



UNION TOWNSHIP BOARD OF TRUSTEES  
JUNE 22<sup>ND</sup>, 2023 MEETING

## OVERLAY DISTRICT PLAN

MILBAX PROPERTIES LLC, Applicant  
867 STATE ROUTE 125 / Parcel ID # 413217G082



### ***Staff Report: CASE # 4-23-O***

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#### **NATURE OF REQUEST**

The Applicant is requesting Overlay District Plan Approval from the Union Township Board of Trustees for Parcel# 413217G082. Specifically, the Applicant is seeking to expand an existing commercial garage—on a site that is located within the Ohio Pike Focus Area Overlay – Commercial Corridor (FA-CC). *\*Please refer to the Applicant's statements, plans, and other application enclosures.*

#### **LOCATION**

The subject property is located at 867 State Route 125, on the southwestern corner of the State Route 125 and Dieckman Ln. intersection.

#### **ZONING**

The subject property is zoned Business (B-1), with the adjoining property to the north and east also zoned Business (B-1) for the underlying zoning. The property to the south is zoned Single-Family Detached Structure Residential (R-1), and the property to the west is zoned Single-Family Detached Structure Residential (R-2) and Planned Multi-Family Residential (R-3).

#### **RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN**

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the subject property is located within the Ohio Pike (SR 125) Corridor.

Among other things, the Plan calls for access control, and for site development to be conducted in a manner that focuses on maximizing land use efficiency with infill development, reinvestment, and / or redevelopment initiatives. For commercial redevelopment, or in the instance of residential to commercial conversions, the use of traditional building materials, adequate vegetative buffering, landscaping strategies along shared property lines, and landscaping enhancements along the corridor frontage is also required, in accordance with the Plan.

### **RELATIONSHIP TO THE FOCUS OVERLAY DISTRICT REGULATIONS**

As noted in the previous section of the staff report, the affected property is located within the Ohio Pike Commercial Corridor. Article 13 of the Union Township Zoning Resolution identifies this corridor as a “Commercial Corridor,” and makes these statements with respect to these Districts:

#### **1307. Focus Area Overlay-Commercial Corridor Districts...**

##### **1. Findings and Specific Purpose.**

Business districts and corridors are recognized as principal focal points of community activity providing an economic resource and a center for community identity. It is in the interest of the Township to protect and enhance the features of public interest in such business districts by:

- a. Preventing the deterioration of property and the extension of blighting conditions;
- b. Encouraging and protecting private investment which improves and stimulates the economic vitality and social character of the area;
- c. Preventing the creation of influences adverse to the physical character of the area.

##### **2. Characteristics.**

FA-CC districts shall be limited to geographic areas included in a FA-Commercial Corridor which contain or are planned to contain one (1) or more of the following characteristics:

- a. A concentration of retail and service oriented commercial establishments serving as a principal business activity center for a socio-geographic neighborhood, community, or region;
- b. An area that has received or been approved for substantial public investment;
- c. An area that is planned for unusual intensity or density of development.

## **BACKGROUND**

As referenced in the Applicant's statements and enclosures, the Applicant is planning a 1,140 square-foot expansion to the existing commercial garage facility on this particular property—specifically for the purposes of gaining a dedicated space for vehicle ADAS (Advanced Driver Assistance Systems) calibrations.

## **STAFF REVIEW & ANALYSIS**

A review of this particular Overlay District application indicates that the proposal appears to be consistent with both the recommendations of the adopted Land Use Plan, as well as the Findings and Specific Purpose(s) of the Overlay District zoning regulations. The Applicant has proposed a building consistent of traditional building materials, with no new signage. The parking and driveway areas on the current plans appear to be sufficient, as there would be no additional customer or commercial parking or loading areas (necessary) for the proposed use. There is already an existing sidewalk along State Route 125 for pedestrian connectivity from / through the site to State Route 125. The landscaping / buffer plans would ultimately need to be enhanced / adjusted along the western property line (adjacent to the existing residential area) as well as around the relocated, screened dumpster to meet the standards set forth in the Union Township Comprehensive Land Use Plan. Finally, there is no additional exterior lighting being proposed at this time.

