



**UNION TOWNSHIP BOARD OF TRUSTEES
JUNE 22ND, 2023 MEETING**

OVERLAY DISTRICT PLAN

**MILBAX PROPERTIES LLC, Applicant
867 STATE ROUTE 125 / Parcel ID #413217G082**

Staff Report: CASE # 4-23-O

NATURE OF REQUEST

The Applicant is requesting Overlay District Plan Approval from the Union Township Board of Trustees for Parcel# 413217G082. Specifically, the Applicant is seeking to expand an existing commercial garage—on a site that is located within the Ohio Pike Focus Area Overlay – Commercial Corridor (FA-CC). *Please refer to the Applicant's statements, plans, and other application enclosures.

LOCATION

The subject property is located at 867 State Route 125, on the southwestern corner of the State Route 125 and Dieckman Ln. intersection.

ZONING

The subject property is zoned Business (B-1), with the adjoining property to the north and east also zoned Business (B-1) for the underlying zoning. The property to the south is zoned Single-Family Detached Structure Residential (R-1), and the property to the west is zoned Single-Family Detached Structure Residential (R-2) and Planned Multi-Family Residential (R-3).

RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the subject property is located within the Ohio Pike (SR 125) Corridor.

Among other things, the Plan calls for access control, and for site development to be conducted in a manner that focuses on maximizing land use efficiency with infill development, reinvestment, and / or redevelopment initiatives. For commercial redevelopment, or in the instance of residential to commercial conversions, the use of traditional building materials, adequate vegetative buffering, landscaping strategies along shared property lines, and landscaping enhancements along the corridor frontage is also required, in accordance with the Plan.

RELATIONSHIP TO THE FOCUS OVERLAY DISTRICT REGULATIONS

As noted in the previous section of the staff report, the affected property is located within the Ohio Pike Commercial Corridor. Article 13 of the Union Township Zoning Resolution identifies this corridor as a “Commercial Corridor,” and makes these statements with respect to these Districts:

1307. Focus Area Overlay-Commercial Corridor Districts...

1. Findings and Specific Purpose.

Business districts and corridors are recognized as principal focal points of community activity providing an economic resource and a center for community identity. It is in the interest of the Township to protect and enhance the features of public interest in such business districts by:

- a. Preventing the deterioration of property and the extension of blighting conditions;
- b. Encouraging and protecting private investment which improves and stimulates the economic vitality and social character of the area;
- c. Preventing the creation of influences adverse to the physical character of the area.

2. Characteristics.

FA-CC districts shall be limited to geographic areas included in a FA-Commercial Corridor which contain or are planned to contain one (1) or more of the following characteristics:

- a. A concentration of retail and service oriented commercial establishments serving as a principal business activity center for a socio-geographic neighborhood, community, or region;
- b. An area that has received or been approved for substantial public investment;
- c. An area that is planned for unusual intensity or density of development.

BACKGROUND

As referenced in the Applicant's statements and enclosures, the Applicant is planning a 1,140 square-foot expansion to the existing commercial garage facility on this particular property—specifically or the purposes of gaining a dedicated space for vehicle ADAS (Advanced Driver Assistance Systems) calibrations.

STAFF REVIEW & ANALYSIS

A review of this particular Overlay District application indicates that the proposal appears to be consistent with both the recommendations of the adopted Land Use Plan, as well as the Findings and Specific Purpose(s) of the Overlay District zoning regulations. The Applicant has proposed a building consistent of traditional building materials, with no new signage. The parking and driveway areas on the current plans appear to be sufficient, as there would be no additional customer or commercial parking or loading areas (necessary) for the proposed use. There is already an existing sidewalk along State Route 125 for pedestrian connectivity from / through the site to State Route 125. The landscaping / buffer plans would ultimately need to be enhanced / adjusted along the western property line (adjacent to the existing residential area) as well as around the relocated, screened dumpster to meet the standards set forth in the Union Township Comprehensive Land Use Plan. Finally, there is no additional exterior lighting being proposed at this time.

ACTION REQUIRED

In accordance with Section 1310 of the Zoning Resolution, the Board of Trustees' role in this process is to either enter a motion to approve, modify, or deny the Focus Area Overlay District application—which, in this case consists of the expansion an existing commercial garage—as submitted, along with any further modifications deemed appropriate by the Board.

RECOMMENDED MODIFICATIONS

If the Board should choose to grant favorable consideration to this Overlay District application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant must address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant would need to provide more details regarding the proposed landscaping plan, including the types of plantings along with the heights / sizes recommended along the western edge of the property as well as the perimeter of the proposed dumpster enclosure. Additionally, all landscaping should be marked as preservation area(s), and any vegetation disturbed should be repaired, supplemented, or replaced. *This is an item that can be addressed administratively by staff.*

- 3) There is no lighting proposed at this time; however, all lighting (if needed in the future) would need to be downward directed, and of sufficient intensity to illuminate without projecting onto the adjoining residential property. **Details / specs of proposed lighting would be necessary; however, this is an item that could / would be addressed administratively by staff.*
- 4) As of June 13th, 2023, the other items that need to be added to the current plans and associated materials prior to any final administrative actions included:
 - a. The ownership, zoning and land uses of all adjacent properties need to be referenced / shown on the final plans (including those across SR 125);
 - b. A more complete dumpster enclosure detail needs to be provided and approved;
 - c. A construction schedule needs to be provided with the revised plans (which could simply be a note on the plans).
 - d. A commercial zoning permit will also ultimately need to be submitted.

>These are all items that can be addressed administratively by staff.

III. SUPPORTING DOCUMENTS REQUIRED FOR APPLICATION

1. Photocopy of tax map with subject property highlighted.
2. Legal description of property (see deed).
3. Development plans.
4. Application fee as established by the Township Trustees.

IV. SUPPORTING INFORMATION

A. Existing Zoning District Union (Zoning Code: B-1)

Existing Land Use YSS - C - (Commercial) Garage

Proposed Focus Area District and Classification Category Same

Proposed Land Use Same

B. Describe the characteristics of the Parcel/Project for consideration by the Board of Trustees (use additional sheet if necessary):

We plan a small expansion of our existing building to gain a dedicated space for vehicles ADAS calibrations. (Advanced Driver Assistance Systems)

V. AFFIDAVIT

I hereby depose and say that I have familiarized myself with the rules and regulations of the Union Township Zoning Resolution with respect to preparing this application. I hereby certify that I have read the foregoing document and supplements attached thereto and that I have answered all questions fully and to the best of my ability. I hereby attest to the truth and exactness of the information supplied herewith and that I am the owner or lessee of the property to be rezoned.



Applicant*

*If the property is owned by a corporation or partnership, signatory must be an authorized officer or partner.

STATE OF Ohio

COUNTY OF Clermont

Subscribed and sworn to before me this 17 day of April, of this year
2023.



Notary Public

My commission expires _____



WILLIAM T BAXTER
Notary Public
State of Ohio
My Comm. Expires
July 2, 2027

20140-359
Filed for Record in
CLERMONT COUNTY, OH
DEBORAH HALL CLEPPER, COUNTY RECORDER
07-03-2014 At 07:15 AM
DEED 52.00
DR Book 2524 Page 912 912



BK: 2524 PG: 912

Return To:
Mattingly Ford Title Services LLC
309 Artillery Park Drive, Suite 102
Ft. Mitchell, KY 41017
1405350

GENERAL WARRANTY DEED

Marsha L Cushman, Co-Trustee and Kevin M Cushman, Co-Trustee under the Joyce R Dahlheimer Family Living Trust dated March 28, 1996 and Linda Holt, married, Regina Rumke, unmarried, David A Dietrich a/k/a Dave Dietrich, unmarried, and Douglas A Dietrich a/k/a Doug Dietrich, married, of Clermont County, Ohio for valuable consideration paid, grant(s) with general warranty covenants, to Milbax Properties, LLC, whose fax mailing address is: 867 State Route 125, Cincinnati, OH 45245, the following REAL PROPERTY, Situated in the County of Clermont, in the State of Ohio and in the Township of Union:

SEE EXHIBIT "A" ATTACHED HERETO

Subject to all easements and restrictions of record, if any, and all legal highways.

Excepting taxes and assessments, if any, due and payable in February 2015, and thereafter, which the Grantee(s) herein assume(s) and agree(s) to pay.

Property most commonly known as: 867 State Route 125
Cincinnati, Ohio 45245

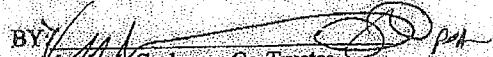
Prior Instrument Reference: O.R. Volume 1211, Page 177, OR Book 1870, page 2099 a and OR Book 2291, Page 1842.

