



**UNION TOWNSHIP BOARD OF TRUSTEES
JUNE 22ND, 2023 MEETING**

MAJOR AMENDMENT

**BAYER BECKER, Applicant
4315 Ivy Point Blvd / Parcel ID #413215F137, & 413105A086.**

Staff Report: CASE # 8-05-Z

NATURE OF REQUEST

The Applicant has submitted an application requesting a Major Amendment to an approved PD Planned Development District for Parcel# 413215F137. The Applicant is proposing to construct a new Children's Hospital Medical Center, with a proposed aggregate building area of approximately 109,800 square feet spread over two (2) stories—and with associated parking, landscaping, and other site improvements.

LOCATION

The proposed amendment to the Ivy Pointe Commerce Park PD is situated on the western side of Ivy Pointe Blvd. The site is situated between the existing parking lot north of TQL, and near the terminus of Aicholtz Road.

ZONING

Presently, the subject property is zoned PD Planned Development District, with the site bordered on the north by vacant commercial property. Lands to east are considered vacant PD with a detention pond and B-1 Business being located with the Eastgate Professional Office Building. Situated to the south of the site is zoned PD Planned Development with TQL's parking lot expansion located on the site. The properties to the west, across Interstate 275, are zoned R-2 Single Family Detached Residential.

RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN

The *Horizon 2030: Union Township Comprehensive Land Use Plan* indicates that the subject property is located within the Ivy Pointe Commercial Corridor, which identifies this site as appropriate for high quality office uses, transitional service oriented/retail uses, or high-density residential uses. Furthermore, the plan calls for mixed use development, monument signage, high quality façade design, and pedestrian connectivity. Minimum target densities of at least 12-15 units per acre are recommended for this area of the Township, with limitations on the amount of impervious surface and a reduction of surface parking encouraged. Furthermore, the land use plan specifically references both mixed use development as well as senior housing as development priorities within the Township.

BACKGROUND

Originally, the 100+/- acre Ivy Pointe Commerce Park Planned Development received approval from the Board of Trustees in February of 2006. The original approval consisted of a preliminary concept layout for the project site—which incorporated numerous multi-story Class “A” office buildings organized into a campus setting, a large recreational park with a walking trail, and an office/office warehousing area. Since the original plan was conceptual in nature, many final development details were excluded, with the intention being to review and approve individual users or developments within the park through the PD Planned Development Major Amendment process. The first Major Amendment consisted of a proposal by Cincinnati United Contractors to develop a portion of the office park for Total Quality Logistics, Inc. The first phase of the development was completed in 2007.

A second Major Amendment was submitted for a future Clermont County Public Library Branch and administrative office building to be situated on the subject property, with primary access along Clough Pike; however, the Library opted to locate to another location in the Eastgate Area. In 2008, a third amendment was approved and a second 100,000 square foot office building was built at the southeastern corner of the development. In 2012, TQL received approval for the construction of a new 133,000 square foot office tower. In 2015, the Clover Group received approval to modify the approved PD to allow for the development of 119 senior apartments on the Clough Pike remnant parcel. Mercy Health continued construction with an 88,000 +/- square foot building in 2018 and Sharefax Credit Union constructed a 4-story headquarter building in 2019. Most recently, TQL has constructed two additions onto the headquarter—one in 2020 and one now underway in 2023—totaling more than 255,000 square feet of additional office space.

STAFF REVIEW & ANALYSIS

Overall, the Applicant has proposed a project of regional significance at the aforementioned property, with appropriate ingress, egress, and site improvements required to accommodate the significant building area proposed. It is anticipated that the proposed general medical use facility will be a considerable investment on the parcel. A review of the proposed building elevations reveals an attractive building, with the majority of the building consisting of brick and glass windows—and similar architecture to the existing structures within Ivy Pointe. Glass with metal fins is proposed for the front and rear of the building along with colored metal panels, traditional to previous Children's Hospital developments. Consideration should be given to the roof equipment from the vantage point(s) of Interstate 275. With the lower elevation of the site from the interstate perspective, screening of roof equipment may be required to improve overall aesthetics. The site development plan demonstrates a building lot area coverage ratio of 15%, with more than 32% open space provided—meeting the required minimum open space threshold through the provision of curbed landscaping islands throughout a majority of the project site.

A review of the other site improvements illustrates the continuation of the walking path from the existing stub of the TQL parking lot. The plan reveals a single access point into the site from the existing curb cut located on Ivy Point Blvd. The proposed access drive would serve the southern Children's lot and would also provide future access to the property to the north (which is also owned by Children's Hospital Medical Center). Ample landscaping has been provided throughout the development plan. A signage package has not been included within the current application; however, proposed signage can be found on building renderings. Signage, including all freestanding signs, would be required to be consistent with similar developments within the Ivy Pointe Commerce Park. Details of the materials used for rear machinery area along Interstate 275 would need to be included. The preferred screening would consist of stone, block or brick material. Additionally, the proposed fencing and screening materials would need to be specified around the therapy area and dumpster enclosures.

ACTION REQUIRED

In accordance with Section 680-687 of the Zoning Resolution, the Board of Trustees is to enter a motion to approve, approve with some modification, or deny the Applicant's request to approve a Major Amendment to an approved PD Planned Development District and the accompanying Formal Development Plan as submitted, and / or with any further modifications as deemed necessary by the Board:

RECOMMENDED MODIFICATIONS

If the Board should choose to grant favorable consideration to this Overlay District application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

1. The Applicant would need to address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
2. The Applicant would need to provide a sign package with wall and monument signage similar to recent developments within Ivy Pointe, subject to administrative review and approval.
3. The Applicant would need to provide a detail for the screening around the rear machinery area. Masonry materials would be preferred, subject to administrative review and approval.
4. The final material for fencing around the Therapy Area and the dumpster enclosure would be subject to administrative review and approval.
5. Final elevation plans would need to be included with emphasis on the visibility of the equipment needed to be placed on the roof. Visible roof units would need to be shielded, subject to administrative review and approval.

May 9, 2023

Union Township
Department of Planning & Zoning
4350 Aicholtz Road
Cincinnati, OH 45245
Attn: Mr. Mark McCormack

Re: Major Amendment Application
4315 Ivy Point Blvd (Cincinnati Children's Hospital Medical Center)

Mark,

Enclosed please find the following items necessary for a Major Amendment Application in a Planned Development District:

- Completed zoning application
- \$400 application fee (payable by credit card)
- Trip generation memo
- (5) full-size sets of plans and (5) reduced sets at 11"x17"
 - Architectural, civil, landscape, and site lighting plans included

As required by "Article V." on the zoning application, below is a summary of the proposed improvements:

The new facility will provide a comprehensive program expansion of pediatric medical and surgical specialty clinics and services, including: OT/PT, Speech, Audiology, Ophthalmology, Sports Medicine/PT, Radiology and MRI, Outpatient Lab, Outpatient Surgical Services, Urgent Care and Behavioral and Mental Health. The two-story building includes a total footprint of approximately 110,000 SF. Approximately 390 parking spaces are planned for staff and visitors. Access to the site will be provided via connection to an existing curb cut on Ivy Pointe Blvd. Site lighting and landscaping improvements are planned to meet or exceed local zoning requirements.

Please review the documents provided and let us know of any questions or comments.
Please also include us on the agenda for the 6/13/23 Board of Trustees meeting. Thank you.