## **ACTION REQUIRED**

In accordance with Section 1310 of the Zoning Resolution, the Board of Trustees' role in this process is to either enter a motion to approve, modify, or deny the Focus Area Overlay District application—which, in this case consists of the expansion an existing commercial garage—as submitted, along with any further modifications deemed appropriate by the Board.

## **RECOMMENDED MODIFICATIONS**

If the Board should choose to grant favorable consideration to this Overlay District application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant must address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) The Applicant would need to provide more details regarding the proposed landscaping plan, including the types of plantings along with the heights / sizes recommended along the western edge of the property as well as the perimeter of the proposed dumpster enclosure. Additionally, all landscaping should be marked as preservation area(s), and any vegetation disturbed should be repaired, supplemented, or replaced. *This is an item that can be addressed administratively by staff.*

- 3) There is no lighting proposed at this time; however, all lighting (if needed in the future) would need to be downward directed, and of sufficient intensity to illuminate without projecting onto the adjoining residential property. *\*Details / specs of proposed lighting would be necessary; however, this is an item that could / would be addressed administratively by staff.*
- 4) As of June 13<sup>th</sup>, 2023, the other items that need to be added to the current plans and associated materials prior to any final administrative actions included:
  - a. The ownership, zoning and land uses of all adjacent properties need to be referenced / shown on the final plans (including those across SR 125);
  - b. A more complete dumpster enclosure detail needs to be provided and approved;
  - c. A construction schedule needs to be provided with the revised plans (which could simply be a note on the plans).
  - d. A commercial zoning permit will also ultimately need to be submitted.*>These are all items that can be addressed administratively by staff.*

III. SUPPORTING DOCUMENTS REQUIRED FOR APPLICATION

1. Photocopy of tax map with subject property highlighted.
2. Legal description of property (see deed).
3. Development plans.
4. Application fee as established by the Township Trustees.

IV. SUPPORTING INFORMATION

A. Existing Zoning District Union (Zoning Code: B-1)

Existing Land Use YSS-C-Commercial/Garages

Proposed Focus Area District and Classification Category Same

Proposed Land Use Same

B. Describe the characteristics of the Parcel/Project for consideration by the Board of Trustees (use additional sheet if necessary):

We plan a small expansion of our  
existing building to gain a dedicated  
space for vehicles ADAS calibrations.  
(Advanced Driver Assistance Systems)

## V. AFFIDAVIT

I hereby depose and say that I have familiarized myself with the rules and regulations of the Union Township Zoning Resolution with respect to preparing this application. I hereby certify that I have read the foregoing document and supplements attached thereto and that I have answered all questions fully and to the best of my ability. I hereby attest to the truth and exactness of the information supplied herewith and that I am the owner or lessee of the property to be rezoned.

J. T. Miller  
Applicant\*

\*If the property is owned by a corporation or partnership, signatory must be an authorized officer or partner.

STATE OF OHIO

COUNTY OF Columbus

Subscribed and sworn to before me this 17 day of April, of this year 2023.

William T. Baxter  
Notary Public

My commission expires



WILLIAM T. BAXTER  
Notary Public  
State of Ohio  
My Comm. Expires  
July 2, 2027

201406-0359  
Filed for Record in  
CLERMONT COUNTY, OH  
DEBORAH HALL CLEPPER, COUNTY RECORDER  
07-03-2014 At 09:15 am  
DEED \$2.00  
OR Book 2524 Page 912 916



Return To:  
Mattingly Ford Title Services LLC  
309 Artillery Park Drive, Suite 102  
Ft. Mitchell, KY 41017  
1405350

## GENERAL WARRANTY DEED

Marsha L Cushman, Co-Trustee and Kevin M Cushman, Co-Trustee under the Joyce R Dahlheimer Family Living Trust dated March 28, 1996 and Linda Holt, married, Regina Rumke, unmarried, David A Dietrich a/k/a Dave Dietrich, unmarried, and Douglas A Dietrich a/k/a Doug Dietrich, married, of Clermont County, Ohio for valuable consideration paid, grant(s) with general warranty covenants, to Milbax Properties, LLC, whose tax mailing address is: 867 State Route 125, Cincinnati, OH 45245, the following REAL PROPERTY: Situated in the County of Clermont, in the State of Ohio and in the Township of Union:

SEE EXHIBIT "A" ATTACHED HERETO

Subject to all easements and restrictions of record, if any, and all legal highways.

