



**UNION TOWNSHIP BOARD OF TRUSTEES  
JUNE 22<sup>ND</sup>, 2023 MEETING**

## **MAJOR AMENDMENT**

**BAYER BECKER, Applicant  
4315 Ivy Point Blvd / Parcel ID # 413215F137. & 413105A086.**



***Staff Report: CASE # 8-05-Z***

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### **NATURE OF REQUEST**

The Applicant has submitted an application requesting a Major Amendment to an approved PD Planned Development District for Parcel# 413215F137. The Applicant is proposing to construct a new Children's Hospital Medical Center, with a proposed aggregate building area of approximately 109,800 square feet spread over two (2) stories—and with associated parking, landscaping, and other site improvements.

### **LOCATION**

The proposed amendment to the Ivy Pointe Commerce Park PD is situated on the western side of Ivy Pointe Blvd. The site is situated between the existing parking lot north of TQL, and near the terminus of Aicholtz Road.

### **ZONING**

Presently, the subject property is zoned PD Planned Development District, with the site bordered on the north by vacant commercial property. Lands to east are considered vacant PD with a detention pond and B-1 Business being located with the Eastgate Professional Office Building. Situated to the south of the site is zoned PD Planned Development with TQL's parking lot expansion located on the site. The properties to the west, across Interstate 275, are zoned R-2 Single Family Detached Residential.

## **RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN**

The *Horizon 2030: Union Township Comprehensive Land Use Plan* indicates that the subject property is located within the Ivy Pointe Commercial Corridor, which identifies this site as appropriate for high quality office uses, transitional service oriented/retail uses, or high-density residential uses. Furthermore, the plan calls for mixed use development, monument signage, high quality façade design, and pedestrian connectivity. Minimum target densities of at least 12-15 units per acre are recommended for this area of the Township, with limitations on the amount of impervious surface and a reduction of surface parking encouraged. Furthermore, the land use plan specifically references both mixed use development as well as senior housing as development priorities within the Township.

## **BACKGROUND**

Originally, the 100+/- acre Ivy Pointe Commerce Park Planned Development received approval from the Board of Trustees in February of 2006. The original approval consisted of a preliminary concept layout for the project site—which incorporated numerous multi-story Class “A” office buildings organized into a campus setting, a large recreational park with a walking trail, and an office/office warehousing area. Since the original plan was conceptual in nature, many final development details were excluded, with the intention being to review and approve individual users or developments within the park through the PD Planned Development Major Amendment process. The first Major Amendment consisted of a proposal by Cincinnati United Contractors to develop a portion of the office park for Total Quality Logistics, Inc. The first phase of the development was completed in 2007.

A second Major Amendment was submitted for a future Clermont County Public Library Branch and administrative office building to be situated on the subject property, with primary access along Clough Pike; however, the Library opted to locate to another location in the Eastgate Area. In 2008, a third amendment was approved and a second 100,000 square foot office building was built at the southeastern corner of the development. In 2012, TQL received approval for the construction of a new 133,000 square foot. office tower. In 2015, the Clover Group received approval to modify the approved PD to allow for the development of 119 senior apartments on the Clough Pike remnant parcel. Mercy Health continued construction with an 88,000 +/- square foot building in 2018 and Sharefax Credit Union constructed a 4-story headquarter building in 2019. Most recently, TQL has constructed two additions onto the headquarter—one in 2020 and one now underway in 2023—totaling more than 255,000 square feet of additional office space.

## **STAFF REVIEW & ANALYSIS**

Overall, the Applicant has proposed a project of regional significance at the aforementioned property, with appropriate ingress, egress, and site improvements required to accommodate the significant building area proposed. It is anticipated that the proposed general medical use facility will be a considerable investment on the parcel. A review of the proposed building elevations reveals an attractive building, with the majority of the building consisting of brick and glass windows—and similar architecture to the existing structures within Ivy Pointe. Glass with metal fins is proposed for the front and rear of the building along with colored metal panels, traditional to previous Children's Hospital developments. Consideration should be given to the roof equipment from the vantage point(s) of Interstate 275. With the lower elevation of the site from the interstate perspective, screening of roof equipment may be required to improve overall aesthetics. The site development plan demonstrates a building lot area coverage ratio of 15%, with more than 32% open space provided—meeting the required minimum open space threshold through the provision of curbed landscaping islands throughout a majority of the project site.

A review of the other site improvements illustrates the continuation of the walking path from the existing stub of the TQL parking lot. The plan reveals a single access point into the site from the existing curb cut located on Ivy Point Blvd. The proposed access drive would serve the southern Children's lot and would also provide future access to the property to the north (which is also owned by Children's Hospital Medical Center). Ample landscaping has been provided throughout the development plan. A signage package has not been included within the current application; however, proposed signage can be found on building renderings. Signage, including all freestanding signs, would be required to be consistent with similar developments within the Ivy Pointe Commerce Park. Details of the materials used for rear machinery area along Interstate 275 would need to be included. The preferred screening would consist of stone, block or brick material. Additionally, the proposed fencing and screening materials would need to be specified around the therapy area and dumpster enclosures.

## **ACTION REQUIRED**

In accordance with Section 680-687 of the Zoning Resolution, the Board of Trustees is to enter a motion to approve, approve with some modification, or deny the Applicant's request to approve a Major Amendment to an approved PD Planned Development District and the accompanying Formal Development Plan as submitted, and / or with any further modifications as deemed necessary by the Board:

## **RECOMMENDED MODIFICATIONS**

If the Board should choose to grant favorable consideration to this Overlay District application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

1. The Applicant would need to address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
2. The Applicant would need to provide a sign package with wall and monument signage similar to recent developments within Ivy Pointe, subject to administrative review and approval.
3. The Applicant would need to provide a detail for the screening around the rear machinery area. Masonry materials would be preferred, subject to administrative review and approval.
4. The final material for fencing around the Therapy Area and the dumpster enclosure would be subject to administrative review and approval.
5. Final elevation plans would need to be included with emphasis on the visibility of the equipment needed to be placed on the roof. Visible roof units would need to be shielded, subject to administrative review and approval.



May 9, 2023

Union Township  
Department of Planning & Zoning  
4350 Aicholtz Road  
Cincinnati, OH 45245  
Attn: Mr. Mark McCormack

Re: Major Amendment Application  
4315 Ivy Point Blvd (Cincinnati Children's Hospital Medical Center)

Mark,  
Enclosed please find the following items necessary for a Major Amendment Application in a Planned Development District:

- Completed zoning application
- \$400 application fee (payable by credit card)
- Trip generation memo
- (5) full-size sets of plans and (5) reduced sets at 11"x17"
  - Architectural, civil, landscape, and site lighting plans included

As required by "Article V." on the zoning application, below is a summary of the proposed improvements:

*The new facility will provide a comprehensive program expansion of pediatric medical and surgical specialty clinics and services, including: OT/PT, Speech, Audiology, Ophthalmology, Sports Medicine/PT, Radiology and MRI, Outpatient Lab, Outpatient Surgical Services, Urgent Care and Behavioral and Mental Health. The two-story building includes a total footprint of approximately 110,000 SF. Approximately 390 parking spaces are planned for staff and visitors. Access to the site will be provided via connection to an existing curb cut on Ivy Pointe Blvd. Site lighting and landscaping improvements are planned to meet or exceed local zoning requirements.*

Please review the documents provided and let us know of any questions or comments. Please also include us on the agenda for the 6/13/23 Board of Trustees meeting. Thank you.

Sincerely,

A handwritten signature in blue ink that reads "M Dooley".

Michael P. Dooley, PE, LEED AP  
Principal, Bayer Becker (Applicant)



## Memorandum

Date: May 8, 2023

To: Mark McCormack, Union Township

From: Katie Dillenburger, Bayer Becker

cc: Eric Zell, Cincinnati Children's Hospital Medical Center  
Mike Dooley, Bayer Becker

Subject: Cincinnati Children's Hospital Medical Center – Eastgate Project  
Trip Generation

Bayer Becker has prepared trip generation calculations for the Cincinnati Children's Hospital Medical Center (CCHMC) Eastgate Project, which consists of the development of the property located at 4315 Ivy Pointe Boulevard, in Union Township, Clermont County, Ohio.

## Proposed Development

The site will include a two-story medical office building at approximately 109,800 square feet (total). Access is to be provided at Ivy Pointe Boulevard.

Ivy Pointe Boulevard is classified as a local roadway. It generally consists of two lanes, one per direction; however, left turn lanes are provided at defined curb cuts/future driveway locations and a center median is provided between.

## Trip Generation

Trip generation for the proposed development was estimated using the data and methodology presented in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11<sup>th</sup> Edition* and the ITE *Trip Generation Handbook, 3<sup>rd</sup> Edition*.

More specifically, site trips generated by the proposed development, during the weekday AM and PM peak hour of adjacent street traffic, are presented in the following table.

Land Use	ITE Code	Size	Unit	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
Medical Office Building	720	109.8	TSF	207	55	262	133	311	444

Trip generation information, excerpted from the ITE *Trip Generation Manual* is provided by attachment.

Please contact the author(s) of this memorandum with any questions.

# Land Use: 720

## Medical-Dental Office Building

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### Description

A medical-dental office building is a facility that provides diagnoses and outpatient care on a routine basis but is unable to provide prolonged in-house medical and surgical care. One or more private physicians or dentists generally operate this type of facility. General office building (Land Use 710) and clinic (Land Use 630) are related uses.

### Land Use Subcategory

Analysis of medical-dental office building data found that trip generation rates are measurably different for sites located within or adjacent to a hospital campus and sites that are stand-alone. Data plots are presented for these two land use subcategories.

### Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Connecticut, Kentucky, Maryland, Minnesota, New Jersey, New York, Ohio, Oregon, Pennsylvania, South Dakota, Texas, Virginia, Washington, and Wisconsin.