Sincerely,



Michael P. Dooley, PE, LEED AP
Principal, Bayer Becker (Applicant)

Memorandum

Date: May 8, 2023

To: Mark McCormack, Union Township

From: Katie Dillenburger, Bayer Becker

cc: Eric Zell, Cincinnati Children's Hospital Medical Center
Mike Dooley, Bayer Becker

Subject: Cincinnati Children's Hospital Medical Center – Eastgate Project
Trip Generation

Bayer Becker has prepared trip generation calculations for the Cincinnati Children's Hospital Medical Center (CCHMC) Eastgate Project, which consists of the development of the property located at 4315 Ivy Pointe Boulevard, in Union Township, Clermont County, Ohio.

Proposed Development

The site will include a two-story medical office building at approximately 109,800 square feet (total). Access is to be provided at Ivy Pointe Boulevard.

Ivy Pointe Boulevard is classified as a local roadway. It generally consists of two lanes, one per direction; however, left turn lanes are provided at defined curb cuts/future driveway locations and a center median is provided between.

Trip Generation

Trip generation for the proposed development was estimated using the data and methodology presented in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition* and the ITE *Trip Generation Handbook, 3rd Edition*.

More specifically, site trips generated by the proposed development, during the weekday AM and PM peak hour of adjacent street traffic, are presented in the following table.

Land Use	ITE Code	Size	Unit	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
Medical Office Building	720	109.8	TSF	207	55	262	133	311	444

Trip generation information, excerpted from the ITE *Trip Generation Manual* is provided by attachment.

Please contact the author(s) of this memorandum with any questions.

Land Use: 720

Medical-Dental Office Building

Description

A medical-dental office building is a facility that provides diagnoses and outpatient care on a routine basis but is unable to provide prolonged in-house medical and surgical care. One or more private physicians or dentists generally operate this type of facility. General office building (Land Use 710) and clinic (Land Use 630) are related uses.

Land Use Subcategory

Analysis of medical-dental office building data found that trip generation rates are measurably different for sites located within or adjacent to a hospital campus and sites that are stand-alone. Data plots are presented for these two land use subcategories.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Connecticut, Kentucky, Maryland, Minnesota, New Jersey, New York, Ohio, Oregon, Pennsylvania, South Dakota, Texas, Virginia, Washington, and Wisconsin.

Source Numbers

104, 109, 120, 157, 184, 209, 211, 253, 287, 294, 295, 304, 357, 384, 404, 407, 423, 444, 509, 601, 715, 867, 879, 901, 902, 908, 959, 972

Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 24

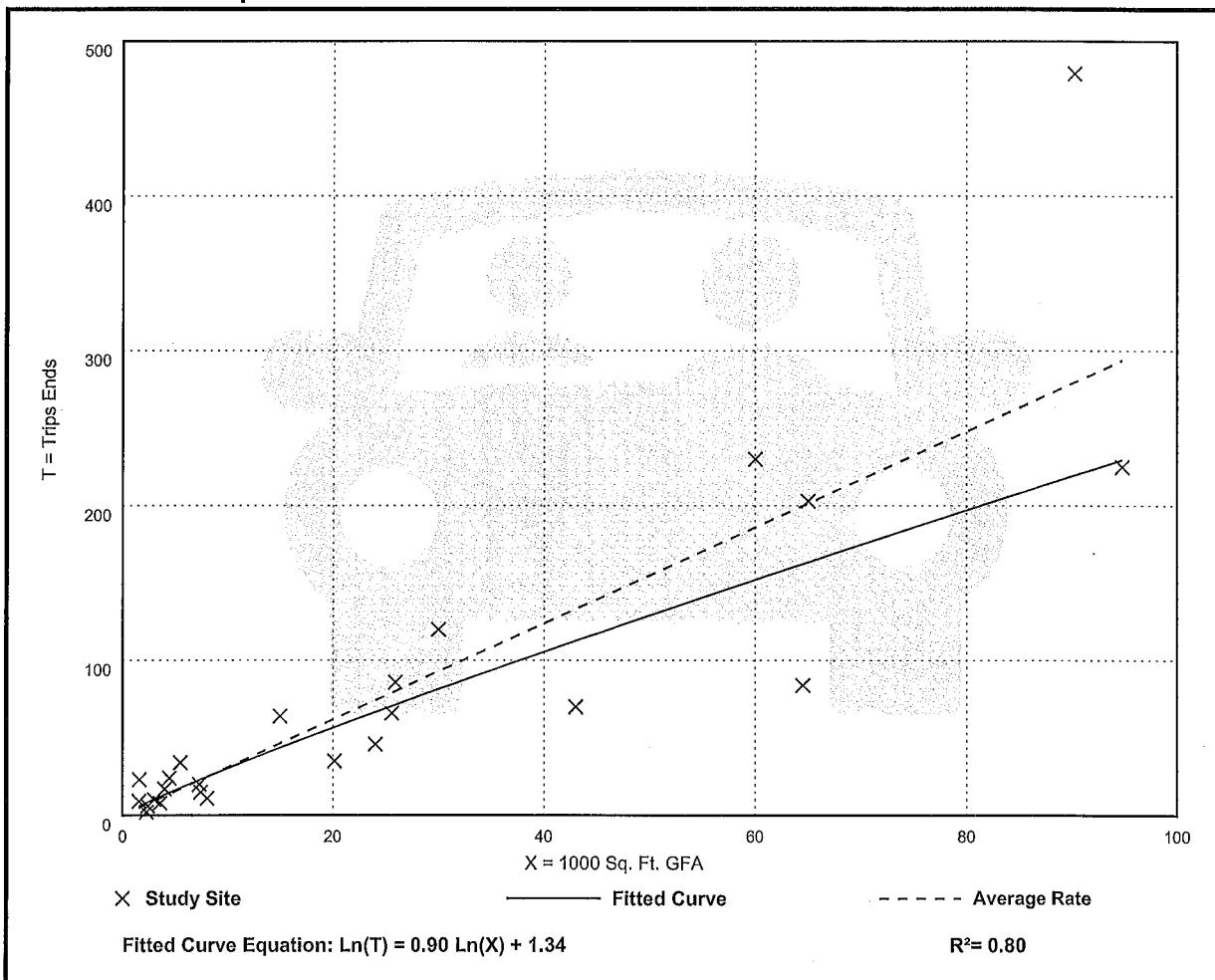
Avg. 1000 Sq. Ft. GFA: 25

Directional Distribution: 79% entering, 21% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.10	0.87 - 14.30	1.49

Data Plot and Equation



Medical-Dental Office Building - Stand-Alone (720)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 30