Edwin Holt, husband of Linda Holt and Carol Dietrich, wife of Douglas A Dietrich a/k/a Doug Dietrich, joins herein to release all rights and expectancy of dower.

Executed this 24 day of June, 2014.

Joyce R Dahlheimer Family Living Trust dated March 28, 1996

BY

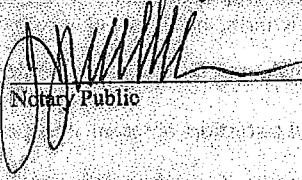

Marsha L. Cushman, Co-Trustee
Under the Joyce R Dahlheimer Family
Living Trust dated March 28, 1996

State of OHIO, County of Wood, SS:

Before me, a Notary Public in and for said County and State, personally appeared the above named Marsha L. Cushman, Co-Trustee Joyce R Dahlheimer Family Living Trust dated March 28, 1996, who acknowledged that she did sign the foregoing instrument and that the same is her free act and deed.

IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my official seal this 24 day of June, 2014.

My commission expires:
(seal)


Notary Public



JOSEPH W. WESTMEYER, JR.
Attorney at Law
Notary Public - State of Ohio
My Commission has no expiration date
Section 147.03 O.R.C.



BK: 2524 PG: 914

Executed this 24 day of June, 2014.

Joyce R Dahlheimer Family Living Trust dated March 28, 1996

BY: *Kevin M. Cushman*
Kevin M Cushman, Co-Trustee
Under the Joyce R Dahlheimer Family
Living Trust dated March 28, 1996

State of OHIO, County of Franklin, SS:

Before me, a Notary Public in and for said County and State, personally appeared the above named Kevin M Cushman, Co-Trustee Joyce R Dahlheimer Family Living Trust dated March 28, 1996, who acknowledged that he did sign the foregoing instrument and that the same is his free act and deed.

IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my official seal this 24 day of June, 2014.

My commission expires:
(seal) DOES NOT EXPIRE

Gary M. Talcott
Notary Public



GARY M. TALCOTT, JR., Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec. 147.03 R.C.

Executed this 26 day of June 2014

Linda Holt by David A. Dietrich, Attorney-in-Fact
 Linda Holt by David A. Dietrich, Attorney-in-Fact

Edwin Holt by David A. Dietrich, Attorney-in-Fact
 Edwin Holt by David A. Dietrich, Attorney-in-Fact

Regina Rumke by David A. Dietrich, Attorney-in-Fact
 Regina Rumke by David A. Dietrich, Attorney-in-Fact

David A. Dietrich
 David A. Dietrich a/k/a Dave Dietrich

Carol Dietrich by David A. Dietrich, Attorney-in-Fact
 Carol Dietrich by David A. Dietrich, Attorney-in-Fact

Douglas A. Dietrich
 Douglas A. Dietrich a/k/a Doug Dietrich by
 David A. Dietrich, Attorney-in-Fact (13)

State of Ohio, County of HAMILTON ss.

Before me, a Notary Public in and for said County and State, personally appeared the above named Linda Holt and Edwin Holt, husband and wife, both by David A. Dietrich, their Attorney-in-Fact, Regina Rumke by David A. Dietrich, her Attorney-in-Fact, David A. Dietrich a/k/a Dave Dietrich and Carol A. Dietrich by her David A. Dietrich, her Attorney-in-Fact and Douglas A. Dietrich a/k/a Doug Dietrich by David A. Dietrich, his Attorney-in-Fact, who acknowledged that he/she/they did sign the foregoing instrument and that the same is his/her/their free act and deed.

IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my official seal this 30th day of June, 2014.

My commission expires:
 (seal)

Ronni Lou Gittinger
 Notary Public, State of Ohio

My Commission Expires January 30, 2016

This instrument was prepared by: Steven C. Gittinger, Attorney at Law, 241 Elm Street, Ludlow, KY 41016, phone 513-600-7659, SC #011887



1192-012

JUL 03 2014

APPROVED
FOR TRANSFER
PATRICK J. MANGER
C. COUNTY ENGINEER
CLERMONT COUNTY, O.
BY [initials]



BK: 2524 PG: 916

EXHIBIT "A"

This conveyance has been examined and the
Grantor has complied with Section 319.202
of the Revised Code
Purchase Price \$ 350.00
Transfer # 1192-012
Fee \$ 120.00

Filed with the office of

Linda L. Fraley

By: RB

Date 7-3-14

1192-012 BK 32 PG 17G PAR 082
1.534 ACRES
1.534 AC

Situated in the Jones Military Survey No. 1134, Union Township, Clermont County, Ohio and being more particularly described as follows:

Beginning at a point in State Route No. 125, being N 04°54'39" E for a distance of 4.91 feet from the centerline intersection of Dieckman lane and State Route No. 125;

THENCE with the centerline of Dieckman Lane S 04°54'39" W for a distance of 302.25 feet to a point corner to lands of James P. and Virginia A. Gegner;

THENCE leaving said lane with the northerly line of said Gegner N 77°04'42" W (passing a 5/8" iron pin set at 20.20 feet) for a total distance of 200.00 feet to a 5/8" iron pin set in the easterly line of lands of Liberty Trace LLC;

THENCE with said easterly line N 05°11'42" E for a distance of 149.60 feet to a splice found corner to said Liberty Trace;

THENCE with the northerly line of said Liberty Trace N 73°16'26" W for a distance of 5.50 feet to a 1/2" iron pin found corner to lands of Board of Trustees of Union Township;

THENCE with the easterly line of said Union Township N 04°33'00" E (passing a 1/2" iron pin found at 172.97 feet) for a total distance of 213.65 feet to a point in State Route No. 125;

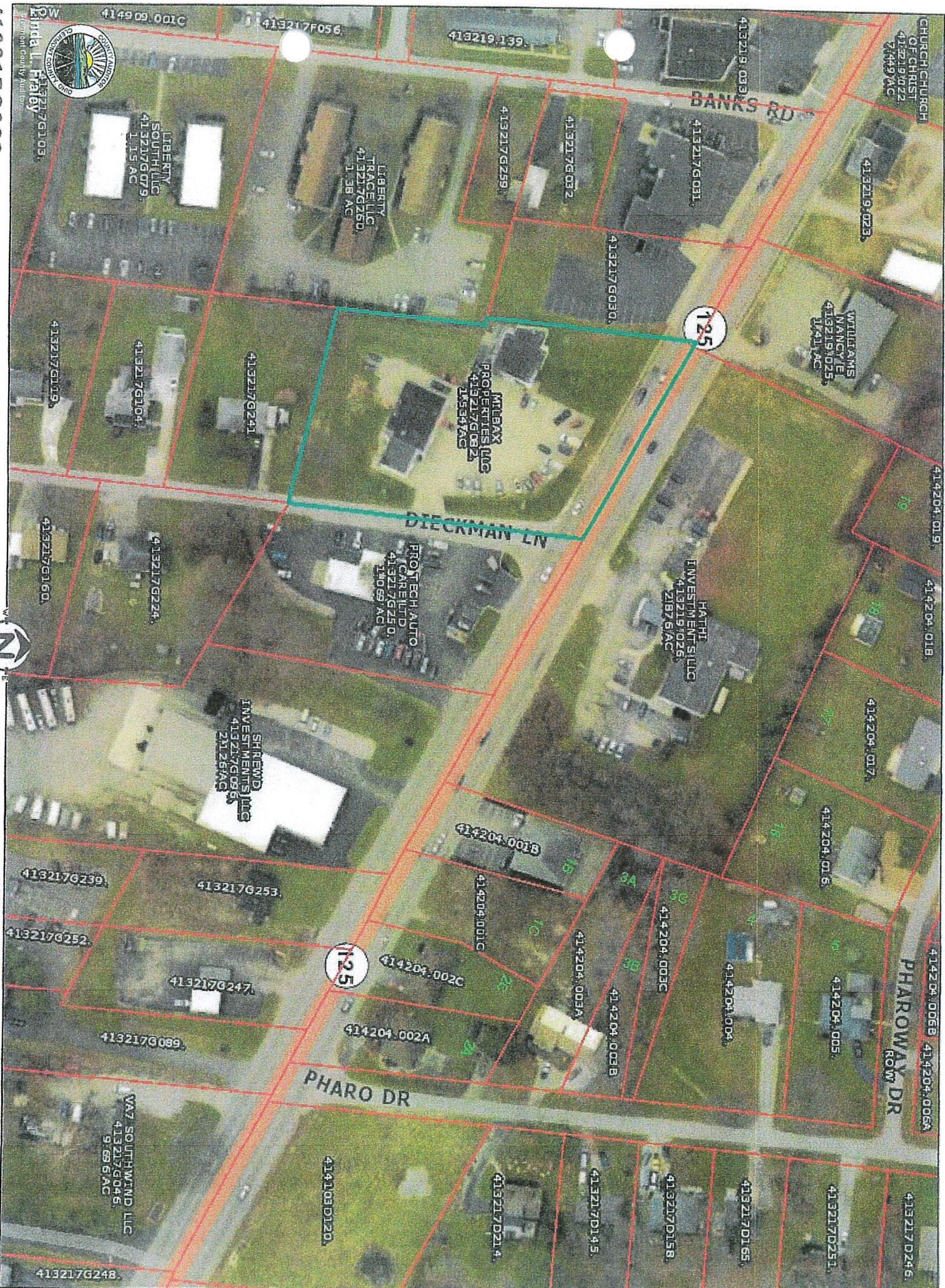
THENCE with said State Route No. 125, S 61°17'18" E for a distance of 223.00 feet to the place of beginning.