### Source Numbers

104, 109, 120, 157, 184, 209, 211, 253, 287, 294, 295, 304, 357, 384, 404, 407, 423, 444, 509, 601, 715, 867, 879, 901, 902, 908, 959, 972

# Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 24

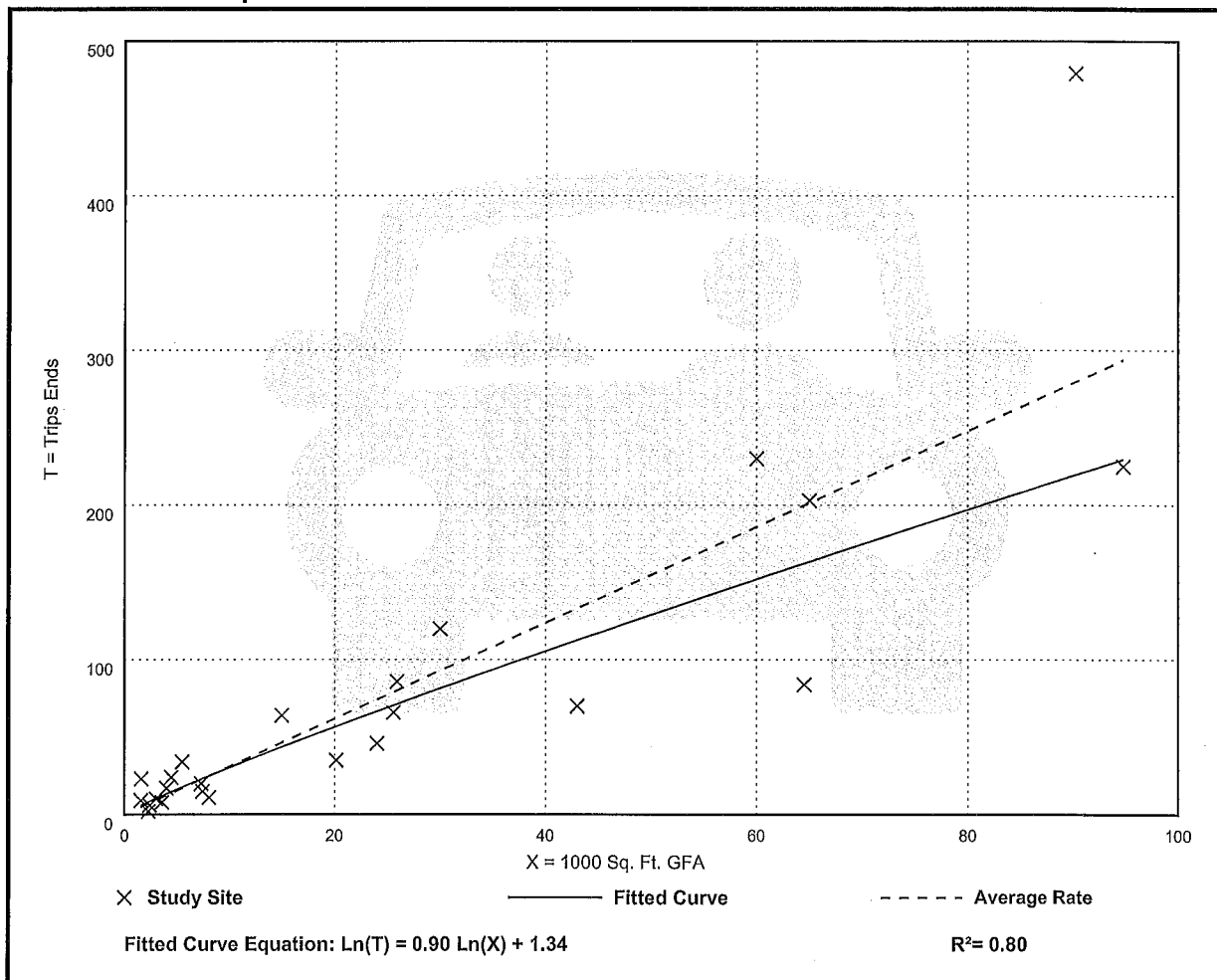
Avg. 1000 Sq. Ft. GFA: 25

Directional Distribution: 79% entering, 21% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.10	0.87 - 14.30	1.49

## Data Plot and Equation



# Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 30

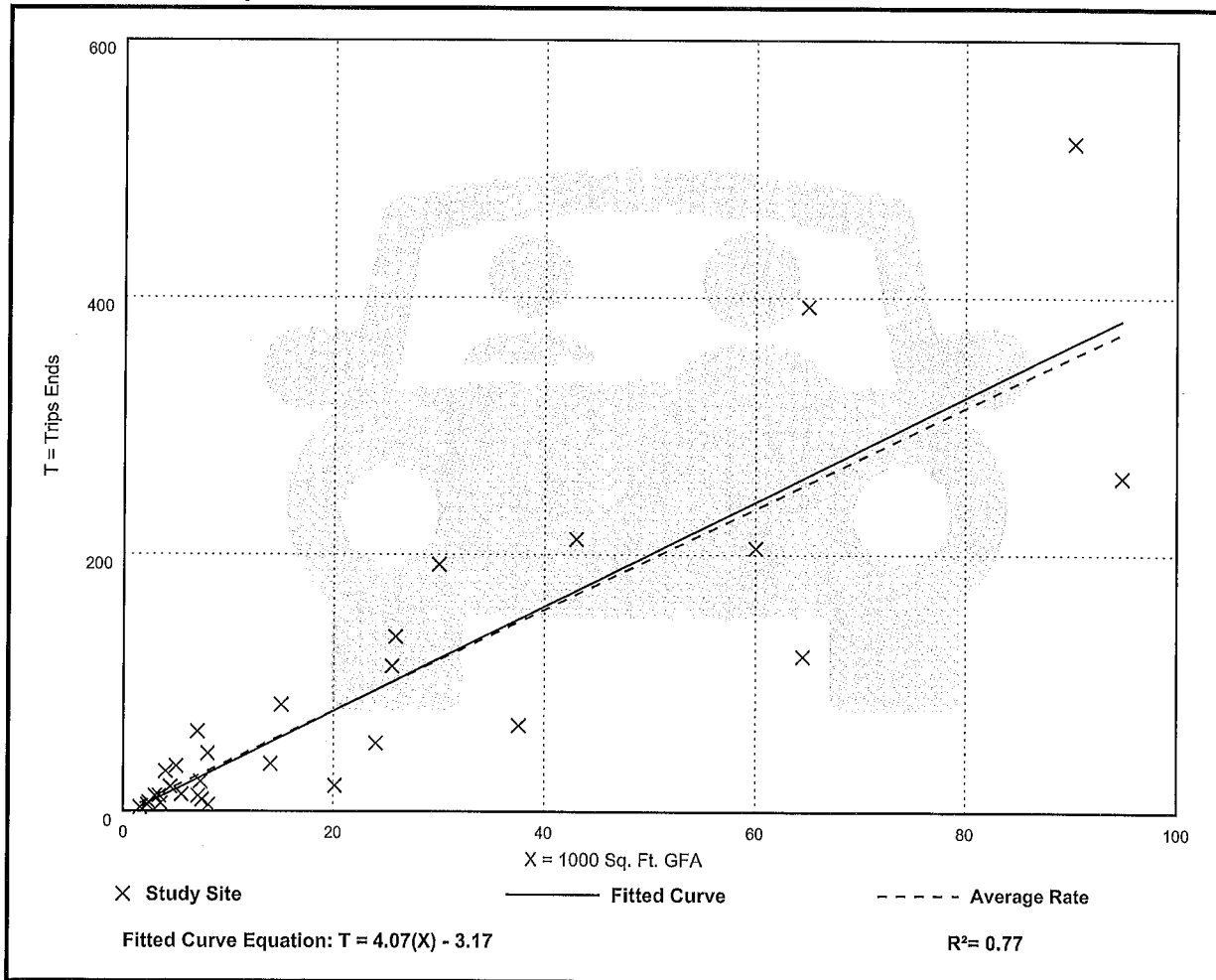
Avg. 1000 Sq. Ft. GFA: 23

Directional Distribution: 30% entering, 70% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.93	0.62 - 8.86	1.86

## Data Plot and Equation





CINCINNATI CHILDREN'S  
HOSPITAL MEDICAL CENTER  
EASTGATE

4315 Ivy Pointe Boulevard,  
Union Township, OH 45245

ISSUED FOR ZONING REVIEW



OWNER

Cincinnati Children's Hospital  
Medical Center  
3333 Burnet Ave  
Cincinnati, OH 45229

PROJECT TEAM

**PROJECT ARCHITECT**  
**GBBN Architects Inc.**  
232 E. 8th St.  
Cincinnati, OH 45202-2217  
513.241.8700  
www.gbbn.com

**Civil Engineer**  
**Bayer Becker**  
1426 Race St.  
Cincinnati, OH 45202  
513.834.6151

**Landscape Architect**  
**Human Nature, Inc.**  
990 St. Paul Drive  
Cincinnati, OH 45206  
513.281.2211

**Structural Engineer**  
**Schaefer Engineering**  
537 East Pete Rose Way, Suite 400  
Cincinnati, Ohio 45202  
513.542.3300

**MEP | FP Engineer**  
**Heapy Engineering**  
1400 West Dorothy Lane  
Dayton, Ohio 45409  
937.224.0861

DRAWING INDEX

GENERAL	TITLE SHEET ZONING REVIEW
0001.2	
C001	OVERALL SITE LAYOUT PLAN
C002	SITE LAYOUT PLAN - EAST
C003	SITE LAYOUT PLAN - WEST
L001	TREE PLANTING PLAN
L002	UNDERSTORY PLANTING ENLARGEMENT PLAN
L003	UNDERSTORY PLANTING ENLARGEMENT PLAN
L004	PLANTING SCHEDULE & DETAILS
A001	LEVEL 1 - OVERALL FLOOR PLAN
A002	LEVEL 2 - OVERALL FLOOR PLAN
A003	OVERALL ROOF PLAN
A004	BUILDING EXTERIOR 3D AXONOMETRIC VIEWS
A005	BUILDING ELEVATIONS
E001	COVER SHEET
E002	SITE PLAN - ELECTRICAL
E003	PHOTOMETRIC SITE ANALYSIS

OVERALL PROJECT DESCRIPTION

THE CHMC EASTGATE PROJECT WILL BE BROKEN DOWN INTO SEVERAL SEPARATE BID/PERMIT PACKAGES DUE TO CONSTRUCTION SCHEDULING AND WILL BE RELEASED OVER THE COURSE OF SEVERAL MONTHS. FOR THE PLANS EXAMINER THE INFORMATION BELOW OUTLINES THE ANTICIPATED BID PACKAGES GENERAL SCOPE OF WORK. BID PACKAGE LETTER DESIGNATIONS ARE INTENDED TO PRESCRIBE THE ORDER IN WHICH THEY WILL BE SUBMITTED TO THE BUILDING DEPARTMENT.

REVIEWED AND PERMITTED BY CLEREMONT COUNTY

PACKAGE A - SITE AND UTILITIES (THIS PACKAGE)  
PACKAGE B - CORE AND SHELL  
PACKAGE C - INTERIOR FIT-OUT

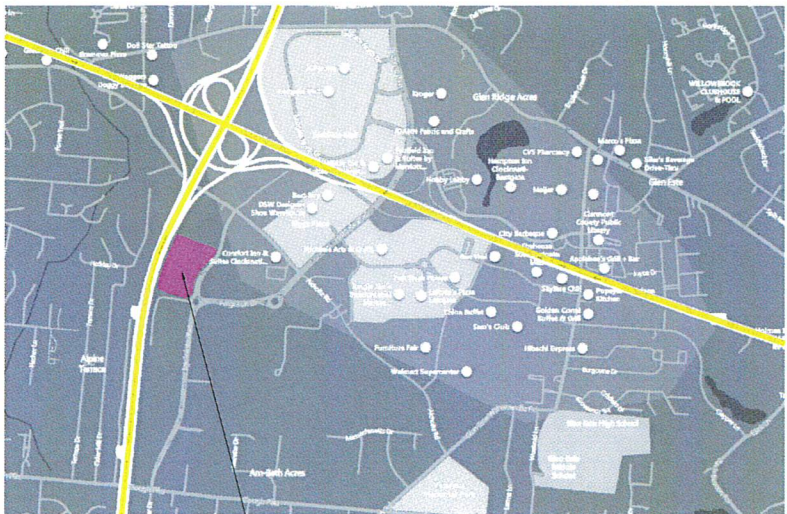
GOVERNING CODES AND STANDARDS

2017 OHIO BUILDING CODE  
2018 ADA STANDARDS FOR ACCESSIBLE DESIGN

THIS PACKAGE IS SUBMITTED FOR ZONING REVIEW AND INCLUDES ARCHITECTURAL DRAWINGS FOR REFERENCE.