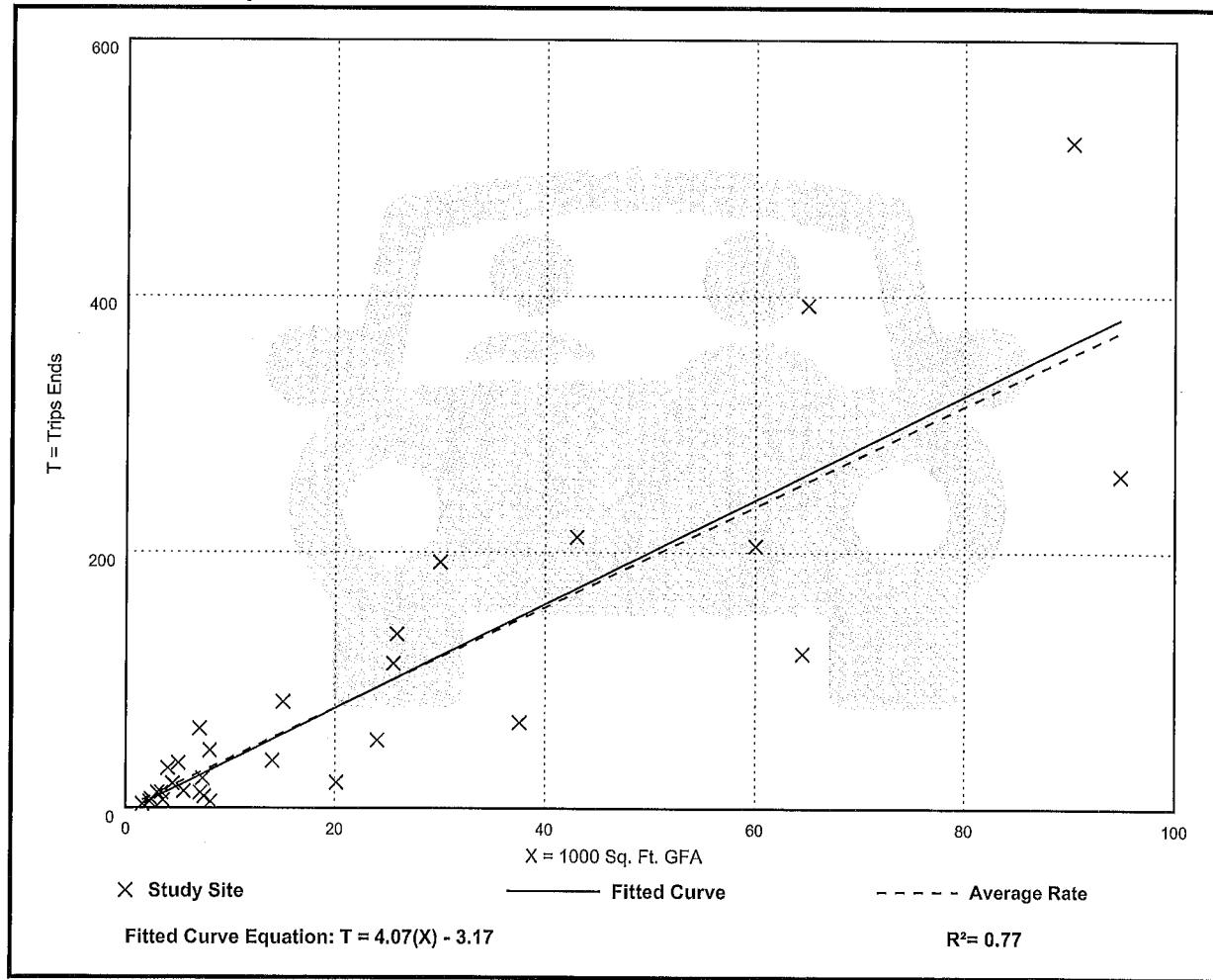
Avg. 1000 Sq. Ft. GFA: 23

Directional Distribution: 30% entering, 70% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.93	0.62 - 8.86	1.86

Data Plot and Equation





OWNER

Cincinnati Children's Hospital Medical Center
3333 Burnet Ave
Cincinnati, OH 45229

PROJECT TEAM

PROJECT ARCHITECT
GBBN Architects Inc.
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www.gbbn.com

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513.834.6151

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Dayton, Ohio 45409
937.224.0861

Structural Engineer
Schaefer Engineering
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DRAWING INDEX

GENERAL
G001.Z TITLE SHEET ZONING REVIEW

CIVIL
C001 OVERALL SITE LAYOUT PLAN
C002 SITE LAYOUT PLAN - EAST
C003 SITE LAYOUT PLAN - WEST

LANDSCAPE
L400 TREE PLANTING PLAN
L401 UNDERSTORY PLANTING ENRICHMENT PLAN
L402 UNDERSTORY PLANTING ENRICHMENT PLAN
L403 UNDERSTORY PLANTING ENRICHMENT PLAN
L404 PLANTING SCHEDULE & DETAILS

ARCHITECTURAL
A101 LEVEL - OVERALL FLOOR PLAN
A102 LEVEL - OVERALL FLOOR PLAN
A103 OVERALL ROOF PLAN
A201 BUILDING EXTERIOR 3D MONOGRAPH VIEWS
A202 BUILDING ELEVATIONS

ELECTRICAL
E001 COVER SHEET
E002 SITE PLAN - ELECTRICAL
E003 PHOTOMETRIC SITE ANALYSIS

OVERALL PROJECT DESCRIPTION

THE CINCINNATI CHILDREN'S HOSPITAL EASTGATE PROJECT WILL BE BROKEN DOWN INTO SEVERAL SEPARATE BID/PENITUT PACKAGE DUE TO CONSTRUCTION SCHEDULING AND WILL BE RELEASED OVER THE COURSE OF SEVERAL MONTHS. FOR THE PLANS EXAMINER, THE INFORMATION BELOW OUTLINES THE ANTICIPATED BID/PENITUT PACKAGE GENERAL SCOPE OF WORK. BID/PENITUT LETTER DESIGNATIONS ARE INTENDED TO PRESCRIBE THE ORDER IN WHICH THEY WILL BE SUBMITTED TO THE BUILDING DEPARTMENT.

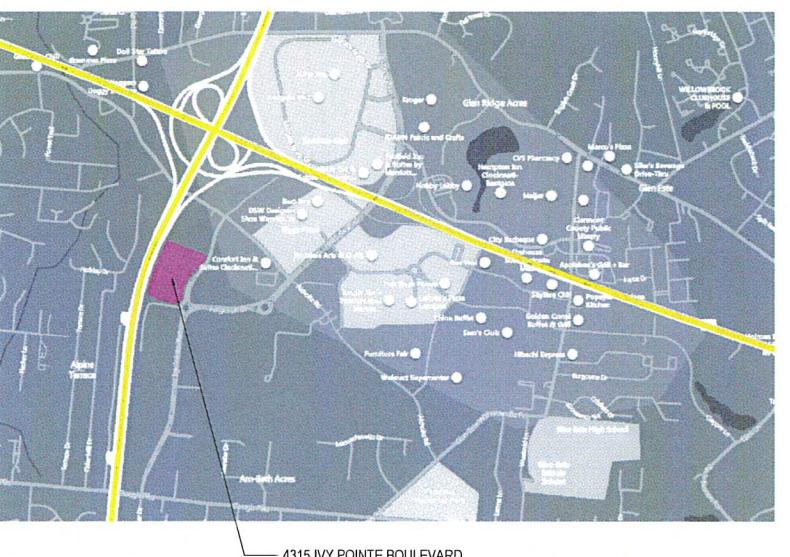
REVIEWED AND PERMITTED BY CLERMONT COUNTY

PACKAGE A - SITE AND UTILITIES (THIS PACKAGE)
PACKAGE B - CORE AND SHELL
PACKAGE C - INTERIOR FIT-OUT

GOVERNING CODES AND STANDARDS

2010 OHIO BUILDING CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
THIS PACKAGE IS SUBMITTED FOR ZONING REVIEW AND INCLUDES ARCHITECTURAL DRAWINGS FOR REFERENCE.
SITE AND BUILDING SIGNAGE TO BE SUBMITTED AND REVIEWED SEPARATELY.

LOCATION MAP



RECEIVED

MAY 09 2023

**UNION TOWNSHIP
PLANNING & ZONING**



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Messer
We Are Building.