Excepting taxes and assessments, if any, due and payable in February 2015, and thereafter, which the Grantee(s) herein assume(s) and agree(s) to pay.

Property most commonly known as: 867 State Route 125  
Cincinnati, Ohio 45245

Prior Instrument Reference: O.R. Volume 1211, Page 177, OR Book 1870, page 2099 a and OR Book 2291, Page 1842.

Edwin Holt, husband of Linda Holt and Carol Dietrich, wife of Douglas A Dietrich a/k/a Doug Dietrich, joins herein to release all rights and expectancy of dower.

BK: 2524 PG: 913

Executed this 24 day of June, 2014.

Joyce R Dahlheimer Family Living Trust dated March 28, 1996

BY Marsha L. Cushman  
Marsha L. Cushman, Co-Trustee  
Under the Joyce R Dahlheimer Family  
Living Trust dated March 28, 1996

State of OHIO, County of Wood, SS:

Before me, a Notary Public in and for said County and State, personally appeared the above named **Marsha L. Cushman, Co-Trustee Joyce R Dahlheimer Family Living Trust dated March 28, 1996**, who acknowledged that she did sign the foregoing instrument and that the same is her free act and deed.

IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my official seal this 24 day of June, 2014.

My commission expires:  
(seal)

Joseph W. Westmeyer, Jr.  
Notary Public







BK: 2524 PG: 914

Executed this 24 day of June, 2014.

Joyce R Dahlheimer Family Living Trust dated March 28, 1996

BY: Kevin M Cushman  
Kevin M Cushman, Co-Trustee  
Under the Joyce R Dahlheimer Family  
Livings Trust dated March 28, 1996

State of OHIO, County of Franklin, SS:

Before me, a Notary Public in and for said County and State, personally appeared the above named **Kevin M Cushman, Co-Trustee Joyce R Dahlheimer Family Living Trust dated March 28, 1996**, who acknowledged that he did sign the foregoing instrument and that the same is his free act and deed.

IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my official seal this 24 day of June, 2014.

My commission expires:  
(seal)

~~DOES NOT EXPIRE~~

Gary M. Talcott Jr.  
Notary Public



GARY M. TALCOTT, JR., Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec. 147.03 R.C.



BK: 2524 PG: 915

Executed this 26 day of June 2014

Linda Holt by David A. Dietrich, Attorney-in-Fact  
Linda Holt by David A. Dietrich, Attorney-in-Fact

Edwin Holt by David A. Dietrich, Attorney-in-Fact  
Edwin Holt by David A. Dietrich, Attorney-in-Fact

Regina Rumke by David A. Dietrich, Attorney-in-Fact  
Regina Rumke by David A. Dietrich, Attorney-in-Fact

David A. Dietrich  
David A. Dietrich a/k/a Dave Dietrich

Carol Dietrich by David A. Dietrich, Attorney-in-Fact  
Carol Dietrich by David A. Dietrich, Attorney-in-Fact

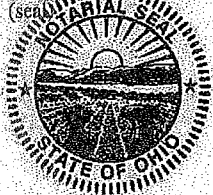
Douglas A. Dietrich  
Douglas A. Dietrich a/k/a Doug Dietrich by  
David A. Dietrich, Attorney-in-Fact (RS)

State of Ohio, County of Hamilton ss.