SITE AND BUILDING SIGNAGE TO BE SUBMITTED AND REVIEWED SEPARATELY.

LOCATION MAP



4315 IVY POINTE BOULEVARD  
UNION TOWNSHIP, OH 45245

RECEIVED

MAY 09 2023

UNION TOWNSHIP  
PLANNING & ZONING



PROJECT ARCHITECT  
332 E. 8th St.  
Cincinnati, OH 45202-2217  
513.241.8700  
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**Messer**  
WeAreBuilding.



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DRAWING ISSUE

DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION
1	05.09.23	ISSUED FOR ZONING

DRAWING TITLE

TITLE SHEET  
ZONING REVIEW

SEAL

JOB NUMBER

14349.01

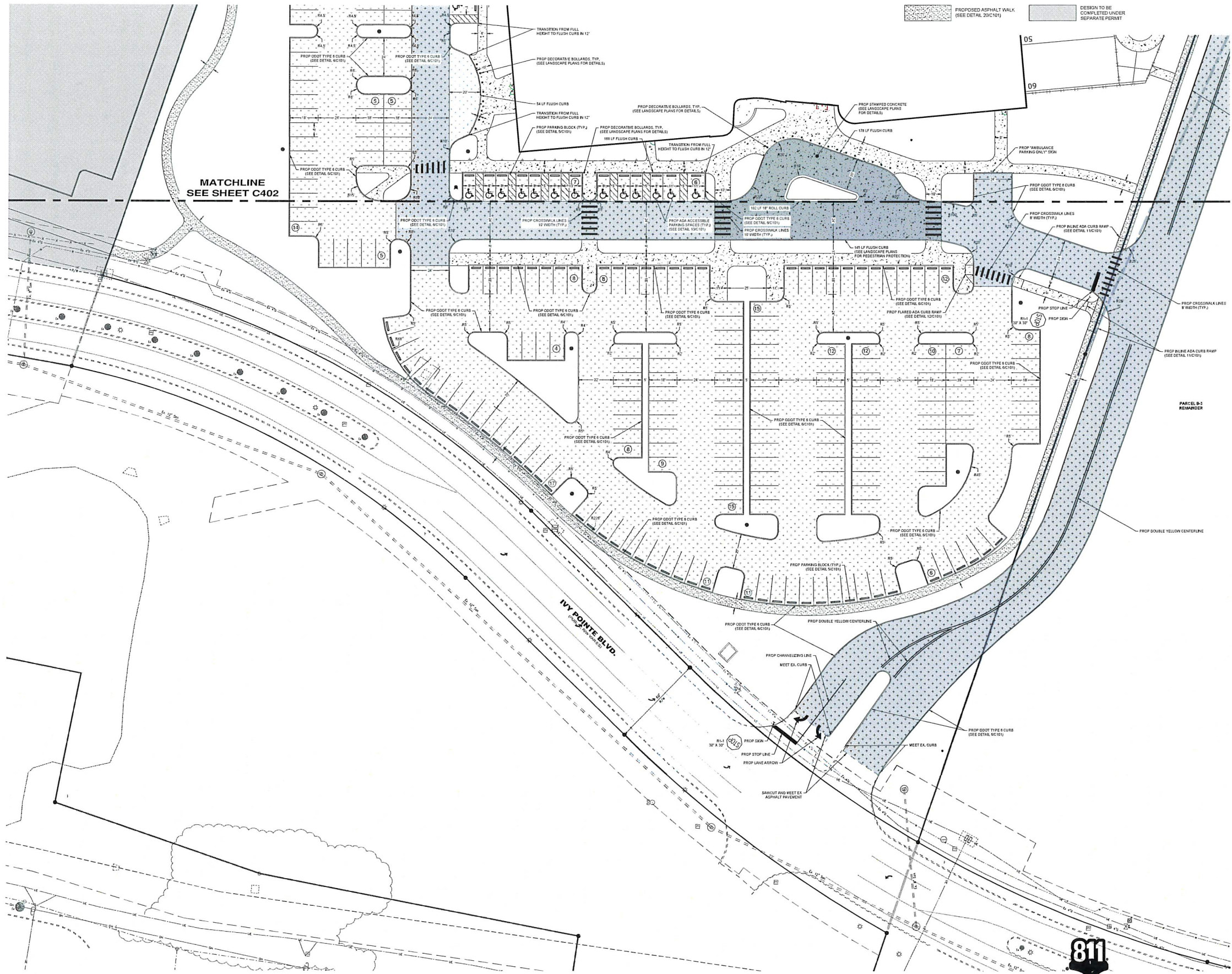
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05.09.2023









**LEGEND**

PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL NC101)	PROPOSED CONCRETE DRIVE (SEE DETAIL AC101)
PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL NC101)	PROPOSED DUMPSTER PAD (SEE DETAIL NC101)
PROPOSED CONCRETE WALK (SEE DETAIL NC101)	PROPOSED GRAVEL
PROPOSED ASPHALT WALK (SEE DETAIL NC101)	DESIGN TO BE COMPLETED UNDER SEPARATE PERMIT

Base of Scale: 1" = 20' (Scale: 1" = 20')



**PROJECT ARCHITECT**  
332 E. 8th ST.  
Cincinnati, OH 45202-2217  
v 513.241.6700  
GBBN.COM



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**DRAWING ISSUE**

**CONSTRUCTION DOCUMENTS**

PACKAGE A - SITE & UTILITIES		
NO.	DATE	DESCRIPTION
1	3.31.23	CONSTRUCTION DOCUMENTS
2	6.09.23	ISSUED FOR ZONING

**DRAWING TITLE**

**SITE LAYOUT  
PLAN - EAST**

SEAL



**JOB NUMBER**

14349.01

**C301**

03.31.2023

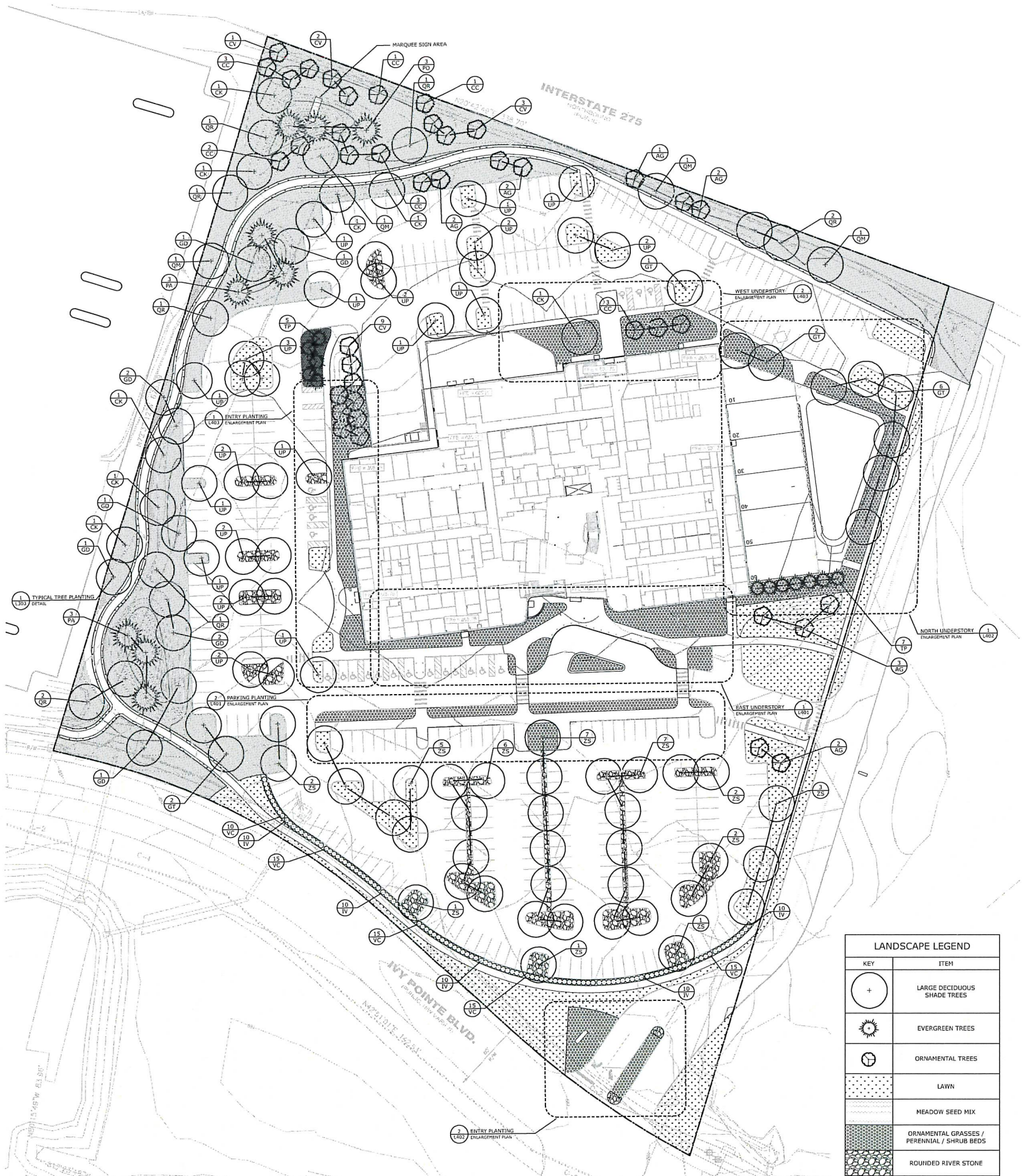
**811**  
Know what's below.  
Call before you dig.  
LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

**bayer becker**  
www.bayerbecker.com  
1404 Race Street, Suite 204  
Cincinnati, OH 45202 • 513.834.6151









1 PLANTING PLAN  
1"=30'-0"

GENERAL NOTES

1. BASE INFORMATION PROVIDED BY S&ME, 1404 RACE ST #204, CINCINNATI OH 45202. 513.834.6151.
2. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES, STRUCTURES, PAVEMENT AND VEGETATION TO REMAIN, AND TAKE THE NECESSARY PRECAUTIONS FOR THEIR PROTECTION DURING CONSTRUCTION. UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITIES. ANY FIELD ADJUSTMENTS REQUIRED SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS DURING THE COURSE OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO OSHA REQUIREMENTS FOR PUBLIC AND WORKER SAFETY. SITE SHOULD BE KEPT IN A SAFE MANNER THAT WOULD NOT JEOPARDIZE THE GENERAL PUBLIC SAFETY.
4. CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHER TRADES TO INSURE PROPER AND TIMELY EXECUTION OF THE WORK.