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CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE 4315 Ivy Pointe Boulevard, Union Township, OH 45245

DRAWING ISSUE		
DESIGN DEVELOPMENT		
ZONING REVIEW		
NO.	DATE	DESCRIPTION
1	20.07.23	ISSUED FOR ZONING

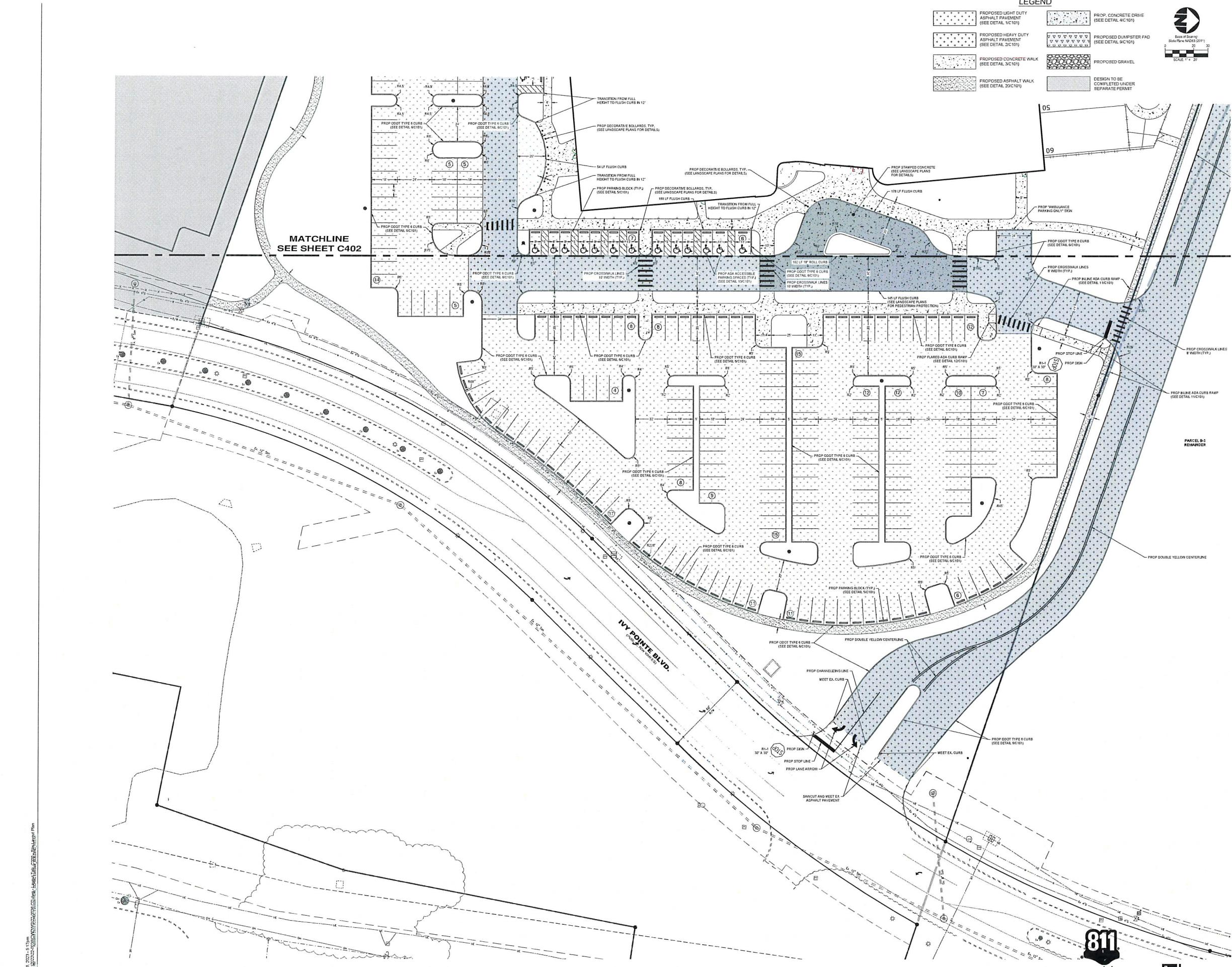
DRAWING TITLE	
TITLE SHEET	
ZONING REVIEW	
SEAL	

JOB NUMBER

14349.01

G001.Z

05.09.2023



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CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE Ivy Pointe & Ferguson Dr. Union Township, Cincinnati, OH 45245

DRAWING ISSUE

CONSTRUCTION DOCUMENTS

PACKAGE A - SITE & UTILITIES

NO.	DATE	DESCRIPTION
1	3/3/23	CONSTRUCTION DOCUMENTS
2	5/09/23	ISSUED FOR ZONING

DRAWING TITLE

SITE LAYOUT
PLAN - EAST

SEAL



JOB NUMBER

14349.01



C301

03.31.2023



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Messer
WeAreBuilding.



CONSULTANTS

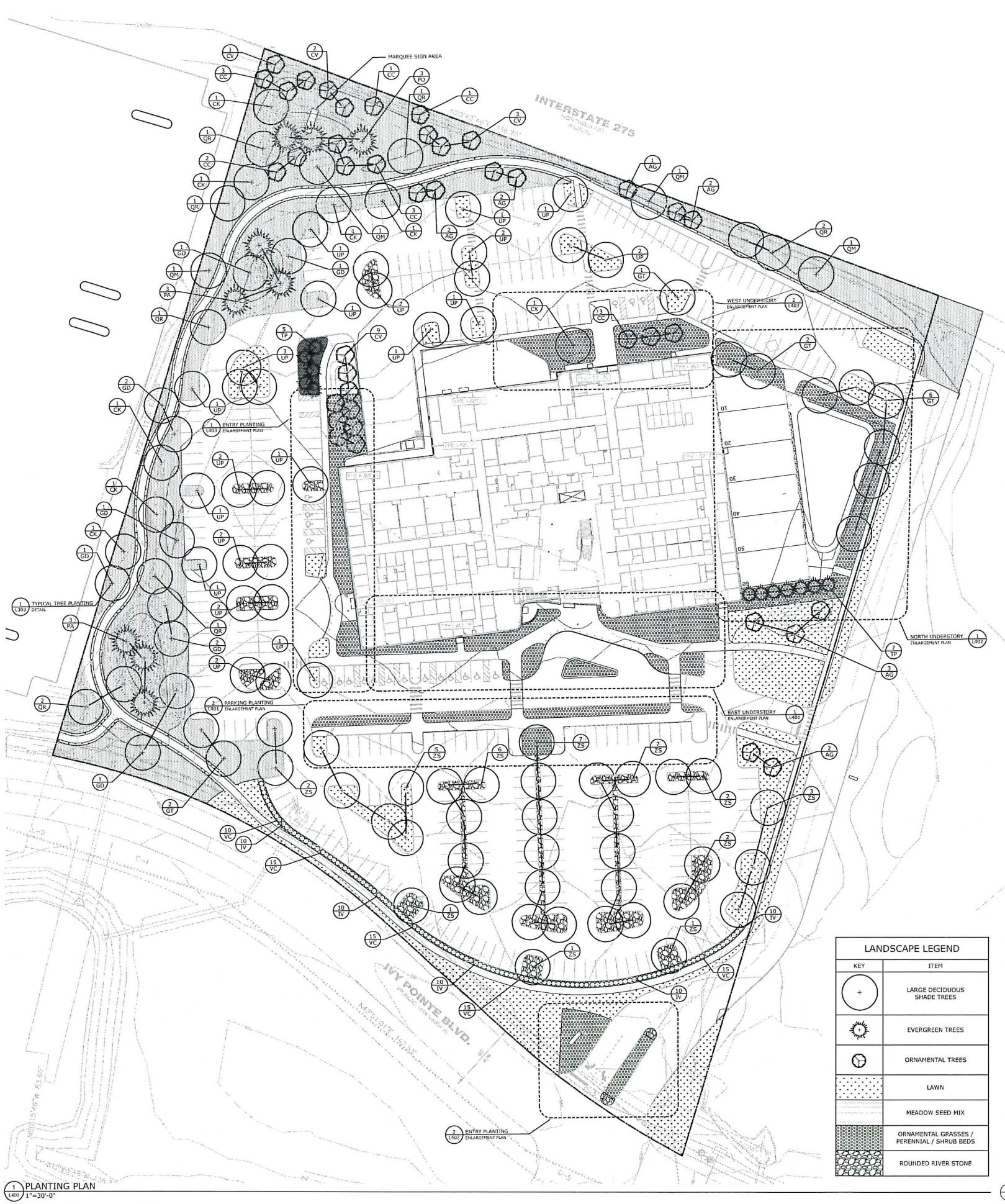
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CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EAST SIDE MOB Ivy Pointe & Ferguson Dr. Union Township, Cincinnati, OH