Said property contains 1.534 acres and being subject to legal highways and easements of record.

The above described real estate is the same premises described as recorded in O.R. Book 2291, page 1842 of the Clermont County, Ohio, Deed Records and identified as parcel 41-32-17G-082, on the Tax Maps of said County.

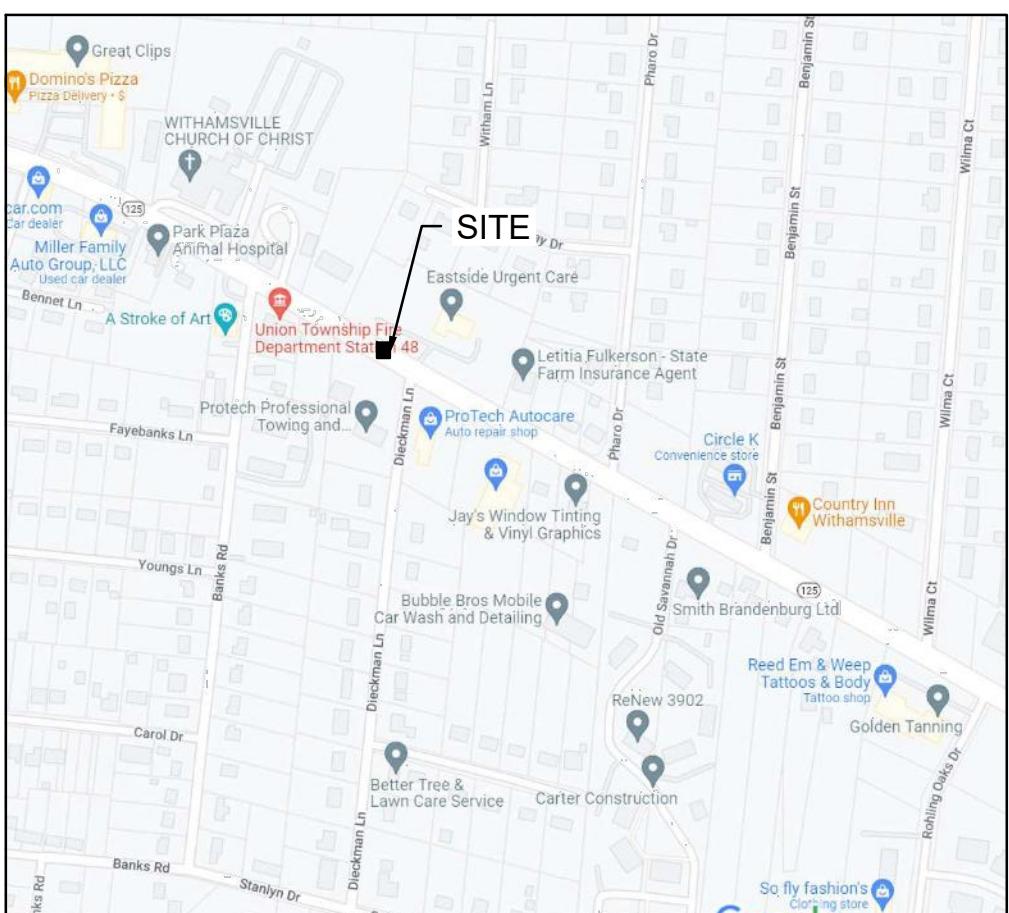
Being the result of a field survey and plat dated 6/26/2014 made under the supervision of John C. Hewett registration No. 7550 in the State of Ohio.

413217G082.



| SHEET INDEX | |
|--------------|-----------------------------------|
| SHEET NUMBER | SHEET DESCRIPTION |
| SP1/3 | EXISTING CONDITIONS PLAN |
| SP2/3 | SITE PLAN/DRAINAGE CALC |
| SP3/3 | SEDIMENT AND EROSION CONTROL PLAN |
| A1/1 | FLOOR PLAN/ELEVATIONS |
| E1/1 | TYPICAL SECTIONS/ELECTRIC DETAIL |

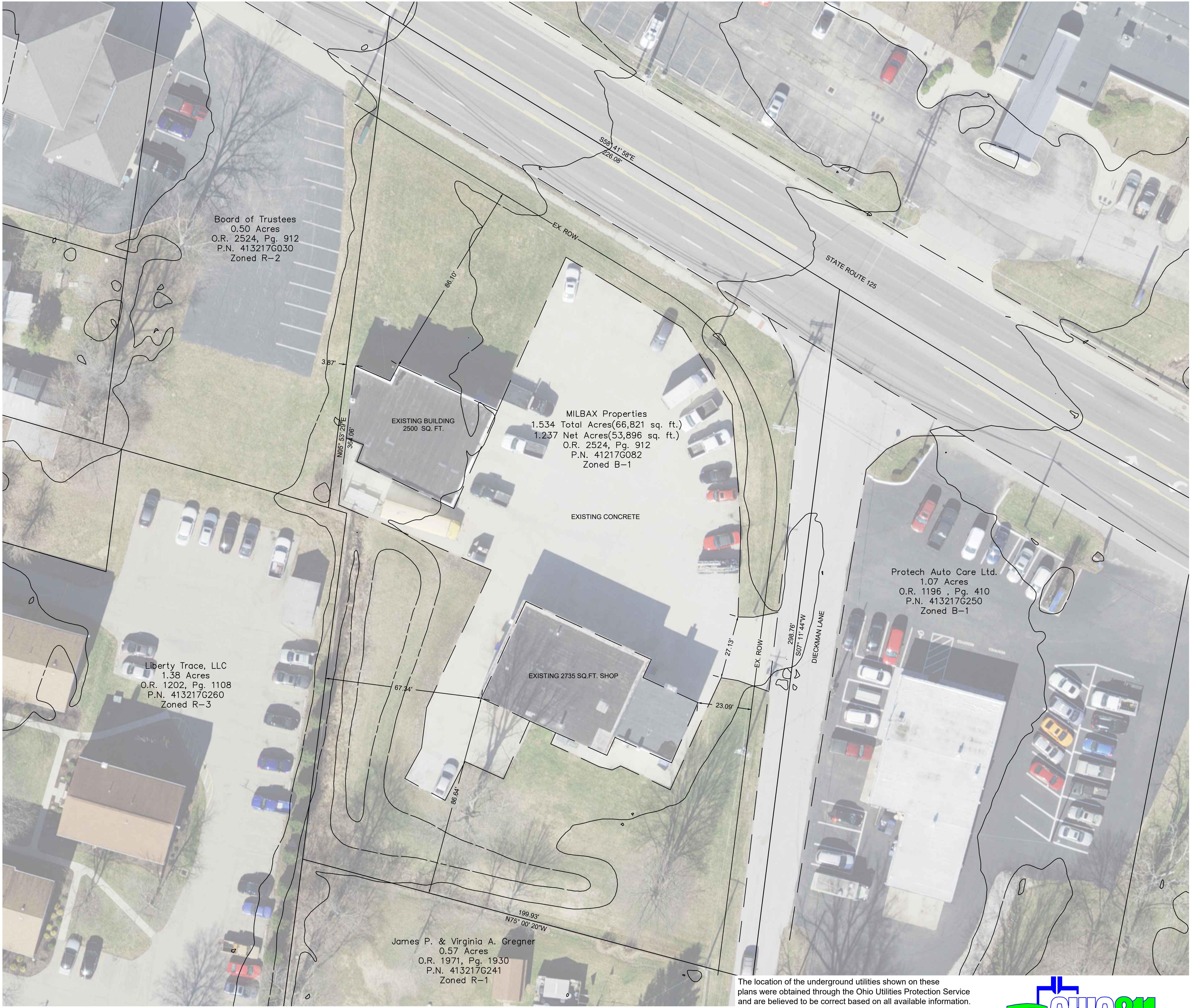
Bearings are based on the Ohio State Plane Coordinate System, South Zone NAD83(2011)