PLANTING NOTES

1. FINAL GRADING SHALL BE COMPLETED PRIOR TO PLANTING OR PLANTING LAYOUT. THIS SHOULD INCLUDE DRAINAGE PER THE GRADING PLAN AND TOPSOIL AS SPECIFIED.
2. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF IT IS DEAD, DAMAGED, DESTROYED, OR REMOVED UP TO ONE YEAR AFTER INSTALLATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OR DESIGN/ BUILDER OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
4. REFERENCE PLANTING DETAILS & PLANT SCHEDULE. PLANT SPECIES AND LAYOUT PROVIDED BY THE LANDSCAPE ARCHITECT.
5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING IN ALL PLANTING AREAS.
6. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
7. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
8. APPLY 2" SHREDDED HARDWOOD MULCH TO ALL TREE AND SHRUB PLANTING AREAS.
9. ALL DISTURBED AREAS TO BE COVERED IN EROSION CONTROL MATTING OR BY OTHER APPROVED STABILIZATION MEASURES. SEE EROSION PROTECTION AND SEDIMENT CONTROL PLAN, NOTES AND DETAILS.
10. SEE SPECIFICATIONS FOR DETAILS REGARDING PLANTING SCHEDULE, PLANT QUALITY, AND SPECIAL INSTALLATION REQUIREMENTS.

ZONING REQUIREMENTS		
REQUIREMENTS	COVERAGE (%)	COVERAGE (SF)
Proposed landscaping area; Min. 10% required	25%	102,420 sf
Landscape parking islands; Min 5% of parking area	10%	14,681 sf
REQUIREMENTS	QTY.	COMMENTS
1 shade tree/200 sf of islands 74 Needed	68	6 Additional trees added around parking areas to make up numbers.
TOTAL SITE	410,829 sf	

PLANT SCHEDULE	
KEY SPECIES	
DECIDUOUS TREES	
GT	Gleditsia triacanthos var. inermis 'Shademaster' Shademaster Thornless Honeylocust
GD	Gymnocladus dioica 'Espresso' Espresso Kentucky Coffeetree
QM	Quercus macrocarpa Bur Oak
QR	Quercus rubra Northern Red Oak
QS	Quercus shumardii Shumard Oak
UP	Ulmus parvifolia 'Emer II' Allee Lacebark Elm
ZS	Zelkova serrata 'Green Vase' Green Vase Zelkova
CONIFEROUS TREES	
PA	Picea abies Norway Spruce
PO	Picea Omritka Serbian Spruce
TP	Thuja 'Green Giant' (or 'Spring Grove') Green Giant (or 'Spring Grove') Arborvitae
ORNAMENTAL TREES	
AG	Amelanchier x grandiflora 'Autumn Brilliance' 'Autumn Brilliance' Apple Serviceberry
CC	Cercis canadensis Eastern Redbud 'Appalachian Red'
CK	Cladradis kentukea Yellowwood
CV	Crataegus viridis 'Winter King' 'Winter King' Green Hawthorn
KEY SHRUBS	
IV	Ilex verticillata 'Shortcake' Winterberry
VC	Viburnum carlesii 'Spice Islands' Koreanspice Viburnum

NOTE: SEE L404 FOR FULL PLANT SCHEDULE

LANDSCAPE LEGEND	
KEY	ITEM
	LARGE DECIDUOUS SHADE TREES
	EVERGREEN TREES
	ORNAMENTAL TREES
	LAWN
	MEADOW SEED MIX
	ORNAMENTAL GRASSES / PERENNIAL / SHRUB BEDS
	ROUNDED RIVER STONE



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937.224.0861

DRAWING ISSUE

DESIGN DEVELOPMENT

NO.	SCALE	DATE	FOR
1	1/20/23	SCHEMATIC DESIGN	
2	5/8/23	ISSUED FOR ZONING	

DRAWING TITLE

PLANTING PLAN

KEY PLAN

CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EAST SIDE MOB Ivy Pointe & Ferguson Dr. Union Township, Cincinnati, OH 45245

SEAL

PRELIMINARY  
NOT FOR  
CONSTRUCTION

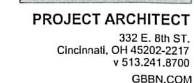
JOB NUMBER

14349.01

L400

01.20.2023





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WeAreBuilding.



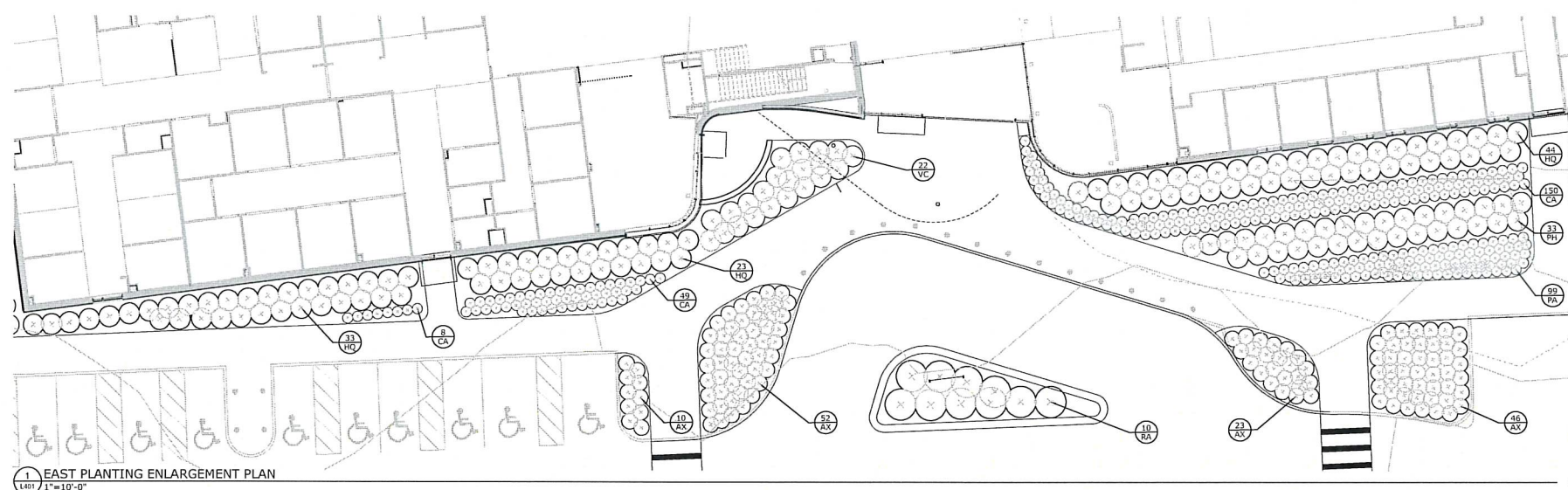
## CONSULTANTS

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Cincinnati, Ohio 45202  
513.542.3300

**MEP / FP Engineer**  
Heapy Engineering  
1400 West Dorothy Lane  
Dayton, Ohio 45400  
937.234.0861



PLANT SPECIES	
KEY	SPECIES
<b>SHRUBS</b>	
AX	<i>Alexis x grandiflora</i> 'Kaleidoscope' Kaleidoscope Glossy Abelia
AM	<i>Aronia melanocarpa</i> 'Low Scape Mound' Low Scape Mound Chokeberry
HQ	<i>Hydrangea quercifolia</i> 'Applesauce' Applesauce Oakleaf Hydrangea
IV	<i>Ilex verticillata</i> 'Shortcake' Winterberry Shortcake
PH	<i>Physocarpus opulifolius</i> 'Tiny Wine' Tiny Wine Gold Minkbare
SA	<i>Rhus aromatica</i> 'Gro-low' Gro-low Sumac
SJ	<i>Spiraea japonica</i> 'Anthony Waterer' Anthony Waterer Spiraea
VC	<i>Viburnum carlesii</i> 'Spice Islands' Koreanopac Viburnum
VP	<i>Viburnum plicatum</i> 'Pocpom' Pocpom Japanese Snowball Viburnum
<b>ORNAMENTAL GRASSES AND GROUNDCOVER</b>	
CA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' Karl Foerster Reed Grass
ES	<i>Eragrostis spectabilis</i> Purple Plains Lovegrass
PA	<i>Pennisetum alopecuroides</i> 'Hamelii' Hamelii Dwarf Fountain Grass
VN	<i>Vincela minor</i> 'Atropurpurea' Atropurpurea

NOTE: SEE L404 FOR FULL PLANT SCHEDULE

## DRAWING ISSUE

## DESIGN DEVELOPMENT

[illegible]

## DRAWING TITLE

### UNDERSTORY PLANTING ENLARGEMENT PLAN

### KEY PLAN

SEAL

PRELIMINARY  
NOT FOR  
CONSTRUCTION

JOB NUMBER

14349.01

L401

01.20.2023

CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EAST SIDE MOB Iwy Pointe & Ferguson Dr. Union Township, Cincinnati, OH 45245





PROJECT ARCHITECT  
332 E. 8th ST.  
Cincinnati, OH 45202-2217  
v 513.241.8700  
GBBN.COM

**Messer**  
WeAreBuilding.



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937.224.0861

DRAWING ISSUE

DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION
1	5.5.23	ISSUED FOR ZONING