GENERAL NOTES

1. BASE INFORMATION PROVIDED BY S&ME, 1404 RACE ST #204, CINCINNATI OH 45202. 513.834.6151.
2. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES, STRUCTURES, PAVEMENT AND VEGETATION TO REMAIN, AND TAKE THE NECESSARY PRECAUTIONS FOR THEIR PROTECTION DURING CONSTRUCTION. UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITIES. ANY FIELD ADJUSTMENTS REQUIRED SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS DURING THE COURSE OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO OSHA REQUIREMENTS FOR PUBLIC AND WORKER SAFETY. SITE SHOULD BE KEPT IN A SAFE MANNER THAT WOULD NOT JEOPARDIZE THE GENERAL PUBLIC SAFETY.
4. CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHER TRADES TO INSURE PROPER AND TIMELY EXECUTION OF THE WORK.

PLANTING NOTES

1. FINAL GRADING SHALL BE COMPLETED PRIOR TO PLANTING OR PLANTING LAYOUT. THIS SHOULD INCLUDE DRAINAGE PER THE GRADING PLAN AND TOPSOIL AS SPECIFIED.
2. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF IT IS DEAD, DAMAGED, DESTROYED, OR REMOVED UP TO ONE YEAR AFTER INSTALLATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OR DESIGN/BUILDER OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
4. REFERENCE PLANTING DETAILS & PLANT SCHEDULE. PLANT SPECIES AND LAYOUT PROVIDED BY THE LANDSCAPE ARCHITECT.
5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING IN ALL PLANTING AREAS.
6. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
7. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
8. APPLY 2" SHREDDED HARDWOOD MULCH TO ALL TREE AND SHRUB PLANTING AREAS.
9. ALL DISTURBED AREAS TO BE COVERED IN EROSION CONTROL MATTING OR BY OTHER APPROVED STABILIZATION MEASURES. SEE EROSION PROTECTION AND SEDIMENT CONTROL PLAN, NOTES AND DETAILS.
10. SEE SPECIFICATIONS FOR DETAILS REGARDING PLANTING SCHEDULE, PLANT QUALITY, AND SPECIAL INSTALLATION REQUIREMENTS.

ZONING REQUIREMENTS

REQUIREMENTS	COVERAGE (%)	COVERAGE (SF)
Proposed landscaping area; Min. 10% required	25%	102,420 sf
Landscape parking islands; Min 5% of parking area	10%	14,681 sf
REQUIREMENTS	QTY.	COMMENTS
1 shade tree/200 sf of islands 74 Needed	68	6 Additional trees added around parking areas to make up numbers.
TOTAL SITE	410,829 sf	

PLANT SCHEDULE

KEY	SPECIES
DECIDUOUS TREES	
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'
GD	<i>Gymnocladus dioica</i> 'Espresso'
QM	<i>Quercus macrocarpa</i>
QR	<i>Quercus rubra</i>
QS	<i>Quercus shumardii</i>
UP	<i>Ulmus parvifolia</i> 'Emerald'
TP	<i>Thuya</i> 'Green Giant' (or 'Spring Grove')
ORNAMENTAL TREES	
AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'
CC	<i>Crataegus</i> 'Apple Serviceberry'
CK	<i>Crataegus cuneata</i> 'Appalachian Red'
CV	<i>Crataegus viridis</i> 'Winter King'
SHRUBS	
IV	<i>Ilex verticillata</i> 'Shortcake'
VC	<i>Viburnum carlesii</i> 'Spice Islands'

NOTE: SEE L404 FOR FULL PLANT SCHEDULE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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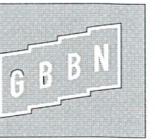
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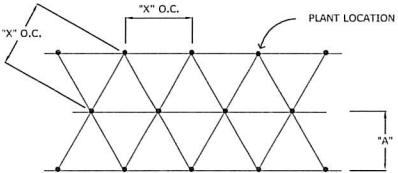
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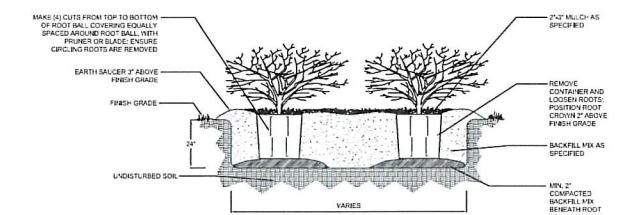
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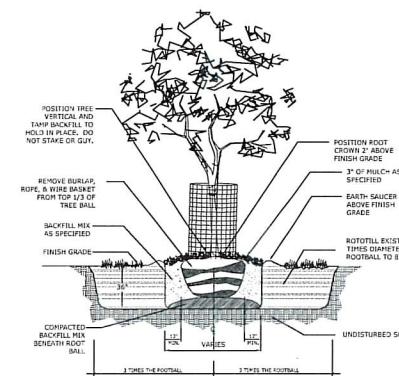


SPACING SCHEDULE	
SPACING "X"	ROW "A"
9" O.C.	7 3/4"
12" O.C.	10 1/2"
18" O.C.	15 1/2"
24" O.C.	20 3/4"
30" O.C.	26"
36" O.C.	32"
4' O.C.	3'-6"
5' O.C.	4'-4"

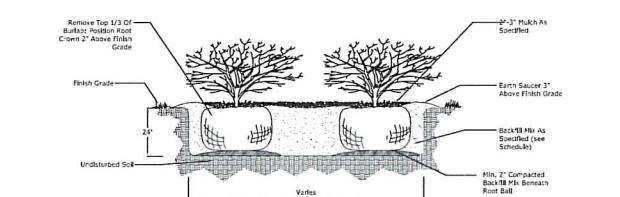
1 TYPICAL PLANT SPACING DETAIL
L404 1"=N.T.S.



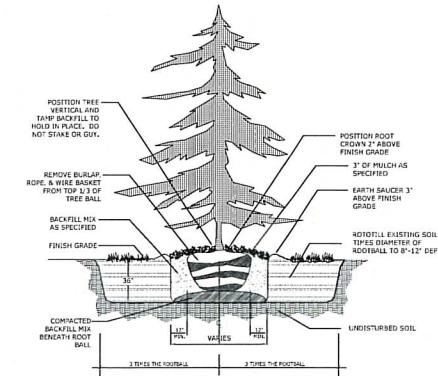
4 TYPICAL CONTAINER PLANTING DETAIL
L404 1"=N.T.S.