LOCATION MAP
NOT TO SCALE



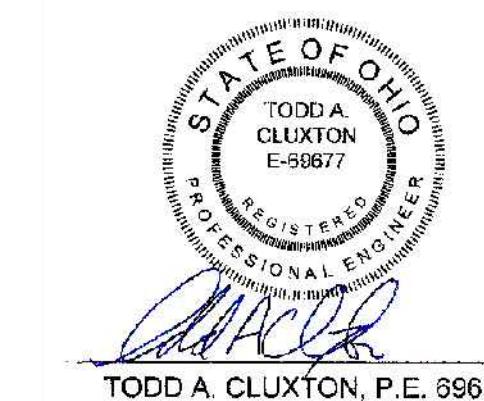
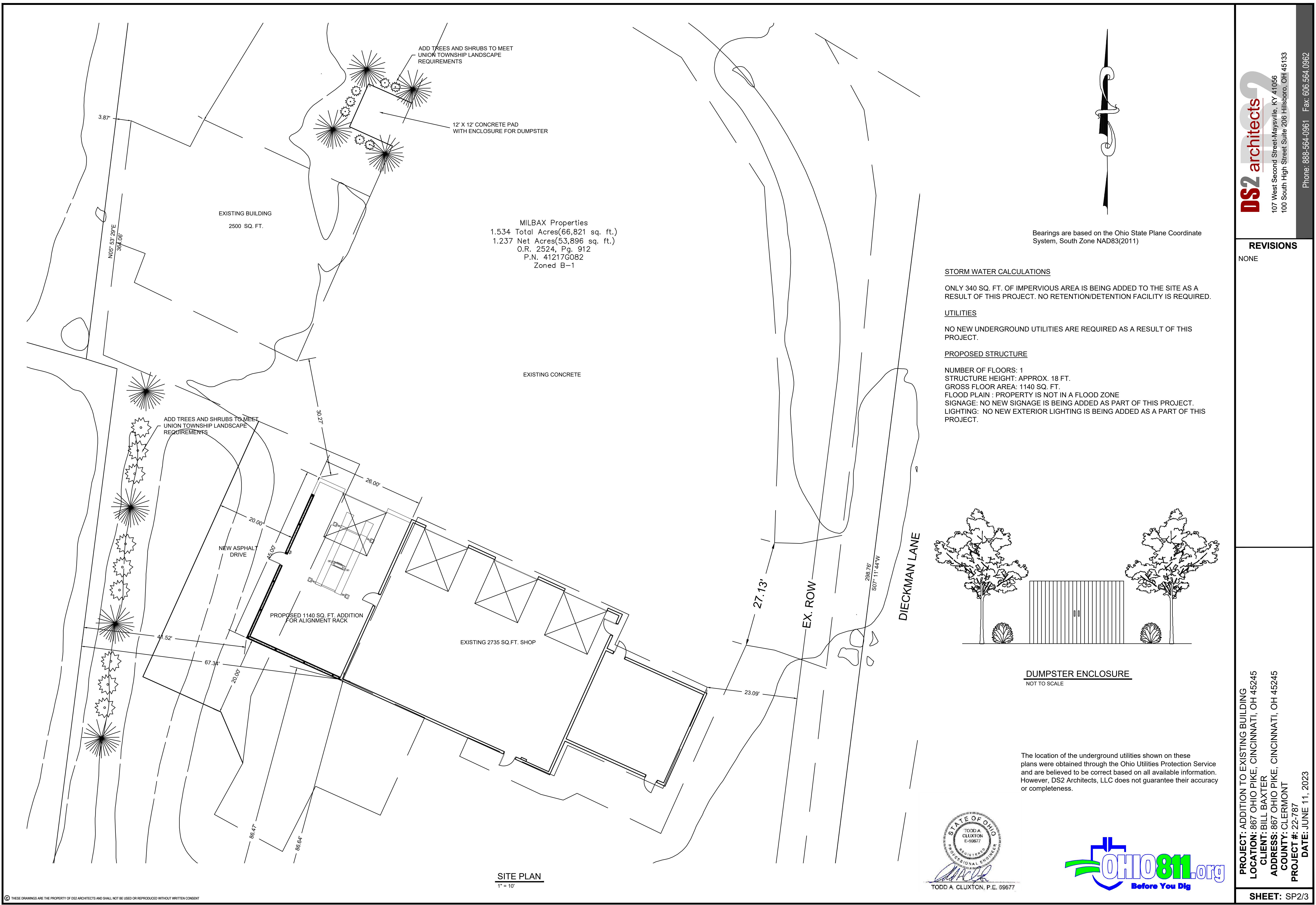
TODD A. CLUXTON, P.E. 8677



PROJECT: ADDITION TO EXISTING BUILDING
LOCATION: 867 OHIO PIKE, CINCINNATI, OH 45245
CLIENT: BILL BAXTER
ADDRESS: 867 OHIO PIKE, CINCINNATI, OH 45245
COUNTY: CLERMONT
PROJECT #: 22-787
DATE: JUNE 11, 2023

SHEET: SP1/3

DS2 architects
107 West Second Street/Maysville, KY 41056
100 South High Street Suite 206 Hillsboro, OH 45133
Phone: 888-564-0961 Fax: 606-564-0962



TODD A. CLUXTON, P.E. 86677

NOTES:

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
3. TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UP SLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
4. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE; IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AND ADEQUATELY UNIFORM TRENCH DEPTH.
8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE FABRIC AND SO THAT 8 INCHES OF CLOTH IS BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
10. MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. ALL THE GAPS AND TEARS IN THE FENCE MUST BE ELIMINATED AND REPAIRED IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW. ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, 3) OTHER PRACTICES SHALL BE INSTALLED.

CRITERIA FOR SILT FENCE MATERIAL

1. FENCE POSTS- THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 INCHES BY 2 INCHES HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET. SILT FENCE FABRIC SHALL BE ODOT TYPE C GEOTEXTILE FABRIC OR AS DESCRIBED BY THE BELOW CHART.

| FABRIC PROPERTIES | |
|---|-----------------------------------|
| MINIMUM TENSILE STRENGTH | 120 LBS |
| MAXIMUM ELONGATION AT 60 LBS | 50% |
| MINIMUM PUNCTURE STRENGTH | 50 LBS |
| MINIMUM TEAR STRENGTH | 40 LBS |
| APPARENT OPENING SIZE | ≤ 0.84 MM |
| MINIMUM PERMITTIVITY | 1×10^2 SEC ⁻¹ |
| ULTRAVIOLET EXPOSURE STRENGTH RETENTION | 70% |

NOTES:

1. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED FOR ALL CONSTRUCTION PROJECTS HAVING SIGNIFICANT GRADING. THE CONTROLS ARE PROVIDED DURING CONSTRUCTION TO PREVENT SOIL ERODED FROM THE CONSTRUCTION AREA FROM ENTERING ADJACENT WATERWAYS AND PROPERTIES.
2. CONSTRUCTION ITEMS INCLUDE SEDIMENT BASINS, SEDIMENT DAMS, DIVERSION DIKES AND/OR DITCHES AND STRAW BALES OR OTHER FILTER DIKES SHOWN ON ODOT STANDARD DRAWING MC-11. OTHER MISCELLANEOUS EROSION CONTROL MEASURES INCLUDE REPAIR SEEDING AND MULCHING, COMMERCIAL FERTILIZER, WATER AND MOWING AND ROCK CHANNEL PROTECTION, COVERED IN ODOT SPECIFICATION ITEMS 659 AND 601.
3. THE SIZE OF THE ENTIRE DRAINAGE AREA CONTRIBUTING FLOW IS USED TO DETERMINE THE MOST EFFECTIVE EROSION CONTROL METHOD. IN MANY CASES THE MAJOR PORTION OF THE CONTRIBUTING AREA WILL BE BEYOND THE PROJECT LIMITS, AND FOR THOSE CASES IT WILL BE NECESSARY TO CONTROL THE FLOW FROM OUTSIDE BEFORE IT REACHES THE AREA DISTURBED BY PROJECT CONSTRUCTION. FLOW FROM THE AREA DISTURBED BY CONSTRUCTION SHALL BE TREATED PRIOR TO COMBINING IT WITH OFF-PAVEMENT DRAINAGE.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED FOR ALL SUBDIVISIONS AND INDIVIDUAL SITES UNLESS OTHERWISE APPROVED. THE CONTROL MEASURES ARE TO BE PROVIDED DURING CONSTRUCTION TO PREVENT EROSION FROM ENTERING ADJACENT WATERWAYS AND PROPERTIES.
5. THERE SHALL ONLY BE ONE CONSTRUCTION ENTRANCE OFF THE SITE. ENTRANCE TO BE CONSTRUCTED OF 8" OF #2 STONE, 75 FEET LONG BY 20 FEET WIDE. CONTRACTOR TO KEEP MUD OFF EXISTING STREETS. NO EQUIPMENT TO BE PARKED ON EXISTING STREETS. MORE THAN ONE ENTRANCE MUST BE APPROVED BY THE CITY.

