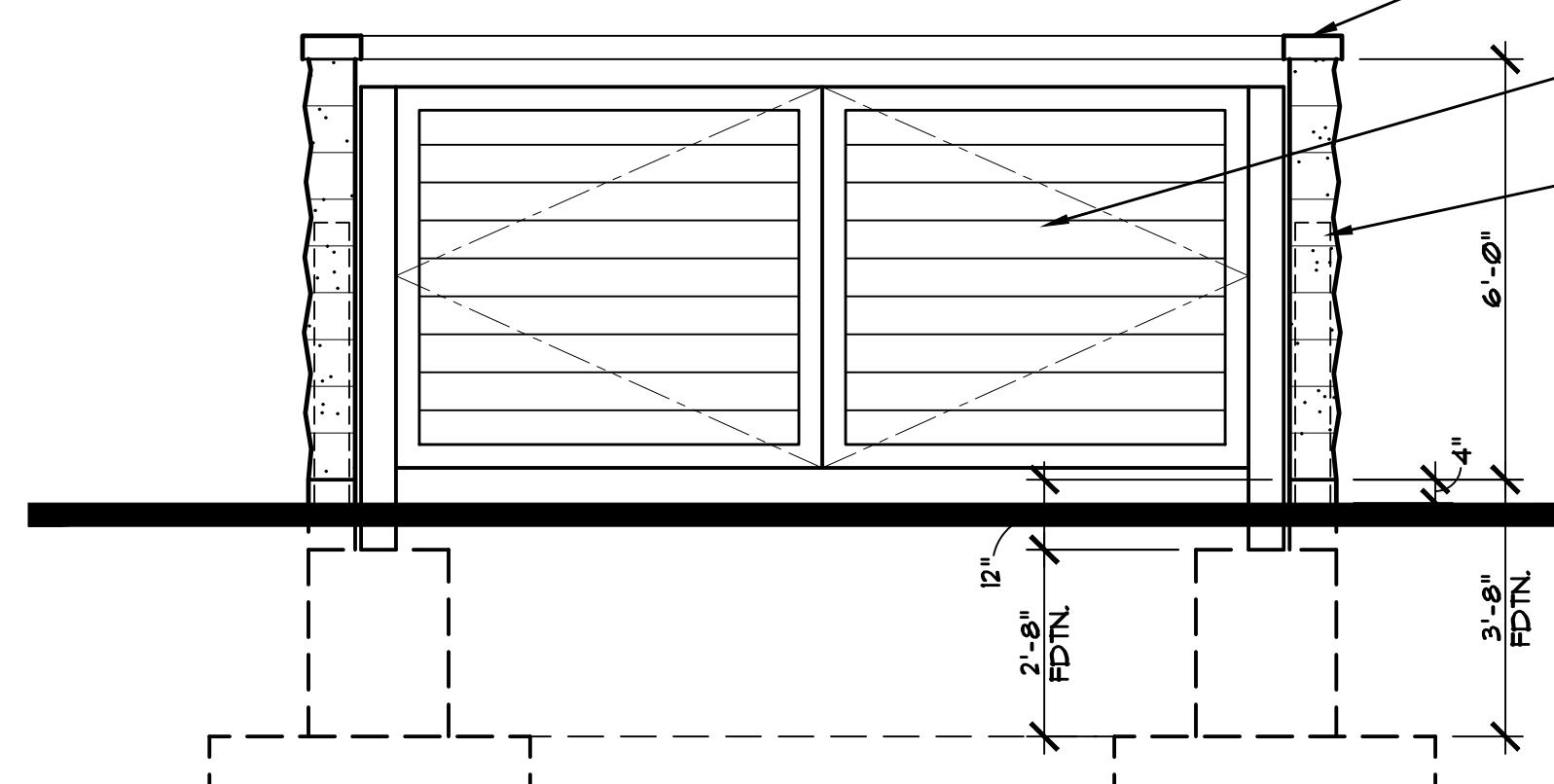
EAST DUMPSTER ELEVATION

SCALE: 3/8" = 1'-0"



NORTH DUMPSTER ELEVATION

SCALE: 3/8" = 1'-0"



WEST DUMPSTER ELEVATION

SCALE: 3/8" = 1'-0"

DATE: MARCH 1, 2024

REVISIONS:

SCALE: AS NOTED

DRAWN BY: AMW
CHECKED BY: MJD

DUMPSTER
PLANS AND
ELEVATIONS

**NOT FOR
CONTRACT
BIDDING OR
BUILDING
PERMITS OR
CONSTRUCTION**

Expiration Date: 12/31/2025