DRAWING TITLE

UNDERSTORY  
PLANTING  
ENLARGEMENT  
PLAN

KEY PLAN

SEAL

PRELIMINARY  
NO FOR  
CONSTRUCTION

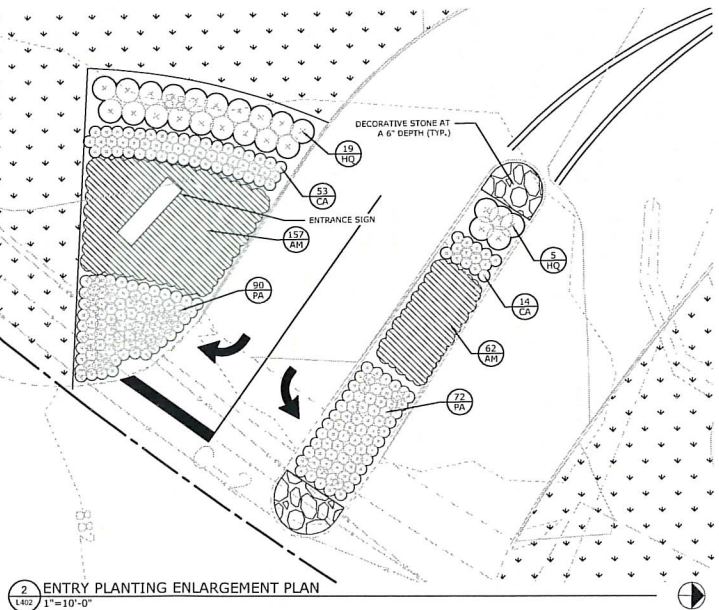
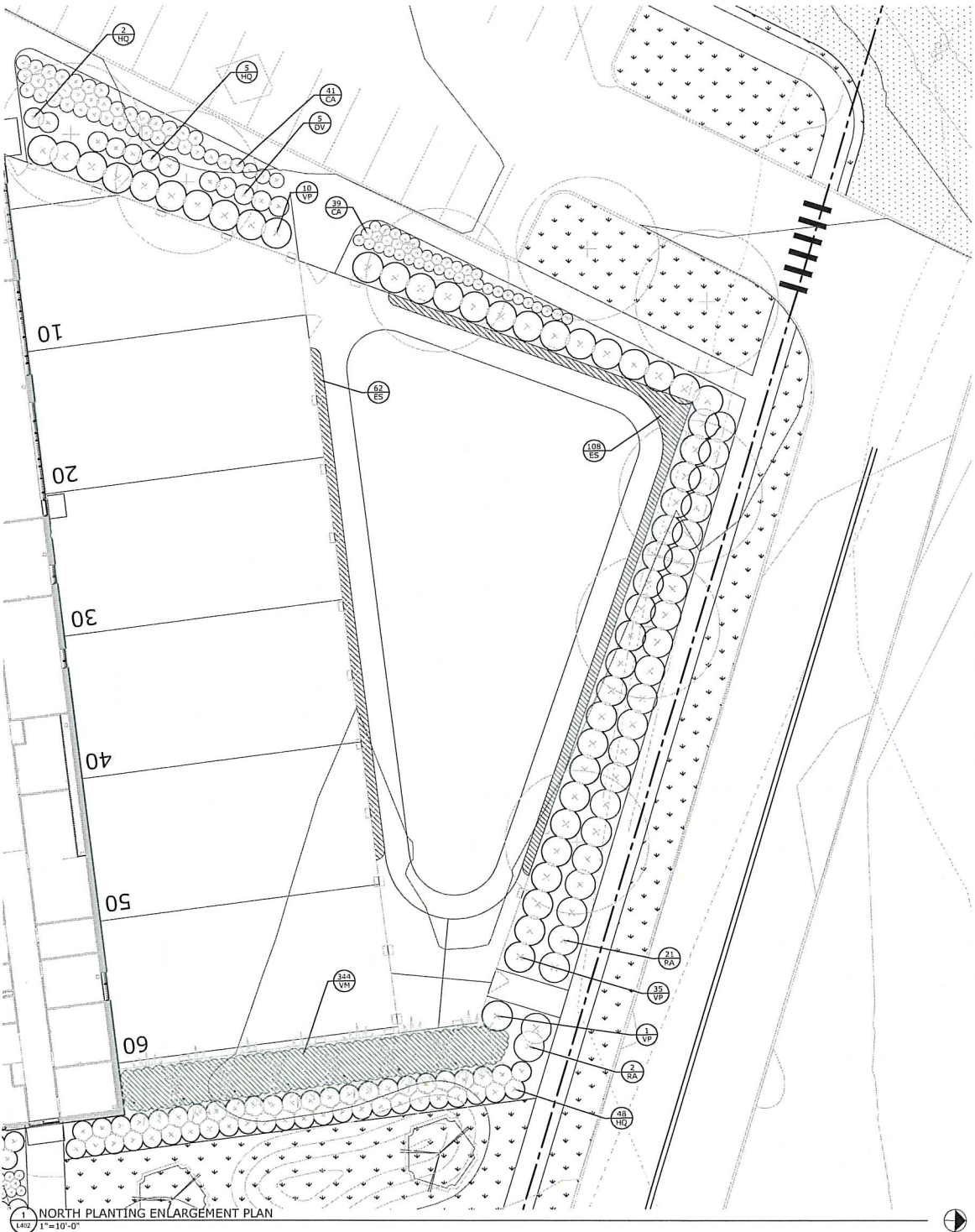
JOB NUMBER

14349.01

**L402**

01.20.2023

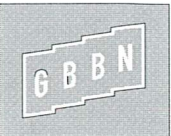
CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EAST SIDE MOB Ivy Pointe & Ferguson Dr Union Township, Cincinnati, OH 45245



PLANT SPECIES	
KEY SPECIES	
SHRUBS	
AX	Abelia x grandiflora 'Kaleidoscope'
AX	Kaleidoscope Glossy Abelia
AM	Aronia melanocarpa 'Low Scape Mound'
AM	Low Scape Mound Chokeberry
HQ	Hydrangea quercifolia 'Applause'
HQ	Applause Oakleaf Hydrangea
IV	Ilex verticillata 'Shortcake'
IV	Winterberry Shortcake
PH	Physocarpus opulifolius 'Tiny Wine'
PH	Tiny Wine Gold Honeysuckle
RA	Rhus aromatica 'Gro-low'
RA	Gro-low Sumac
SJ	Spiraea japonica 'Anthony Waterer'
SJ	Anthony Waterer Spiraea
VC	Viburnum carlesii 'Spice Islands'
VC	Koreanspice Viburnum
VP	Viburnum plicatum 'Popcorn'
VP	Popcorn Japanese Snowball Viburnum
ORNAMENTAL GRASSES AND GROUNDCOVER	
CA	Calamagrostis x acutiflora 'Karl Foerster'
CA	Karl Foerster Reed Grass
ES	Eragrostis spectabilis
ES	Purple Plains Lovegrass
PA	Pennisetum alopecuroides 'Hameln'
PA	Hameln Dwarf Fountain Grass
VM	Vinca minor 'Atropurpurea'
VM	Periwinkle

NOTE: SEE L404 FOR FULL PLANT SCHEDULE





PROJECT ARCHITECT  
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DRAWING ISSUE

DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION
1	5.9.23	ISSUED FOR ZONING

DRAWING TITLE

UNDERSTORY  
PLANTING  
ENLARGEMENT  
PLAN

KEY PLAN

SEAL

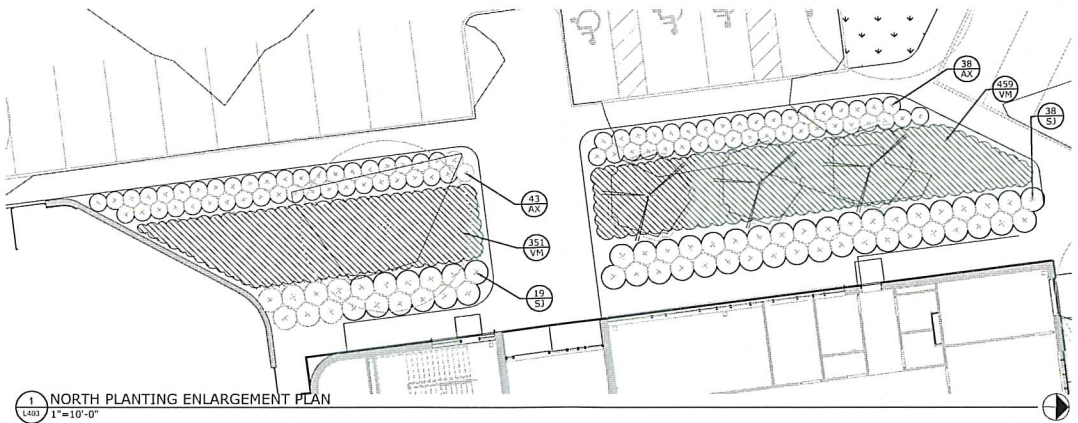
PRELIMINARY  
NOT FOR  
CONSTRUCTION

JOB NUMBER

14349.01

**L403**

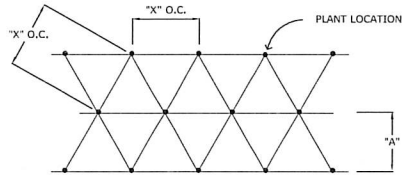
01.20.2023



PLANT SPECIES	
KEY	SPECIES
SHRUBS	
AX	Abelia x grandiflora 'Kaleidoscope'
	Kaleidoscope Glossy Abelia
AM	Aronia melanocarpa 'Low Scape Mound'
	Low Scape Mound Chokeberry
HQ	Hydrangea quercifolia 'Applause'
	Applause Oakleaf Hydrangea
IV	Ilex verticillata 'Shortcake'
	Winterberry Shortcake
PH	Physocarpus opulifolius 'Tiny Wine'
	Tiny Wine Gold Ninebark
RA	Rhus aromatica 'Gro-low'
	Gro-low Sumac
SJ	Spiraea japonica 'Anthony Waterer'
	Anthony Waterer Spirea
VC	Viburnum carlesii 'Spice Islands'
	Koreanspice Viburnum
VP	Viburnum plicatum 'Popcorn'
	Popcorn Japanese Snowball Viburnum
ORNAMENTAL GRASSES AND GROUNDCOVER	
CA	Calamagrostis x acutiflora 'Karl Foerster'
	Karl Foerster Reed Grass
ES	Eragrostis spectabilis
	Purple Plains Lovegrass
PA	Pennisetum alopecuroides 'Hameln'
	Hameln Dwarf Fountain Grass
VM	Vinca minor 'Atropurpurea'
	Periwinkle

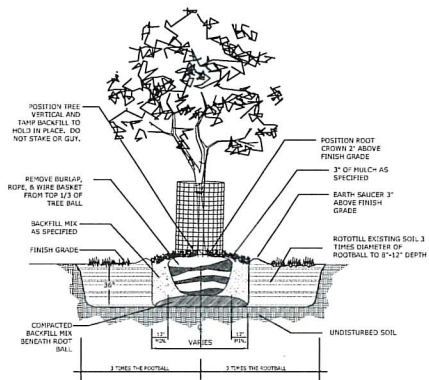
NOTE: SEE L404 FOR FULL PLANT SCHEDULE

CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EAST SIDE MOB Ivy Pointe & Ferguson Dr, Union Township, Cincinnati, OH 45245

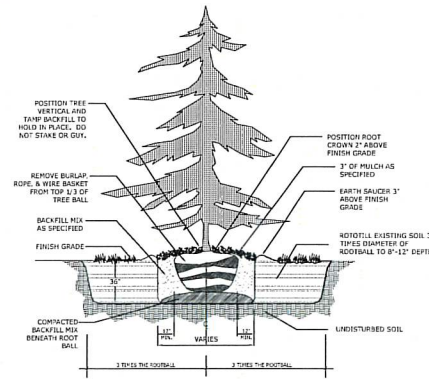


SPACING SCHEDULE	
SPACING "X"	ROW "A"
9" O.C.	7 3/4"
12" O.C.	10 1/2"
18" O.C.	15 1/2"
24" O.C.	20 3/4"
30" O.C.	26"
36" O.C.	30"
4' O.C.	3'-6"
9' O.C.	4'-4"

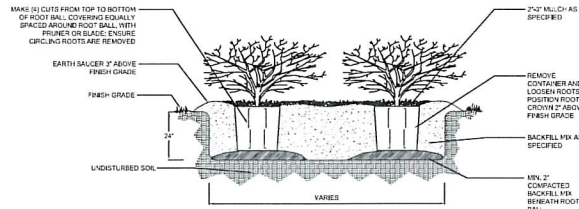
1 TYPICAL PLANT SPACING DETAIL  
L404 1"=N.T.S.