PLAN SUBMITTAL

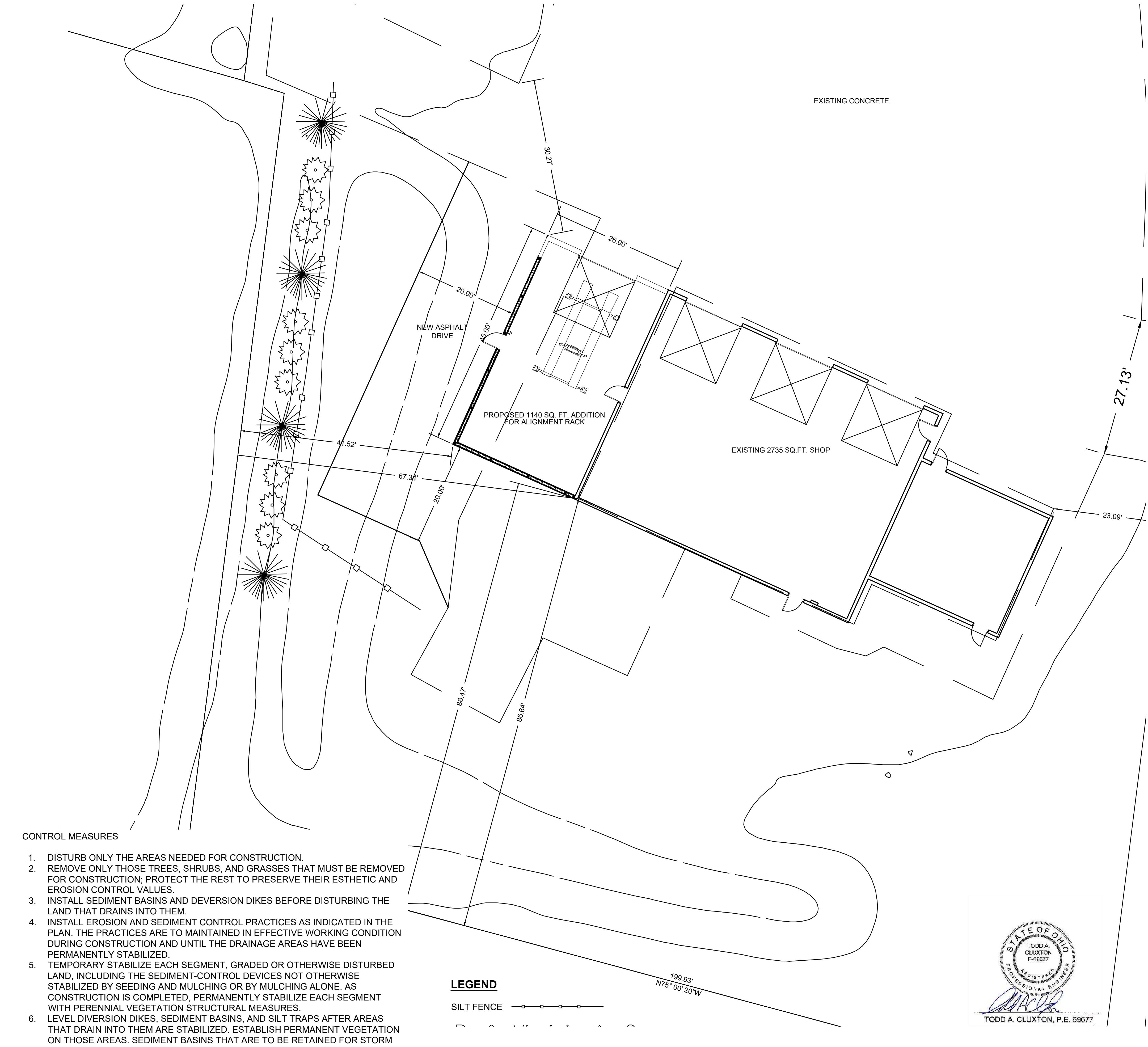
1. ALL SITE PLANS SHALL INCLUDE APPROPRIATE EROSION AND SEDIMENT CONTROL DEVICES AND SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK UNLESS OTHERWISE APPROVED. ALL PROJECTS WHICH DISTURB 1 ACRE OR MORE MUST HAVE OEPa EROSION CONTROL MEASURES.

CONSTRUCTION

1. ALL EROSION AND SEDIMENT CONTROL MUST BE INSPECTED AND APPROVED BY THE CITY UNLESS OTHERWISE APPROVED.

STORM WATER PERMITS

1. ON ALL PROJECTS WHICH DISTURB AT LEAST 1 ACRE OF SOIL, A NPDES PERMIT IS REQUIRED FROM OEPa AND A COPY OF THE PERMIT MUST BE ON FILE AT THE CITY BEFORE CONSTRUCTION BEGINS.
2. EROSION CONTROL SUBMITTALS SHALL BE AS PER THE CURRENT STORM WATER MANAGEMENT ORDINANCE.



The location of the underground utilities shown on these plans were obtained through the Ohio Utilities Protection Service and are believed to be correct based on all available information. However, DS2 Architects, LLC does not guarantee their accuracy or completeness.



PROJECT: ADDITION TO EXISTING BUILDING
 LOCATION: 867 OHIO PIKE, CINCINNATI, OH 45245
 CLIENT: BILL BAXTER
 ADDRESS: 867 OHIO PIKE, CINCINNATI, OH 45245
 COUNTY: CLERMONT
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DS2 architects
 107 West Second Street, Maysville, KY 41166
 100 South High Street, Suite 206, Hillsboro, OH 45133
 Phone: 888-564-0961 Fax: 606-564-0962

SHEET: SP3/3

GENERAL NOTES AND SPECIFICATIONS

- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- THESE PLANS ARE INTENDED TO DELINEATE THE CONSTRUCTION DETAILS AS REGULATED BY THE OHIO BUILDING CODE. ARCHITECTURAL DETAILS AND CONSTRUCTION MATERIAL SPECIFICATIONS NOT REGULATED BY THE BUILDING CODE ARE NOT NECESSARILY INCLUDED IN THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY SUCH DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHOP DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO COORDINATE SPACE AVAILABILITY FOR THE VARIOUS COMPONENTS INDICATED ON THESE DRAWINGS.
- ALL LUMBER TO BE CONSTRUCTION GRADE SPF OR BETTER, UNLESS OTHERWISE SPECIFIED.
- LUMBER DESIGNATED "P.T." SHALL BE PRESSURE TREATED AND APPROVED FOR DIRECT GROUND CONTACT.
- PROVIDE ACCESS TO HANDICAPPED PER CHAPTER 11, OBC AND ADAAG.