2 TYPICAL TREE PLANTING DETAIL
L404 1"=N.T.S.



5 TYPICAL B&B SHRUB PLANTING DETAIL
L404 1"=N.T.S.



3 TYPICAL EVERGREEN PLANTING DETAIL
L404 1"=N.T.S.

PLANT SCHEDULE			
KEY	SPECIES	SIZE	COMMENTS
DECIDUOUS TREES			
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	3' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
GD	<i>Fraxinus pennsylvanica</i> 'Espresso'	3' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 6'
QM	<i>Quercus macrocarpa</i>	3' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 6'
QR	<i>Quercus rubra</i>	3' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 6'
QS	<i>Quercus shumardii</i>	3' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 6'
UP	<i>Ulmus parvifolia</i> 'Emer II'	3' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
ZS	<i>Zelkova serrata</i> 'Green Vase'	3' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
CONIFEROUS TREES			
PA	<i>Picea abies</i>	6' - 8' HT.	SPECIMEN; GROUPINGS TO BE SAME HEIGHT, SHAPE AND FORM
PO	<i>Picea omorika</i>	6' - 8' HT.	SPECIMEN; GROUPINGS TO BE SAME HEIGHT, SHAPE AND FORM
TP	<i>Thuya 'Green Giant'</i> (or 'Spring Grove')	6' - 8' HT.	SPECIMEN; GROUPINGS TO BE SAME HEIGHT, SHAPE AND FORM
ORNAMENTAL TREES			
AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	2 1/2' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
AU	<i>Amelanchier canadensis</i> 'Apple Serviceberry'	2 1/2' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
CC	<i>Crataegus cuneata</i>	2 1/2' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
CK	<i>Crataegus kentukea</i>	2 1/2' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
CV	<i>Crataegus viridis</i> 'Winter King'	2 1/2' CAL.	SPECIMEN; SINGLE STEM, B&B, LIMB UP TO 4'
SHRUBS			
AX	<i>Abelia x grandiflora</i> 'Kaleidoscope'	3 GAL.	3' O.C.
AV	<i>Aronia melanocarpa</i> 'Low Scape Mound'	1 GAL.	24" O.C.
AM	<i>Aronia melanocarpa</i> 'Low Scape Mound' Chokeberry	1 GAL.	24" O.C.
HQ	<i>Hydrangea quercifolia</i> 'Applause'	3 GAL.	4' O.C.
IV	<i>Ilex verticillata</i> 'Shortcake'	5 GAL.	4' O.C.
PH	<i>Physocarpus opulifolius</i> 'Tiny Wine'	3 GAL.	4' O.C.
PH	<i>Rhus aromatica</i> 'Gro-low'	3 GAL.	6' O.C.
RA	<i>Spiraea japonica</i> 'Anthony Waterer'	3 GAL.	4' O.C.
SJ	<i>Spiraea japonica</i> 'Anthony Waterer'	3 GAL.	4' O.C.
VC	<i>Viburnum carlesii</i> 'Spice Islands'	5 GAL.	4' O.C.
VP	<i>Viburnum plicatum</i> 'Popcorn'	5 GAL.	4' O.C.
VP	<i>Viburnum plicatum</i> 'Snowball' Viburnum	5 GAL.	4' O.C.
ORNAMENTAL GRASSES AND GROUNDCOVER			
CA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	3 GAL.	24" O.C.
EF	<i>Eragrostis spectabilis</i>	3 GAL.	24" O.C.
ES	<i>Eragrostis spectabilis</i> Purple Plains Lovegrass	3 GAL.	24" O.C.
PA	<i>Pennisetum alopecuroides</i> 'Hameln'	3 GAL.	24" O.C.
VM	<i>Pennisetum alopecuroides</i> 'Hameln' Dwarf Fountain Grass	1 GAL.	18" O.C.
VM	<i>Pennisetum setosum</i> 'Aropurpurea'	1 GAL.	18" O.C.
MEADOW SEED MIX			
	Carduo Low Profile Prairie Seed Mix		



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DRAWING ISSUE		
DESIGN DEVELOPMENT		
1	5.9.23	ISSUED FOR ZONING
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FLOOR PLAN
LEVEL 1 PLAN

Architect: DLRD, COMC, Englekirk CDS, CDMG, CetraRuddy, B&B, STUDIO 504

Building Total Gross SF Area
1st and 2nd floor combined =
+/- 109,200 SF.

GENERAL NOTES - FLOOR PLAN

A. PARTITION TYPES
EXCEPT WHERE INDICATED OTHERWISE, PARTITIONS SHALL BE TYPE A-A-1, FRANCH STEEL STUD, 1/2" GYPSUM SHEET, 1" INSULATION, 1" PLASTER, 1" INSULATION, 1" GYPSUM SHEET, UNDERLAY OF FLOOR/ROOF DECK AND ACOUSTIC BATT INSULATION FULL HEIGHT IN THE STUD GUTTY. EXISTING PARTITIONS SHALL BE EXCAVATED AND RELOCATED AROUND COLUMNS AND STRUTS. EXISTING PARTITIONS SHALL BE PARTITION TYPE A-B. PROVIDE FREE PAVING AT ELEVATED ON THE FLOOR PLANS AND/OR SAFETY PLANS.

B. LAYOUT AND DIMENSIONS
DO NOT INCLUDE EXISTING PARTITIONS. LAYOUT THE PARTITIONS AND OPENINGS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.

C. PARTITION ALIGNMENT
UNLESS NOTED OTHERWISE, ALIGN NEW PARTITIONS WITH THE FACE OF EXISTING UNLESS NOTED OTHERWISE. ALIGN NEW PARTITIONS WITH THE FACE OF EXISTING DRAKE WALL OPENINGS. BOTH FACES OF THE NEW CONSTRUCTION SHALL ALIGN WITH THE EXISTING WALL FACES UNLESS INDICATED OTHERWISE.

D. DOOR LOCATIONS
DOORS SHALL BE LOCATED OUTSIDE OR OTHERWISE LOCATE OUTER EDGES OF DOOR FRAMES 4 INCHES FROM PERPENDICULAR WALLS AND PARTITIONS.

E. DIMENSIONING
• UNLESS INDICATED OTHERWISE OR AS PROVIDED BY THE GENERAL NOTE DIMENSIONS LOCATED ON EXISTING PARTITIONS OR PUFFED-OUT CONCRETE OR MASONRY PARTITIONS ARE TAKEN FROM THE FACE OF WALLBOARD (OR PLASTER WHERE APPLICABLE). DIMENSIONS LOCATING EXPOSED CONCRETE OR MASONRY WALLS ARE TAKEN FROM THE FACE OF CONCRETE OR MASONRY.

• IN SOME CIRCUMSTANCES THE THICKNESSES OF APPLIED FINISHES MAY BE INCLUDED IN THE PROVIDED DIMENSIONS. IN THESE CASES, THE PROVIDED DIMENSIONS SHALL INDICATE A "CLEAR" SPACE REQUIREMENT SHALL INCLUDE THE FINISH MATERIAL. REFER TO THE FINISH SCHEDULE AND DETAILS.

• EXISTING PARTITIONS, WHICH REQUIRED BY CODE, SHALL BE TAKEN FROM THE FACE OF FINISH MATERIAL.