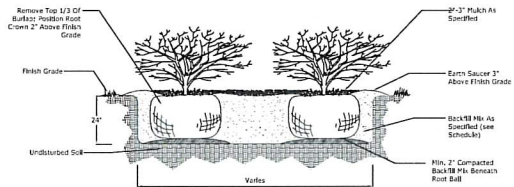
2 TYPICAL TREE PLANTING DETAIL  
L404 1"=N.T.S.



3 TYPICAL EVERGREEN PLANTING DETAIL  
L404 1"=N.T.S.



4 TYPICAL CONTAINER PLANTING DETAIL  
L404 1"=N.T.S.



5 TYPICAL B&B SHRUB PLANTING DETAIL  
L404 1"=N.T.S.

PLANT SCHEDULE			
KEY	SPECIES	SIZE	COMMENTS
DECIDUOUS TREES			
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	3' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 4'
GD	<i>Gymnocladus dioica</i> 'Espresso'	3' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 6'
QM	<i>Quercus macrocarpa</i>	3' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 6'
QR	<i>Quercus rubra</i>	3' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 6'
QS	<i>Quercus shumardii</i>	3' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 6'
UP	<i>Ulmus parvifolia</i> 'Emer II'	3' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 4'
ZS	<i>Zelkova serrata</i> 'Green Vase'	3' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 4'
CONIFEROUS TREES			
PA	<i>Picea abies</i>	6' - 8' HT.	SPECIMEN; GROUPINGS TO BE SAME HEIGHT, SHAPE AND FORM
PO	<i>Picea omorika</i>	6' - 8' HT.	SPECIMEN; GROUPINGS TO BE SAME HEIGHT, SHAPE AND FORM
TP	<i>Thuja</i> 'Green Giant' (or 'Spring Grove')	6' - 8' HT.	SPECIMEN; GROUPINGS TO BE SAME HEIGHT, SHAPE AND FORM
ORNAMENTAL TREES			
AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	2 1/2' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 4'
CC	<i>Cercis canadensis</i>	2 1/2' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 4'
CK	<i>Cladrastis kentukea</i>	2 1/2' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 4'
CV	<i>Crataegus viridis</i> 'Winter King'	2 1/2' CAL.	SPECIMEN; SINGLE STEM, BAB, LIMB UP TO 4'
SHRUBS			
AX	<i>Abelia x grandiflora</i> 'Kaleidoscope'	3 GAL.	3' O.C.
AM	<i>Aronia melanocarpa</i> 'Low Scape Mound'	1 GAL.	24" O.C.
HQ	<i>Hydrangea quercifolia</i> 'Applause'	3 GAL.	4' O.C.
IV	<i>Ilex verticillata</i> 'Shortcake'	5 GAL.	4' O.C.
PH	<i>Physocarpus opulifolius</i> 'Tiny Wine'	3 GAL.	4' O.C.
RA	<i>Rhus aromatica</i> 'Gro-low'	3 GAL.	8' O.C.
SJ	<i>Spiraea japonica</i> 'Anthony Waterer'	3 GAL.	4' O.C.
VC	<i>Viburnum cerasiifolium</i> 'Spice Islands'	5 GAL.	4' O.C.
VP	<i>Viburnum plicatum</i> 'Popcorn'	5 GAL.	4' O.C.
ORNAMENTAL GRASSES AND GROUND COVER			
CA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	3 GAL.	24" O.C.
ES	<i>Eragrostis spectabilis</i>	3 GAL.	24" O.C.
PA	<i>Pennisetum alopecuroides</i> 'Hameln'	3 GAL.	24" O.C.
VM	<i>Vinca minor</i> 'Atropurpurea'	1 GAL.	18" O.C.
MEADOW SEED MIX			
	Cardno Low Profile Prairie Seed Mix		



PROJECT ARCHITECT  
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#### DRAWING ISSUE

#### DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION
1	5.9.23	ISSUED FOR ZONING

#### DRAWING TITLE

#### PLANTING DETAILS

#### KEY PLAN

#### SEAL

PRELIMINARY  
NOT FOR  
CONSTRUCTION

#### JOB NUMBER

14349.01

**L404**

01.20.2023



5/6/2023 11:08:58 AM  
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Building Total Gross SF Area  
1st and 2nd floor combined =  
+/- 109,200 SF.

**GENERAL NOTES - FLOOR PLAN**

**A. PARTITIONING TYPES**  
EXCEPT WHERE INDICATED OTHERWISE, PARTITIONS SHALL BE TYPE 3A - 1/2" THICK STEEL STUDS WITH 5/8" MINIMUM GIPSBOARD ON BOTH SIDES EXTENDING FROM FLOOR TO THE UNDERSIDE OF FLOORING OR DECK AND ACoustic BATT INSULATION FULL HEIGHT IN THE STUD CAVITY. EXCEPT WHERE INDICATED OTHERWISE, EXCLUSIONS AROUND COLUMNS AND STRUCTURAL BRACING SHALL BE PARTITION TYPE 2B. PROVIDE FIRE RATINGS AS INDICATED ON THE FLOOR PLANS AND LIFE SAFETY PLANS.

**B. LAYOUT AND DIMENSIONS**  
DO NOT SCALE THE DRAWINGS. LAYOUT THE PARTITIONS AND OPENINGS PRIOR TO CONSTRUCTION NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.

**C. PARTITION ALLOWANCE**  
UNLESS NOTED OTHERWISE, ALLOW NEW PARTITIONS WITH THE FACE OF EXISTING CONSTRUCTION AS APPLICABLE. WHERE NEW CONSTRUCTION IS SHOWN TO THE EXISTING WALL OPENINGS, BOTH SIDES OF THE NEW CONSTRUCTION SHALL ALIGN WITH THE EXISTING WALL FACES UNLESS INDICATED OTHERWISE.

**D. DOOR LOCATIONS**  
EXCEPT WHERE INDICATED OTHERWISE, LOCATE OUTER EDGES OF DOOR FRAMES 4" FROM PERPENDICULAR WALLS AND PARTITIONS.

**E. DIMENSIONING**  
• UNLESS INDICATED OTHERWISE OR AS PROVIDED BY THIS GENERAL NOTE, DIMENSIONS LOCATING FRAMED PARTITIONS OR PARTITION-OUT CONCRETE OR MASONRY PARTITIONS ARE TAKEN FROM THE FACE OF WALLS OR PARTITIONS WHERE APPLICABLE. DIMENSIONS LOCATING EXPOSED CONCRETE OR MASONRY WALLS ARE TAKEN FROM THE FACE OF CONCRETE OR MASONRY.  
• IN SOME CIRCUMSTANCES, THICKNESSES OF APPLIED FINISHES MAY BE INCLUDED IN THE DIMENSIONED NOTATIONS BY THE DIMENSION STRIKE, OR NOTED ELSEWHERE INDICATING A "CLEAN" SPACE REQUIREMENT SHALL INCLUDE THE FINISH MATERIAL REFER TO THE FINISH SCHEDULE AND DETAILS.  
• ACCESSIBLE CLEARANCES, WHERE REQUIRED BY CODE, SHALL BE TAKEN FROM THE FACE OF FINISH MATERIAL.

**PARTITION AND WALL GRAPHIC KEY**

[Symbol]	NOTED PARTITION
[Symbol]	1 HOUR FIRE BARRIER
[Symbol]	2 HOUR FIRE BARRIER
[Symbol]	1 HOUR SMOKE BARRIER
[Symbol]	2 HOUR SMOKE BARRIER
[Symbol]	1 HOUR FIRE AND SMOKE BARRIER
[Symbol]	2 HOUR FIRE AND SMOKE BARRIER
[Symbol]	SMOKE RESISTING PARTITION

**HEX (A) FLOOR PLAN NOTES**

KEYNOTE	DESCRIPTION
---------	-------------



**PROJECT ARCHITECT**  
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ARCHITECTURAL DRAWINGS  
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**DRAWING ISSUE**

NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
1	01.26.23	SCHEMATIC DESIGN
2	05.09.23	ISSUED FOR ZONING

**DRAWING TITLE**  
LEVEL 1 - OVERALL  
FLOOR PLAN

**KEY PLAN**

**SEAL**

**PRELIMINARY  
NO FOR  
CONSTRUCTION**

**JOB NUMBER**

14349.01

**A101**

04.19.2023

CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE 4315 Ivy Points Boulevard, Union Township, OH 45245



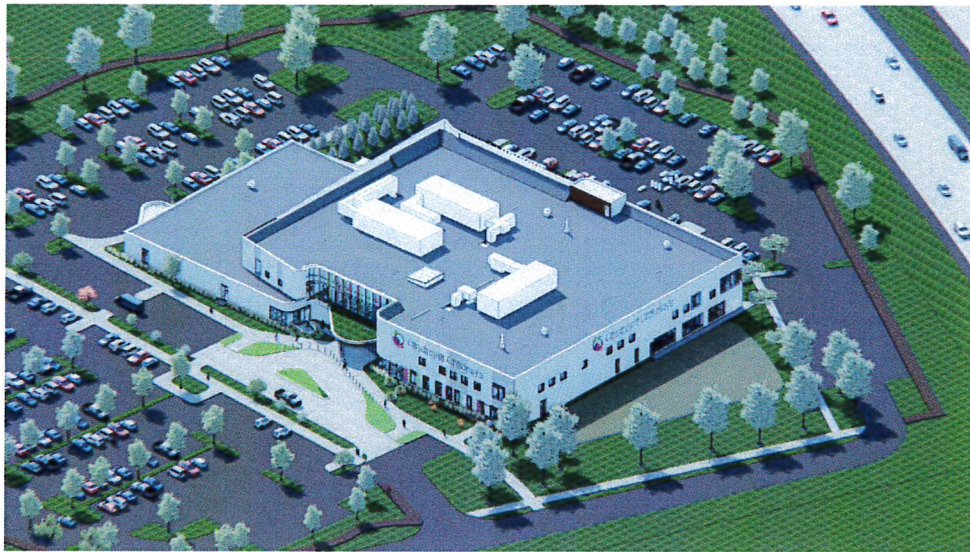
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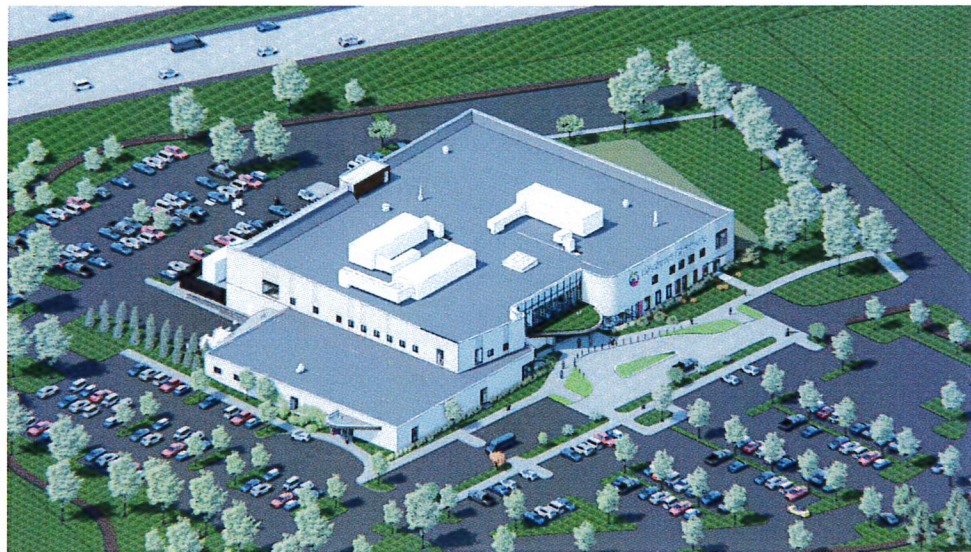