| DESIGN LOAD DATA TABLE | | | |
|------------------------|--|---|---|
| FOUNDATION | ASSUMED (PSF) | 1500 | |
| | UNIFORMLY DISTRIBUTED (PSF)- ATTIC W/OUT STORAGE/ALL OTHER | 10/40 | |
| FLOOR LIVE LOAD | CONCENTRATED (LBS) | - | |
| | IMPACT | - | |
| | REDUCTION | - | |
| | | | |
| ROOF LIVE LOAD | (PSF) | 20.0 | |
| | GROUND SNOW LOAD (Pg) | 20 | |
| ROOF SNOW LOAD | FLAT-ROOF SNOW LOAD (Pf) | - | |
| | SNOW EXPOSURE FACTOR (Ce) | 1.0 | |
| | SNOW LOAD IMPORTANCE FACTOR (Is) | 1.0 | |
| | Thermal Factor (Ci) | 1.0 | |
| WIND LOAD | BASIC WIND SPEED (MPH) | 115 | |
| | WIND IMPORTANCE FACTOR (I) | 1.0 | |
| | BUILDING CATEGORY | I | |
| | WIND EXPOSURE | C | |
| | INTERNAL PRESSURE COEFFICIENT | 0.18 | |
| | COMPONENTS AND CLADDING DESIGN WIND PRESSURE (PSF) | 23.2 | |
| EARTHQUAKE DESIGN DATA | SEISMIC USE GROUP | I | |
| | SPECTRAL RESPONSE COEFFICIENTS | @ 0.2 SEC Ss=20% Sds=0.213 @ 1.0 SEC S1=8.27% S1=0.132 | |
| | SITE CLASS | D | |
| | BASIC SEISMIC-FORCE-RESISTING SYSTEM | IK | |
| | DESIGN BASE SHEAR | 15.4 KIPS | |
| | ANALYSIS PROCEDURE | SIMPLIFIED | |
| FLOOD LOAD | LOCATED IN FLOOD-HAZARD AREA | NO | |
| | HIGH VELOCITY WAVE ACTION? | LOWEST HORIZONTAL STRUCTURAL MEMBER ELEVATION | - |
| | | LOWEST FLOOR ELEVATION | - |
| | NON-HIGH VELOCITY WAVE ACTION? | DRY FLOOD PROOFED ELEVATION | - |

| GENERAL BUILDING DATA TABLE | | |
|--------------------------------|----------|--|
| USE GROUP | S1 | |
| CONSTRUCTION TYPE | 5B | |
| BUILDING AREA | | |
| EXISTING OFFICE AREA | 728 SF | |
| EXISTING SHOP AREA | 2,655 SF | |
| AREA OF ADDITION | 1,172 SF | |
| TOTAL AREA | 4,355 SF | |
| OCCUPANT LOAD | | |
| EXISTING OFFICE (1 PER 100 SF) | 7 | |
| EXISTING SHOP (1 PER 300 SF) | 8 | |
| ADDITION (1 PER 300 SF) | 3 | |
| TOTAL AREA | 18 | |
| NOTES: | | |

| DOOR SCHEDULE | | | | | | |
|---------------|--------------------------|------------------|-------|---|------------------------------------|-------|
| SYMBOL | SIZE | TYPE | FRAME | HARDWARE | LOCK FUNCTION | NOTES |
| 001 | 3'-0" X 6'-8" X 1 3/4" | INSUL. STEEL | STEEL | H.D. LEVER HANDLE - PASSAGE LOCKSET- SELF CLOSER- ADA THRESHOLD | LOCKED TO EXTERIOR EGRESS INTERIOR | |
| 002 | 12'-0" X 13'-0" X 1 3/4" | INSUL. O.H. DOOR | STEEL | STANDARD O.H. DOOR TRACK SYSTEM | | |

PROJECT SCOPE:
ADDITION FOR PROTECH FOR ALIGNMENT MACHINE. ADDITION WILL HOUSE ALIGNMENT MACHINE THAT IS BEING MOVED FROM EXISTING SHOP FOR MORE ROOM. MINOR ELECTRICAL WORK FOR NEW LIGHTS, RECEPTACLES AND MOVING OF EXISTING ALIGNMENT RACK TO NEW LOCATION. ADDITION IS NOT CONDITIONED. VEHICLES WILL ONLY BE RUNNING LONG ENOUGH TO PULL INTO BUILDING.

NOTES:

NATURAL VENTILATION CALCULATION
OPENINGS
(1) 156 SF O.H. DOOR =156 SF
(1) 21 SF DOOR = 21 SF
TOTAL SF OPENINGS =177 SF

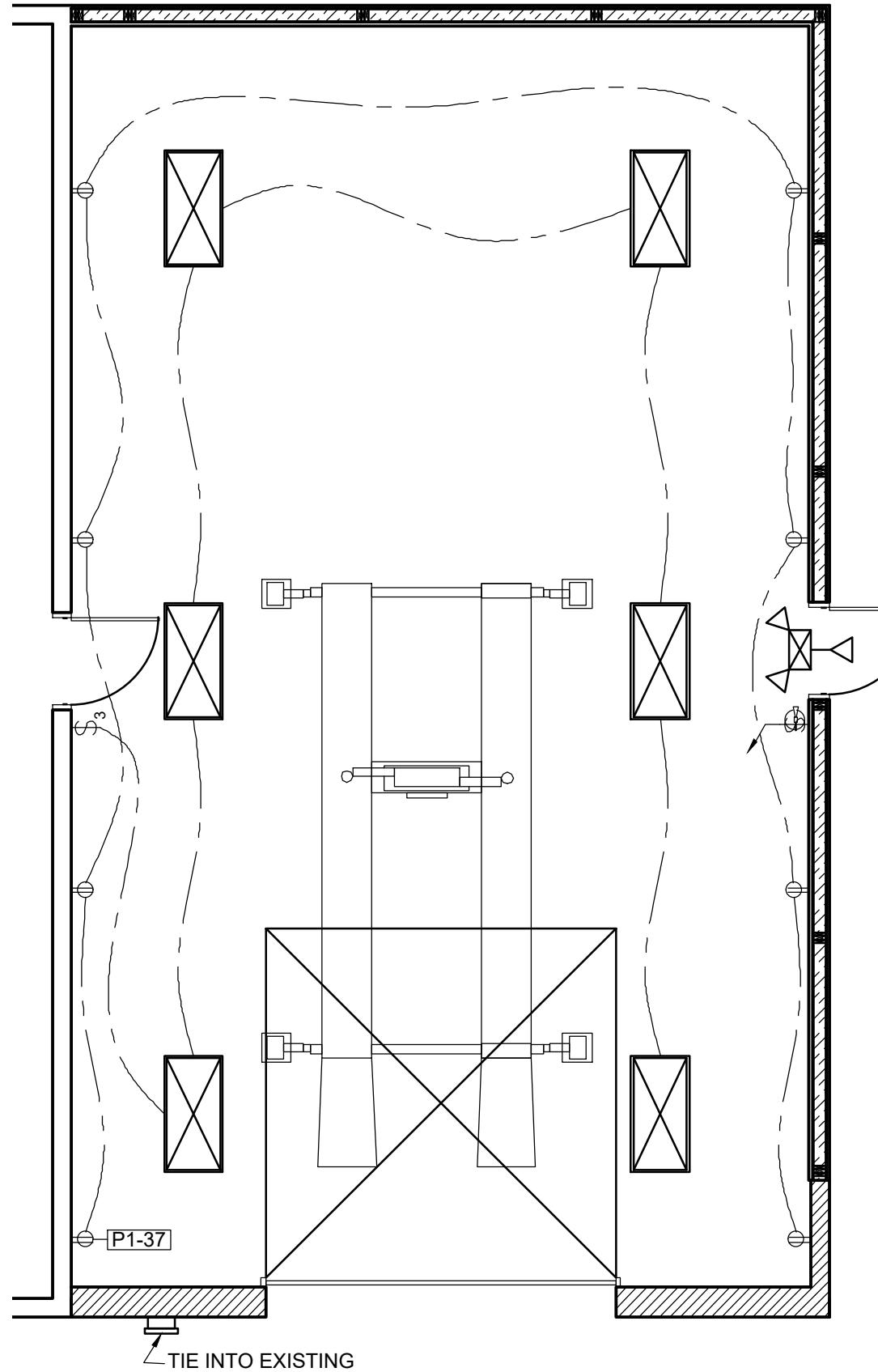
REQUIRED SF OF OPENINGS
1170 SF X 4% =46.80 SF
177 SF > 46.80 SF = PASS