PARTITION AND WALL GRAPHIC KEY

- NOVOCATED PARTITION
- 1-HOUR FIRE RATED
- 1-HOUR FIRE AND SMOKE
- 1-HOUR DRAKE
- 1-HOUR DRAKE AND SMOKE
- 2-HOUR FIRE AND SMOKE
- EXISTING PARTITION

HEX (A) FLOOR PLAN NOTES

KEYNOTE	DESCRIPTION



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**ARCHITECTURAL DRAWINGS
INCLUDED FOR REFERENCE ONLY**

DRAWING ISSUE		
DESIGN DEVELOPMENT		
NO.	DATE	DESCRIPTION
1	01.20.23	SCHEMATIC DESIGN
2	05.09.23	ISSUED FOR ZONING

DRAWING TITLE		
LEVEL 1 - OVERALL FLOOR PLAN		

KEY PLAN		
SEAL		

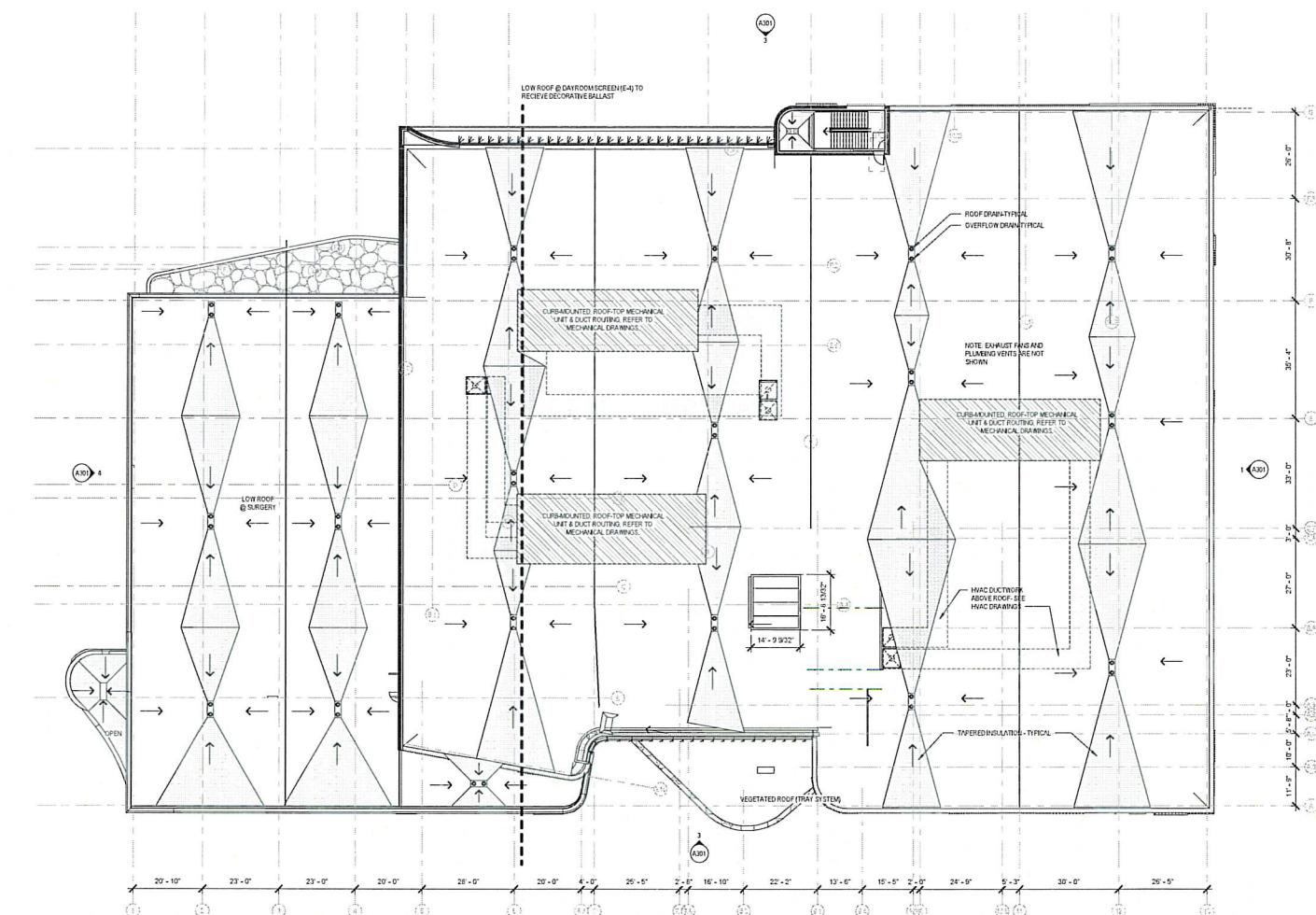
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CONSTRUCTION

JOB NUMBER		
14349.01		

A101

04.19.2023

CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE 4315 Ivy Pointe Boulevard, Union Township, OH 45245



GENERAL NOTES - FLOOR PLAN

A. PARTITIONS TYPES
EXCEPT WHERE INDICATED OTHERWISE, PARTITIONS SHALL BE TYPE X-A-1940 STEEL STUD WALLS, 16 GA. SHEET METAL, 1/2 IN. INSULATION ON BOTH SIDES ATTACHED TO THE UNDER SIDE OF FLOOR/ROOF DECK AND ACCORDING TO THE MANUFACTURER'S REQUIREMENTS. THE STUD GAGE AND INSULATION THICKNESS SHALL BE AS INDICATED. WHERE TYPE X-A-1940 STEEL STUDS AND STRUCTURAL BRACING SHALL BE PARTITION TYPE 228. PROVIDE THE RAILINGS AS INDICATED ON THE FLOOR PLANS AND SAFETY PLANS.

B. LAYOUT AND DIMENSIONS
DO NOT INCLUDE PARTITIONS, LAYOUT THE PARTITIONS AND OPENINGS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.

C. PARTITION ALIGNMENT
UNLESS NOTED OTHERWISE, ALIGN THE PARTITION WITH THE FACE OF EXISTING CONCRETE WALLS. IN SOME CASES, WHERE NEW CONSTRUCTION IS DICTATED TO THE EXISTING WALL OPENINGS, BOTH FACES OF THE NEW CONSTRUCTION SHALL ALIGN WITH THE EXISTING WALL FACES UNLESS INDICATED OTHERWISE.

D. DOOR LOCATIONS
EXCEPT WHERE INDICATED OTHERWISE, LOCATE OUTER EDGES OF DOOR FRAMES AND DOORS FROM EXTERIOR EXTERIOR WALLS AND PARTITIONS.

E. DIMENSIONING
UNLESS INDICATED OTHERWISE OR PROVIDED BY THE GENERAL NOTE, DIMENSIONS ARE TO BE TAKEN FROM THE FACE OF EXTERIOR WALLS OR INSIDE BY PARTITION. DIMENSIONS ARE TO BE TAKEN FROM THE INSIDE OF EXTERIOR CONCRETE OR MASONRY WALLS ARE TAKEN FROM THE FACE OF CONCRETE WALLS.

IN SOME CIRCUMSTANCES THE LINES OF APPLIED FINISHES MAY BE INCLUDED IN THE PLANS. IN THESE CASES, DIMENSIONS ARE TO BE TAKEN FROM THE INSIDE OF THE FINISH. IN THESE CASES, THE FINISH SCHEDULE AND DETAILS SHALL INCLUDE THE FINISH MATERIAL. REFER TO THE FINISH SCHEDULE AND DETAILS.

ACCESSORIES AND CLAMPINGS, WHERE REQUIRED BY CODE, SHALL BE TAKEN FROM THE FACE OF FINISH MATERIAL.



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GENERAL NOTES - ROOF PLAN

A. ROOF TYPES AND TAGS
ROOFING TYPES ARE IDENTIFIED ON ROOF PLANS AND DETAILS AND HOINING THUS:
ROOFING OR WATERPROOFING TYPE SUB-TYPE
SPECIAL ROOFING SURFACE

B. ROOF OPENINGS
REFER TO STRUCTURAL DRAWINGS FOR FRAMING OF TYPICAL ROOF OPENINGS.

C. ROOF TERMINATIONS
ROOFING TERMINATION DETAILS SHALL CONFORM TO THE RECOMMENDATIONS OF THE ROOFING SYSTEM MANUFACTURER. PROVIDE MINIMUM SPACES OF CLEARANCE BETWEEN ROOFING SYSTEMS AND BOTTOM EDGES OF FLASHING OR OTHER ROOFING TERMINATIONS.