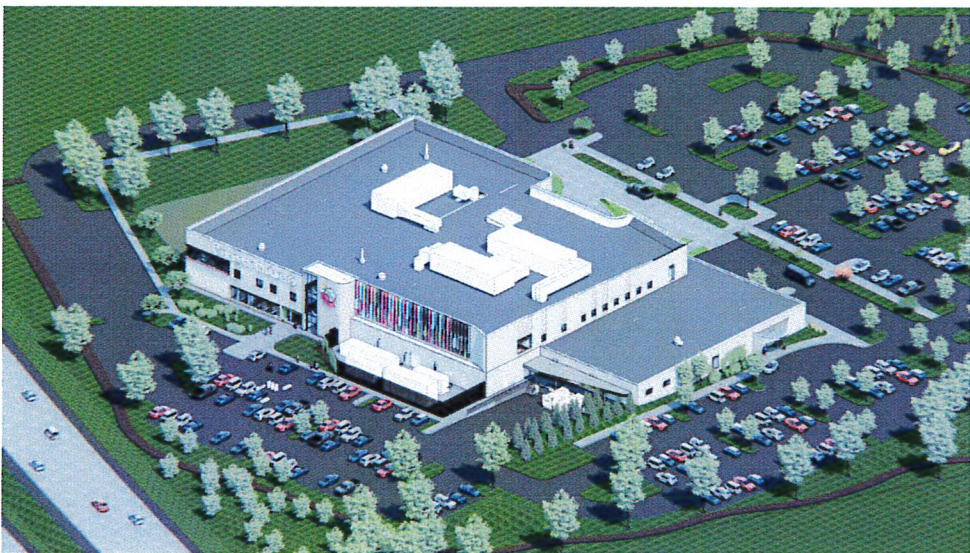




3D AXONOMETRIC VIEW  
AERIAL FROM NORTHEAST  
SCALE 1:300



3D AXONOMETRIC VIEW  
AERIAL FROM SOUTHEAST  
SCALE 1:300



3D AXONOMETRIC VIEW  
AERIAL FROM SOUTHWEST  
SCALE 1:300



3D AXONOMETRIC VIEW  
AERIAL FROM NORTHWEST  
SCALE 1:300



3D AXONOMETRIC VIEW  
PERSPECTIVE FROM ENTRY  
SCALE 1:300



3D AXONOMETRIC VIEW  
PERSPECTIVE FROM STAFF ENTRANCE  
SCALE 1:300



PROJECT ARCHITECT  
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DRAWING ISSUE

DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION
1	01.20.23	SCHEMATIC DESIGN
2	05.09.23	ISSUED FOR CONSTRUCTION

DRAWING TITLE

BUILDING EXTERIOR 3-D  
AXON/AERIAL VIEWS

KEY PLAN

SEAL

PRELIMINARY  
NOT FOR  
CONSTRUCTION

JOB NUMBER

14349.01

**A300**

01.20.2023

ARCHITECTURAL DRAWINGS  
INCLUDED FOR REFERENCE ONLY

CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE 4315 Ivy Pointe Boulevard, Union Township, OH 45245





PROJECT ARCHITECT  
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#### DRAWING ISSUE

#### DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION
1	01.26.23	SCHEMATIC DESIGN
2	05.07.23	ISSUED FOR BIDDING

#### DRAWING TITLE

BUILDING ELEVATIONS

#### KEY PLAN

#### SEAL

PRELIMINARY  
NOT FOR  
CONSTRUCTION

#### JOB NUMBER

14349.01

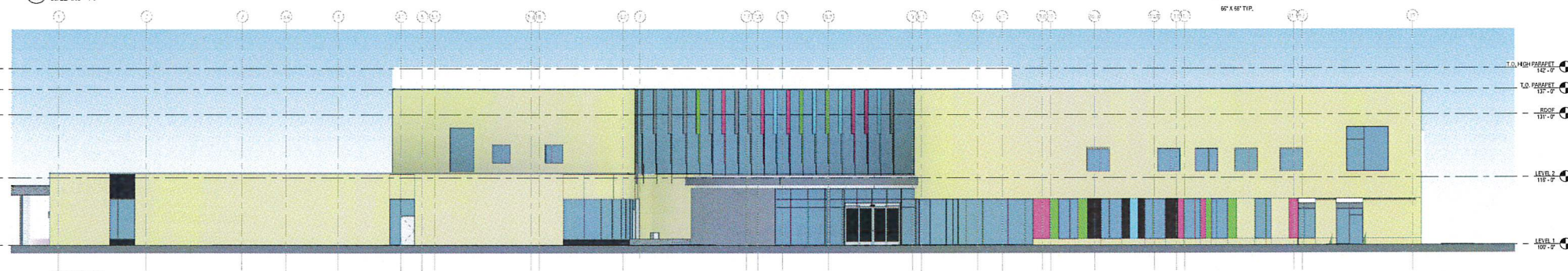
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01.20.2023

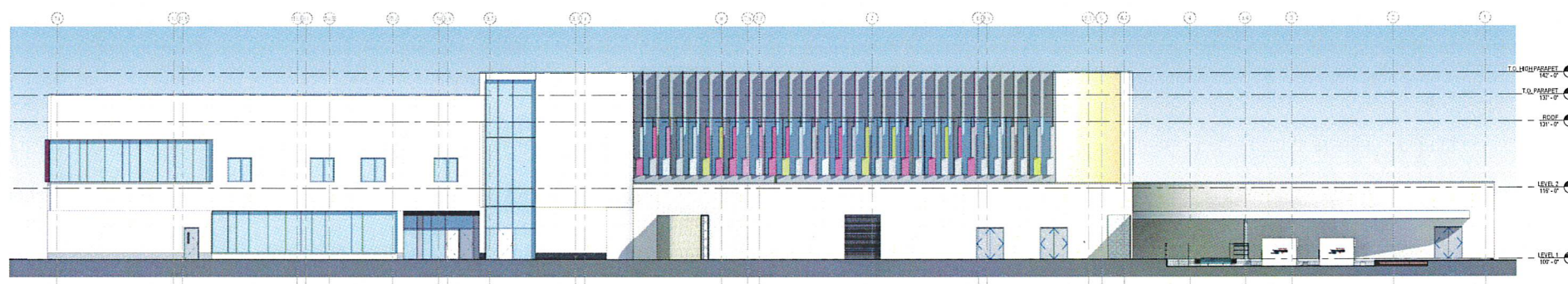
CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE 4315 Ivy Pointe Boulevard, Union Township, OH 45245



BUILDING ELEVATION  
**NORTH FACADE**  
SCALE: 3/32" = 1'-0"



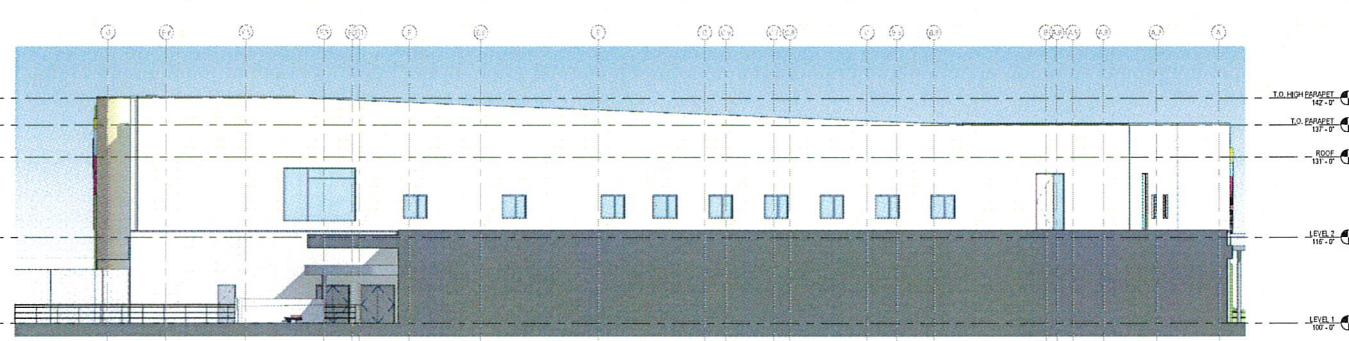
BUILDING ELEVATION  
**EAST FACADE**  
SCALE: 3/32" = 1'-0"



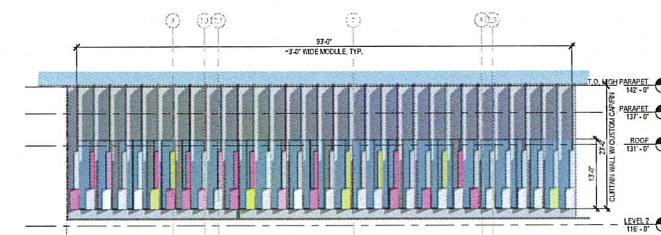
BUILDING ELEVATION  
**WEST FACADE**  
SCALE: 3/32" = 1'-0"



BUILDING ELEVATION  
**SOUTH FACADE @ SURGERY**  
SCALE: 3/32" = 1'-0"



BUILDING ELEVATION  
**SOUTH FACADE @ CLINIC**  
SCALE: 3/32" = 1'-0"



BUILDING ELEVATION  
**WEST FACADE @ DAY-ROOMS**  
SCALE: 3/32" = 1'-0"