| PANEL SCHEDULE (P1) 400 AMP-120/240V 3Ø (EXISTING) | | | | | | | | | | | |
|--|---------|-----------|-----------|-----|---|---|---|-----|-----------|---------|---------------|
| DESCRIPTION | LOAD KW | WIRE SIZE | BREAKER | | | | | | WIRE SIZE | LOAD KW | DESCRIPTION |
| | | | SIZE AMPS | NO. | A | B | C | NO. | SIZE AMPS | | |
| LIGHTS | | 12 | 20 | 1 | — | — | — | 2 | 20 | 12 | TIRE BALANCER |
| RECS BAY 1 | | 12 | 20 | 3 | — | — | — | 4 | 20 | 12 | |
| RECS BACK WALL | | 12 | 20 | 5 | — | — | — | 6 | 30 | 10 | SCISSOR LIFT |
| ALIGNMENT MACHINE | | 12 | 20 | 7 | — | — | — | 8 | 30 | 10 | |
| FURNACE | | 12 | 20 | 9 | — | — | — | 10 | 30 | 10 | |
| RECS BAY 3 | | 12 | 20 | 11 | — | — | — | 12 | 30 | 10 | BAY LIFT |
| RECS BAY 2 | | 12 | 20 | 13 | — | — | — | 14 | 30 | 10 | |
| SPARE | | 12 | 20 | 15 | — | — | — | 16 | 30 | 10 | |
| TIRE MACHINE | | 12 | 20 | 17 | — | — | — | 18 | 30 | 10 | BAY LIFT |
| | | 12 | 20 | 19 | — | — | — | 20 | 30 | 10 | |
| PARTS WASHER | | 10 | 30 | 21 | — | — | — | 22 | 30 | 10 | |
| | | 10 | 30 | 23 | — | — | — | 24 | 30 | 10 | BAY LIFT |
| OIL FURNACE | | 10 | 30 | 25 | — | — | — | 26 | 30 | 10 | |
| AIR COMPRESSOR | | 10 | 30 | 27 | — | — | — | 28 | 30 | 10 | |
| | | 10 | 30 | 29 | — | — | — | 30 | 30 | 10 | WATER HEATER |
| | | 10 | 30 | 31 | — | — | — | 32 | 30 | 10 | |
| AIR COMPRESSOR REC | | 12 | 20 | 33 | — | — | — | 34 | 30 | 10 | AC |
| BACK AREA LIGHTS | | 12 | 20 | 35 | — | — | — | 36 | 30 | 10 | |
| NEW RECS | 1.44 | 12 | 20 | 37 | — | — | — | 38 | 60 | 6 | SUB PANEL |
| PIPE BENDER | | 12 | 20 | 39 | — | — | — | 40 | 60 | 6 | |
| | | 12 | 20 | 41 | — | — | — | 42 | 20 | 12 | 0.60 |

| | |
|------------------------|--------------------------------|
| ESTIMATED EXITING LOAD | =117.76kw |
| NEW CIRCUITS | = 2.79kw |
| TOTAL | =120.55kw = 289.99 amps |

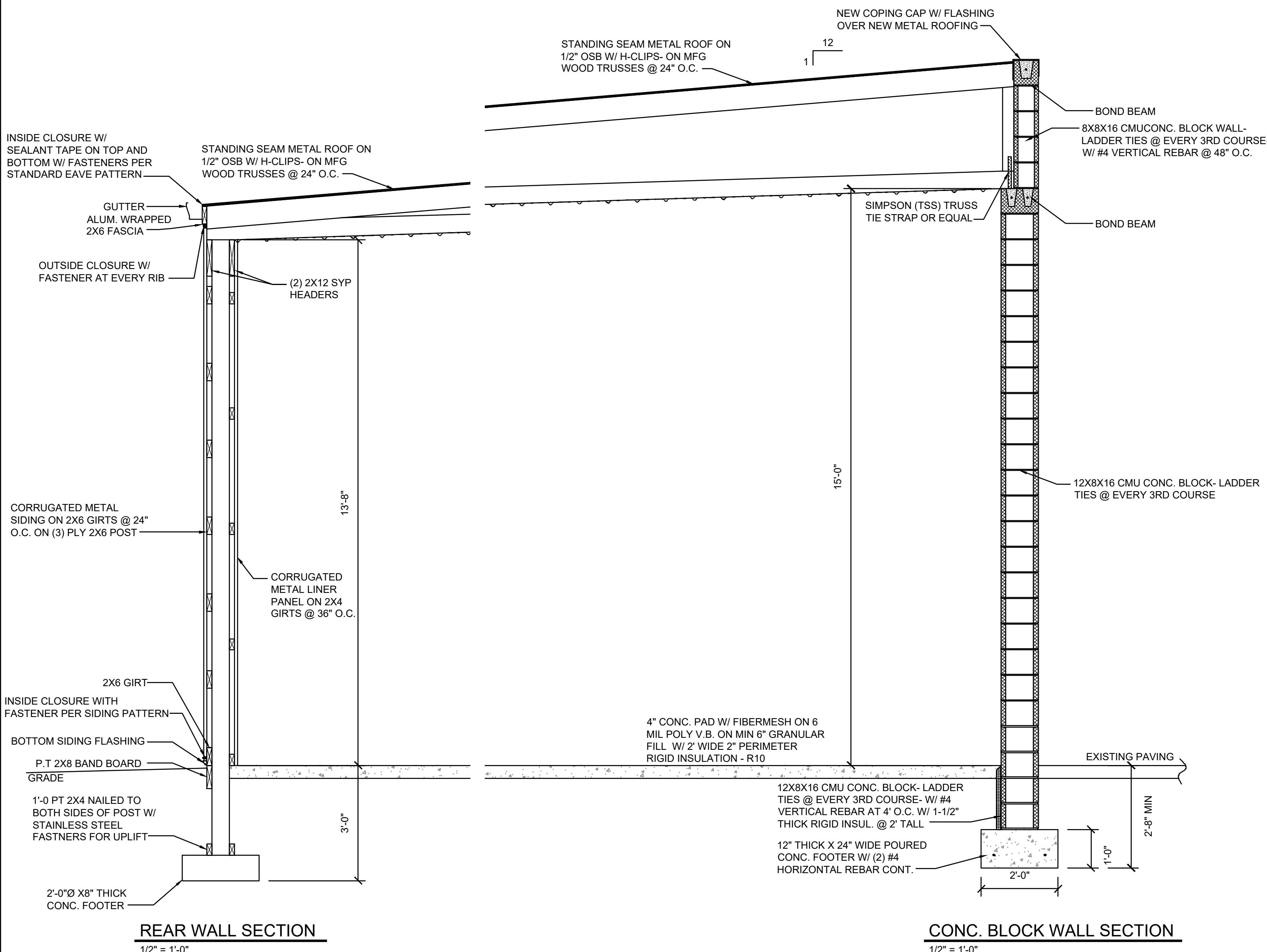
ELECTRICAL LEGEND

-  LED HIGH BAY LIGHT
-  SINGLE POLE SWITCH
-  THREE WAY SWITCH
-  DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT
INTERRUPTER- SHOP AREA RECEPTACLES TO BE
MOUNTED MIN 18" ABOVE F.F. (FROM BOTTOM OF
RECEPTACLE)
-  DENOTES CIRCUIT NUMBER AND PANEL
-  COMBINATION EXIT SIGN WITH EMERGENCY
EGRESS LIGHTS W/ REMOTE HEAD- LITHONIA
MODEL # LHQM S W 3 R OR EQUAL
-  LED WALL PACK WITH PHOTOCELL



ELECTRICAL PLAN

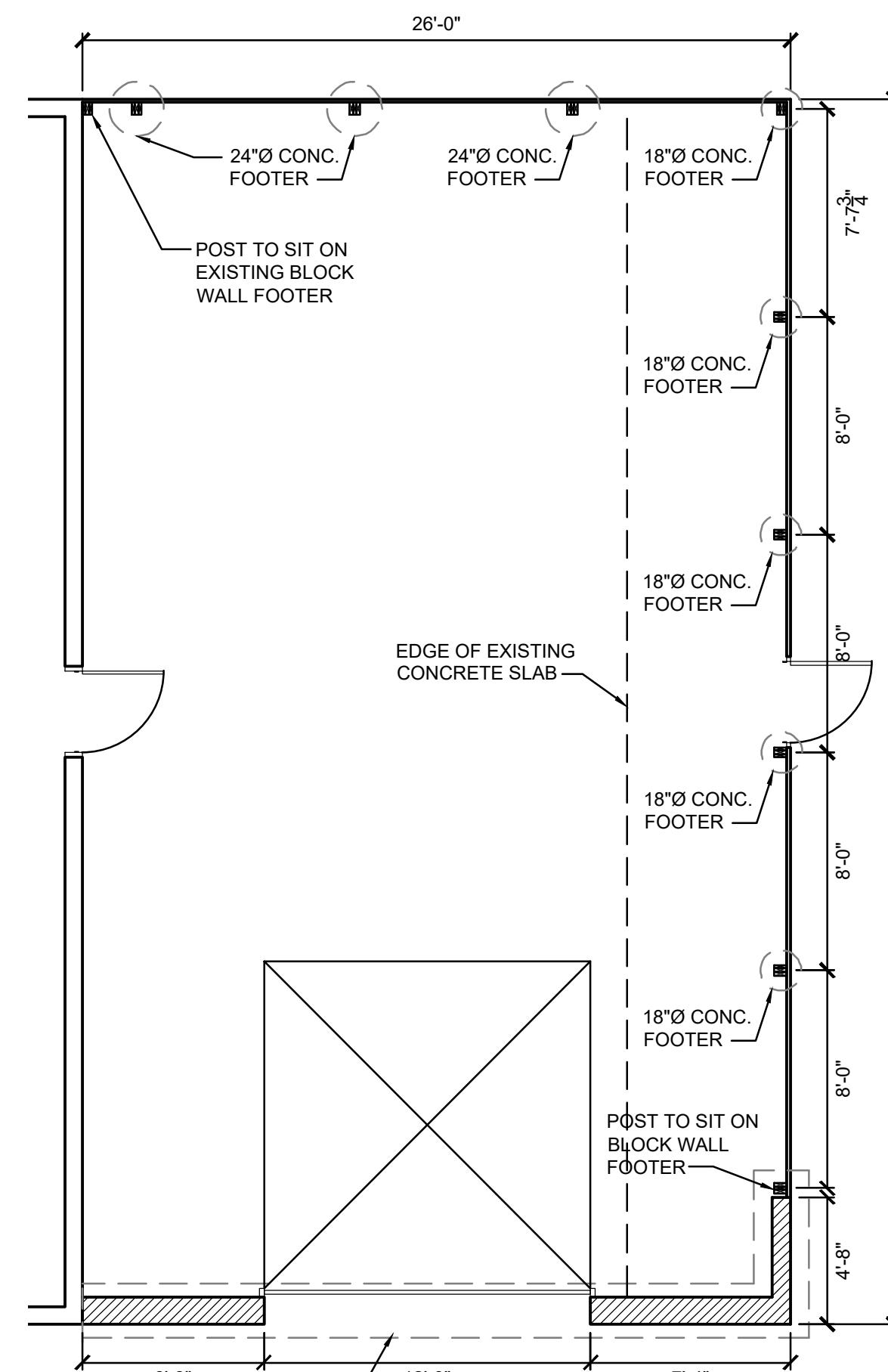
3/16" = 1'-0"