D. ROOF INSULATION
PROVIDE ROOF INSULATION AS REQUIRED TO PROVIDE A POSITIVE SLOPE TO DRAINS, GUTTERS AND OTHER DRAINAGE SYSTEM COMPONENTS PER ROOFING SYSTEM MANUFACTURER'S REQUIREMENTS.

CONDENSATION DRAINS ARE REQUIRED FOR TAPERED INSULATION AT HIGH POINTS TO ENSURE

ADEQUATE CLEARANCE FOR FLASHING AT WALLS, CURBS AND PARAPETS.

TAPERED INSULATION AND SPOT ELEVATIONS, WHERE SHOWN ON THE PLAN, SHALL BE

VERIFIED BY THE ROOFING CONTRACTOR FOR CONFORMANCE TO ROOFING MANUFACTURE REQUIREMENTS.

A. ROOF-MOUNTED ITEMS
PROVIDE ROOFING FLASHING AND ACCESSORIES TO ACCOMMODATE ROOF-MOUNTED ITEMS AND ROOF PENETRATIONS FOR A COMPLETE WEATHER-TIGHT ROOFING SYSTEM. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EQUIPMENT AND PENETRATIONS NOT SHOWN ON THIS PLAN.

PARTITION AND WALL GRAPHIC KEY

	NON-HATCHED PARTITION
	1 HOUR FIRE BARRIER
	2 HOUR SMOKE BARRIER
	2 HOUR FIRE AND SMOKE BARRIER
	1 HOUR FIRE AND SMOKE BARRIER
	2 HOUR FIRE AND SMOKE BARRIER
	SMOKE RESISTING PARTITION

HEX (A) FLOOR PLAN NOTES

KEYNOTE	DESCRIPTION
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**ARCHITECTURAL DRAWINGS
INCLUDED FOR REFERENCE ONLY**

DRAWING ISSUE
DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION
1	01.26.23	SCHEMATIC DESIGN
2	05.09.23	ISSUED FOR ZONING

DRAWING TITLE
OVERALL ROOF PLAN

KEY PLAN

SEAL
**PRELIMINARY
NOT FOR
CONSTRUCTION**

JOB NUMBER

A103

01.20.2023

CINCINNATI CHILDREN'S HOSPITAL MEDICAL CENTER EASTGATE 4315 Ky Point Boulevard, Union Township, OH 45245

Architectural Drawing CHMC-Ref-00000000000000000000000000000000



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ARCHITECTURAL DRAWINGS
INCLUDED FOR REFERENCE ONLY

DRAWING ISSUE		
DESIGN DEVELOPMENT		
NO.	DATE	DESCRIPTION
1	31.07.23	SCHEMATIC DESIGN
2	09.07.23	ISSUED FOR ZONING

DRAWING TITLE		
BUILDING EXTERIOR 3-D AXON/AERIAL VIEWS		

KEY PLAN		
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SEAL		
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PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NUMBER

14349.01

A300

01.20.2023





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DRAWING ISSUE

DESIGN DEVELOPMENT

NO. DATE DESCRIPTION

1 01.01.23 SCHEMATIC DESIGN

2 25.01.23 ISSUED FOR ZONING

DRAWING TITLE

BUILDING ELEVATIONS

KEY PLAN

SEAL

PRELIMINARY
NOT FOR
CONSTRUCTION

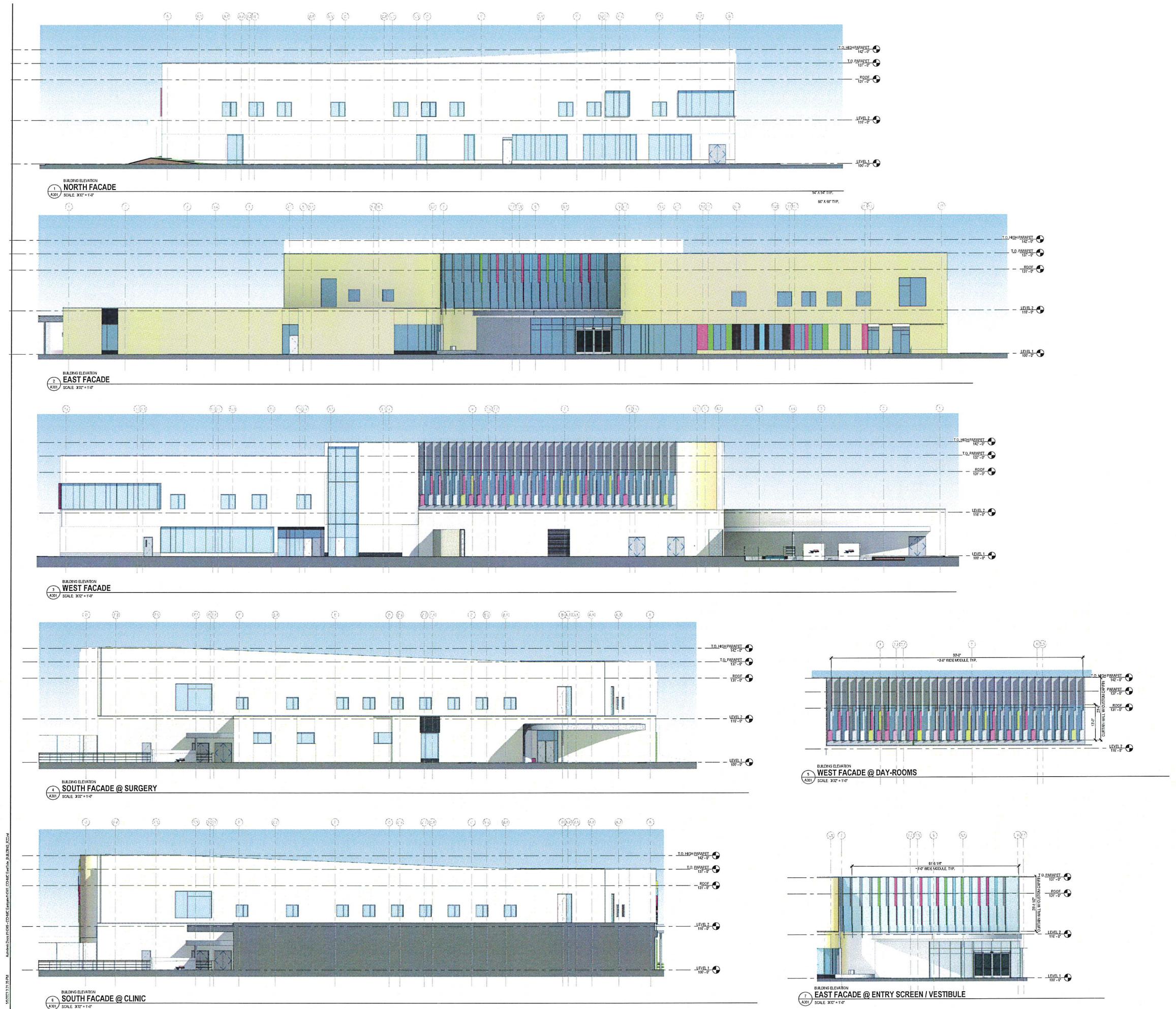
JOB NUMBER

14349.01

ARCHITECTURAL DRAWINGS
INCLUDED FOR REFERENCE ONLY**A301**

01.20.2023

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DRAWING ISSUE
BID DOCUMENTS
PACKAGED - MEPC EARLY PROCUREMENT

NO. DATE DESCRIPTION

2 05.07.23 ISSUE FOR ZONING

DRAWING TITLE
SITE PHOTOMETRICS
ANALYSIS

KEY PLAN



JOB NUMBER

14349.01

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PROJECT NO. 202306052
05/05/23