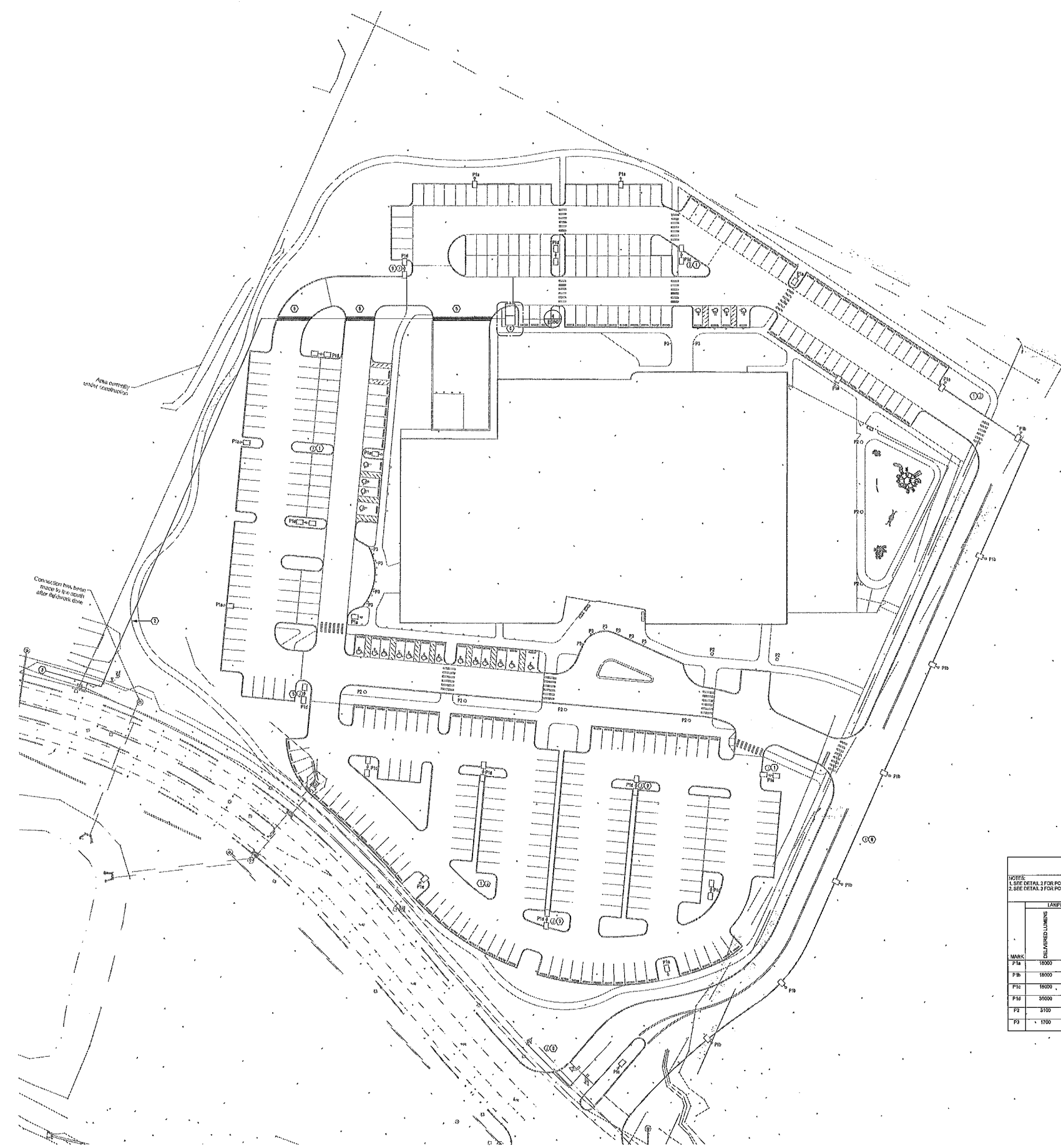


BUILDING ELEVATION  
**EAST FACADE @ ENTRY SCREEN / VESTIBULE**  
SCALE: 3/32" = 1'-0"

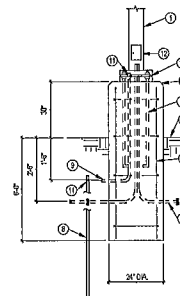
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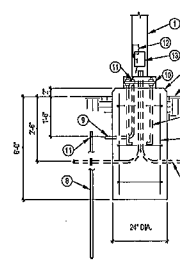


- CODED NOTES:**
1. PROVIDE RACE CALL BOXES AND RUN 1/2" CONDUIT TO POWER FOR ELECTRICAL AND 1/2" CONDUIT TO MAIN GROUND.
  2. PROVIDE CONDUIT FOR UTILITY PRIMARY POWER. PROVIDE 1/2" CONDUIT WITH RAIL STIRRUPS FOR INSTALLATION OF CONDUCTORS BY GUYE ENERGY.
  3. TERMINATION OF UTILITY CONDUITS TO BE IN EXISTING ELECTRICAL MANHOLE. FIELD COORDINATE EXACT LOCATION AND ASSIGNMENTS WITH GUYE ENERGY.
  4. LOCATION FOR ELECTRICAL UTILITY TRANSFORMER. SEE DETAIL ON SHEET FOR EXACT INSTALLATION REQUIREMENTS.
  5. PROVIDE CONCRETE ENCASUREMENT OF UTILITY CONDUITS IN THIS LOCATION TO AVOID 1/2" BENDING PAYMENT. SEE SPECIFICATIONS FOR DETAILS.
  6. COORDINATE INSTALLATION OF 1/2" CONCRETE FILLED BOLLARD WITH YELLOW PROTECTIVE COVER.
  7. COORDINATE INSTALLATION OF ELECTRICAL PAD PER GUYE ENERGY REQUIREMENTS.
  8. INSTALL IN-GROUND DUAL COMPARTMENT 1/2" BOLLARD JUST IN CASE OF CONDUIT FOR POWERED SERVICE. RUN 1/2" CONDUIT TO ELECTRICAL BOLLARD BY 1/2" CONDUIT TO 1/2" FLOOR DATA ROOM FOR FUTURE SERVICE NEEDS.
  9. RUN 1/2" CONDUIT TO THE ELECTRICAL ROOM FOR CAMERAS.



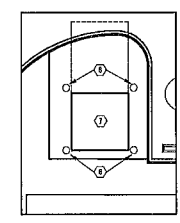
- DETAIL NOTES**
1. SEE FEATURE SCHEDULE FOR POLE AND FEATURE ASSEMBLY.
  2. ANCHOR BOLTS BY POLE SUPPLIER.
  3. CHAMFERED EDGE.
  4. FINISH GRADE, COMPACT TO 90%.
  5. 6X 4# REINFORCING BARS VERTICALLY ON 16" STRIPS AT 16" O.C.
  6. PVC CONDUIT, SCHEDULE 40.
  7. RIGID GALVANIZED STEEL CONDUIT.
  8. GROUND ROD.
  9. 1/2" PVC GROUND CONDUCTOR SLEEVE WITH #6 GROUND CONDUCTOR.
  10. BASE PLATE, LEVELING NUTS, BASE GROUT.
  11. EXOTHERMICALLY WELDED GROUND CONNECTION.
  12. HATCH HOLE.

**2 TYPE P1 POLE BASE**  
SCALE: 1/8" = 1'-0"



- DETAIL NOTES**
1. SEE FEATURE SCHEDULE FOR POLE AND FEATURE ASSEMBLY.
  2. ANCHOR BOLTS BY POLE SUPPLIER, WELD TO REBAR.
  3. CHAMFERED EDGE.
  4. FINISH GRADE, COMPACT TO 90%.
  5. 6X 4# REINFORCING BARS VERTICALLY ON 16" STRIPS AT 16" O.C.
  6. PVC CONDUIT, SCHEDULE 40.
  7. RIGID GALVANIZED STEEL CONDUIT.
  8. GROUND ROD.
  9. 1/2" PVC GROUND CONDUCTOR SLEEVE WITH #6 GROUND CONDUCTOR.
  10. BASE PLATE, LEVELING NUTS, BASE GROUT.
  11. EXOTHERMICALLY WELDED GROUND CONNECTION.
  12. LIGHTNING ARRESTOR.
  13. HATCH HOLE.

**3 TYPE P2 POLE BASE**  
SCALE: 1/8" = 1'-0"



**4 TRANSFORMER LOCATION**  
SCALE: 1/8" = 1'-0"

EXTERIOR LUMINAIRES									
NOTES: 1. SEE DETAIL 2 FOR POLE BASE DETAIL. 2. SEE DETAIL 3 FOR POLE BASE DETAIL.									
MARK	BE	LAMP	COLOR	WATTAGE	MANUFACTURER	CATALOG NO.	DESCRIPTION	THIN COLOR	FEET NOTE
P18	18000	4000K	150	277 V	KIM LIGHTING	VP-1-160L-150-4000K-UNV-AS-BLS-FANWBSP	TYPE 4W PAR30S LOT LIGHT	WHITE	1
P19	18000	4000K	150	277 V	KIM LIGHTING	VP-1-160L-150-4000K-UNV-AS-BLS-FANWBSP	TYPE 7 PAR30S LOT LIGHT	WHITE	1
P10	18000	4000K	150	277 V	KIM LIGHTING	VP-1-160L-150-4000K-UNV-AS-BLS-FANWBSP	TYPE 8W PAR30S LOT LIGHT	WHITE	1
P11	35000	4000K	210	277 V	KIM LIGHTING	VP-1-160L-150-4000K-UNV-AS-BLS-FANWBSP	TYPE 4W DUAL HEAD PAR30S LOT LIGHT	WHITE	1
P2	3100	4000K	32	277 V	KIM LIGHTING	VP-1-160L-150-4000K-UNV-AS-BLS-FANWBSP	POST TOP POLE LIGHT	WHITE	2
P3	1700	4000K	34	277 V	LANDSCAPE FORMING	400SK4	LED BOLLARD	WHITE	2

**1 ELECTRICAL SITE**  
SCALE: 1" = 300'



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v 513.241.8700  
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**MEP / FP Engineer**  
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Dayton, Ohio 45409  
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**DRAWING ISSUE**

BID DOCUMENTS		
PACKAGES - MEP ONLY DISCREET		
NO.	DATE	DESCRIPTION
1	04.28.23	BID DOCUMENTS
2	06.20.23	ISSUE FOR TENDER

**DRAWING TITLE**

**SITE PLAN - ELECTRICAL**

**KEY PLAN**



**SEAL**

**JOB NUMBER**

14349.01



**E050**

03.31.23



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DRAWING ISSUE

BID DOCUMENTS

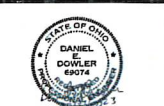
PACKAGE 3 - REPEAT PRELIMINARY

NO.	DATE	DESCRIPTION
2	05.07.23	ISSUE FOR ZONING

DRAWING TITLE

SITE PHOTOMETRICS  
ANALYSIS

KEY PLAN



SEAL

JOB NUMBER

14349.01



**E051**

05/05/23



CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE 4315 Ivy Pointe Boulevard Union Township, Cincinnati, OH 45245