CONC. BLOCK WALL SECTION

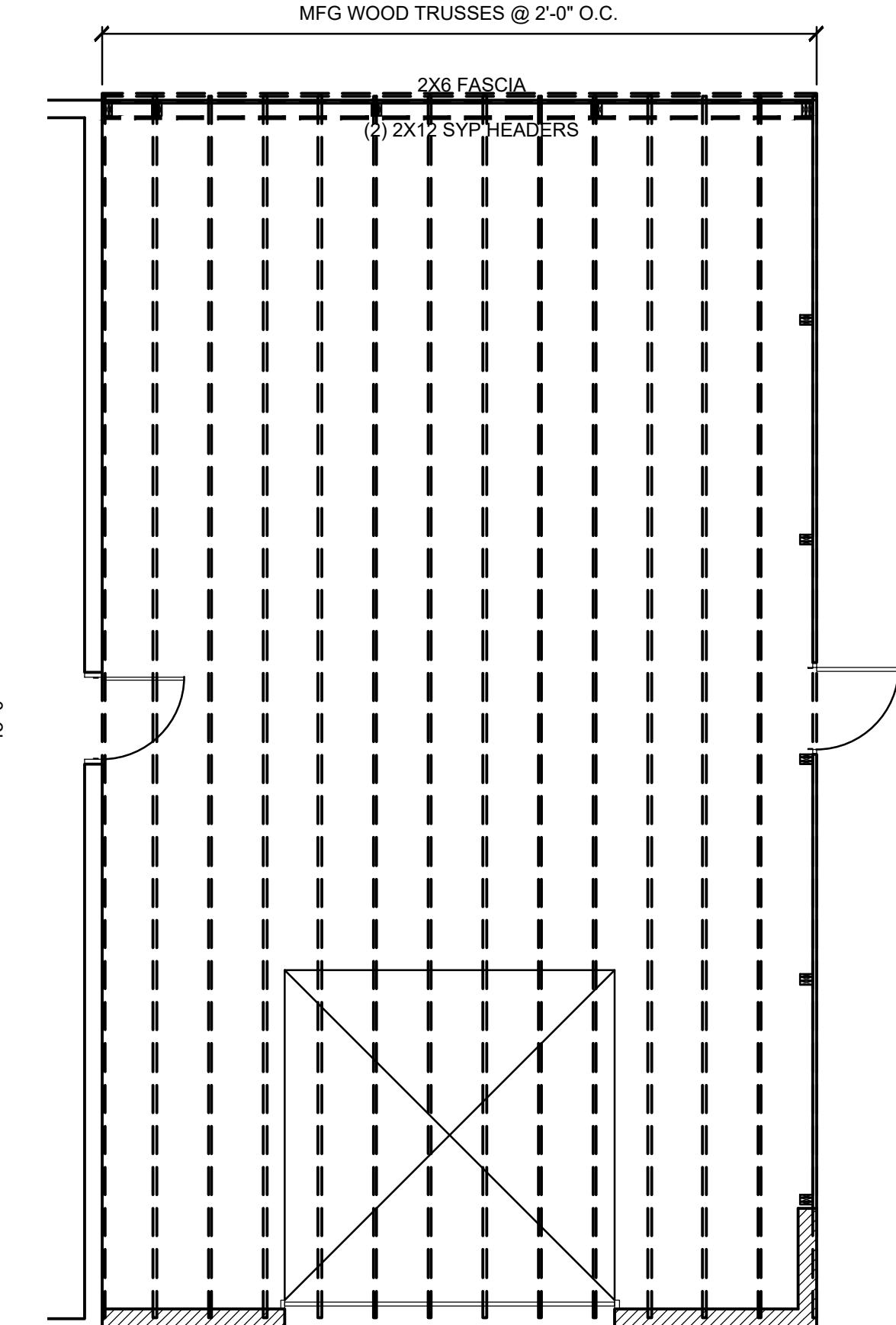
FOUNDATION PLAN

3/16" = 1



ROOF FRAMING PLAN

ROOF FF



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PROJECT: ADDITION TO EXISTING BUILDING
LOCATION: 877 OHIO PIKE, CINCINNATI, OH 45245
CLIENT: BILL BAXTER
ADDRESS: 877 OHIO PIKE, CINCINNATI, OH 45245
COUNTY: CLERMONT
PROJECT #: 22-787
DATE: FEBRUARY 26, 2023

SHEET: E1/1

1. ELECTRICAL WIRING AND EQUIPMENT TO BE INSTALLED IN STRICT COMPLIANCE WITH NFPA70, (NATIONAL ELECTRIC CODE) AND WITH ARTICLE 27, OBC.
2. SECONDARY CIRCUITS TO BE COPPER, TYPE NM INSULATION, SIZED AS SHOWN ON CIRCUIT BREAKER SCHEDULE AND INSTALLED PER ARTICLE 336, NEC.
3. ALL NEW SECONDARY CIRCUITS WHICH CANNOT BE INSTALLED IN LOCATIONS PERMITTED BY ARTICLE 336, NEC, SHALL BE INSTALLED IN CONDUIT SIZED PER TABLE 3-A, NEC. ALL CONDUCTORS IN CONDUIT TO BE COPPER, TYPE THW, THWN, OR THHN INSULATION.
4. ALL ELECTRICAL WORK SHALL BE IN SPECIAL COMPLIANCE WITH ARTICLE 511, NEC. ALL WIRING, FIXTURES, AND ELECTRICAL EQUIPMENT SHALL BE MORE THAN 18 INCHES ABOVE FINISHED FLOOR.
5. ALL ELECTRICAL WIRING AND EQUIPMENT IN THE SHOP AREA SHALL BE IN CONFORMANCE WITH ARTICLE 503, NEC - CLASS III LOCATIONS.
6. EXIT SIGNS SHALL CONFORM TO SECTION 1011.1, OBC AND SHALL BE FURNISHED WITH AN APPROVED BATTERY PACK EMERGENCY POWER SUPPLY WHICH IS CAPABLE TO FURNISHING FULL ILLUMINATION FOR AT LEAST 90 MINUTES IN THE CASE OF PRIMARY POWER LOSS. EMERGENCY EGRESS LIGHTS TO BE INSTALLED IN COMPLIANCE WITH SECTION 1006.0, OBC AND SHALL BE LOCATED AS SHOWN AND SIZED TO PROVIDE A MINIMUM OF ONE FOOT CANDLE ILLUMINATION. EMERGENCY POWER SUPPLY TO BE WIRED TO THE SAME CIRCUIT AS THE ROOM AREA LIGHTS AND AHEAD OF THE LOCAL SWITCH AND SHALL CONFORM TO SECTION 2702.0, OBC.
7. ELECTRICAL CONTRACTOR TO VERIFY SIZE OF CIRCUIT REQUIRED BY HVAC. FURNISH SIZE AND WIRE RECOMMENDED BY HVAC MANUFACTURER.

REVISIONS

NONE