Before me, a Notary Public in and for said County and State, personally appeared the above named Linda Holt and Edwin Holt, husband and wife, both by David A. Dietrich, their Attorney-in-Fact, Regina Rumke by David A. Dietrich, her Attorney-in-Fact, David A. Dietrich a/k/a Dave Dietrich and Carol A. Dietrich by her David A. Dietrich, her Attorney-in-Fact and Douglas A. Dietrich a/k/a Doug Dietrich by David A. Dietrich, his Attorney-in-Fact, who acknowledged that he/she/they did sign the foregoing instrument and that the same is his/her/their free act and deed.

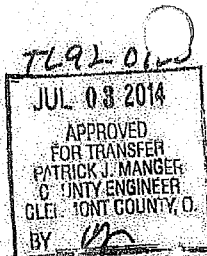
IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my official seal this 30th day of June, 2014.

My commission expires:  
(see)



Ronnia Lou Gittinger  
Notary Public, State of Ohio  
My Commission Expires January 30, 2018

This instrument was prepared by: Steven C. Gittinger, Attorney at Law, 241 Elm Street, Ludlow, KY 41016, phone 513-600-7659, SC #011887



BK: 2524 PG: 916

EXHIBIT "A"

This contract has been examined and the Grantor has complied with Section 319.202 of the Revised Code.	
Purchase Price \$ 315,000.00	Transfer # 3538 Fee \$ 1260.00
Filed with the office of Linda L. Fraley	
Date 7-3-14	By: BS

TD 41 BK 32 PG 17G PAR 082. 1.534 ACRES  
1.534Ac

LEGAL DESCRIPTION

Situated in the Jones Military Survey No. 1134, Union Township, Clermont County, Ohio and being more particularly described as follows:

**Beginning** at a point in State Route No. 125, being N 04°54'39" E for a distance of 4.91 feet from the centerline intersection of Dieckman Lane and State Route No. 125;

**THENCE** with the centerline of Dieckman Lane S 04°54'39" W for a distance of 302.25 feet to a point corner to lands of James P. and Virginia A. Gegner;

**THENCE** leaving said lane with the northerly line of said Gegner N 77°04'42" W (passing a 5/8" iron pin set at 20.20 feet) for a total distance of 200.00 feet to a 5/8" iron pin set in the easterly line of lands of Liberty Trace LLC;

**THENCE** with said easterly line N 05°11'42" E for a distance of 149.60 feet to a spike found corner to said Liberty Trace;

**THENCE** with the northerly line of said Liberty Trace N 73°16'26" W for a distance of 5.50 feet to a 1/2" iron pin found corner to lands of Board of Trustees of Union Township;

**THENCE** with the easterly line of said Union Township N 04°33'00" E (passing a 1/2" iron pin found at 172.97 feet) for a total distance of 213.65 feet to a point in State Route No. 125;

**THENCE** with said State Route No. 125, S 61°17'18" E for a distance of 223.00 feet to the place of beginning.

Said property contains 1.534 acres and being subject to legal highways and easements of record.

The above described real estate is the same premises described as recorded in O.R. Book 2291, page 1842 of the Clermont County, Ohio, Deed Records and identified as parcel 41-32-17G-082, on the Tax Maps of said County.

Being the result of a field survey and plat dated 6/26/2014 made under the supervision of John C. Hewett registration No. 7550 in the State of Ohio.

PA14073\lots\14073.doc

TE 92-0150

200-527-22-14

## REFERENCE DOCUMENTS

E-9, 1924, 1921102  
 1924, 1921102  
 1924, 1921102

[illegible]

PLAT OF SURVEY  
IN  
JONES MILITARY SURVEY No. 1134  
UNION TOWNSHIP  
CLERMONT COUNTY, OHIO

### SURVEYOR'S CERTIFICATION

It obviously depends upon the type of community model and the sustainability and sustainability have been set to the same.

JOHN D. HEWITT  
SHERMAN, ALABAMA 35601

**PLAT OF SURVEY**  
**H & M SURVEYING**  
**SERVICES INCORPORATED**  
P.O. BOX 241  
FARMINGTON, CT 06030  
(203) 633-7222

DATE	SHIP	DR. NO.	DR. NO.
1-20	5/28/14	14013	2



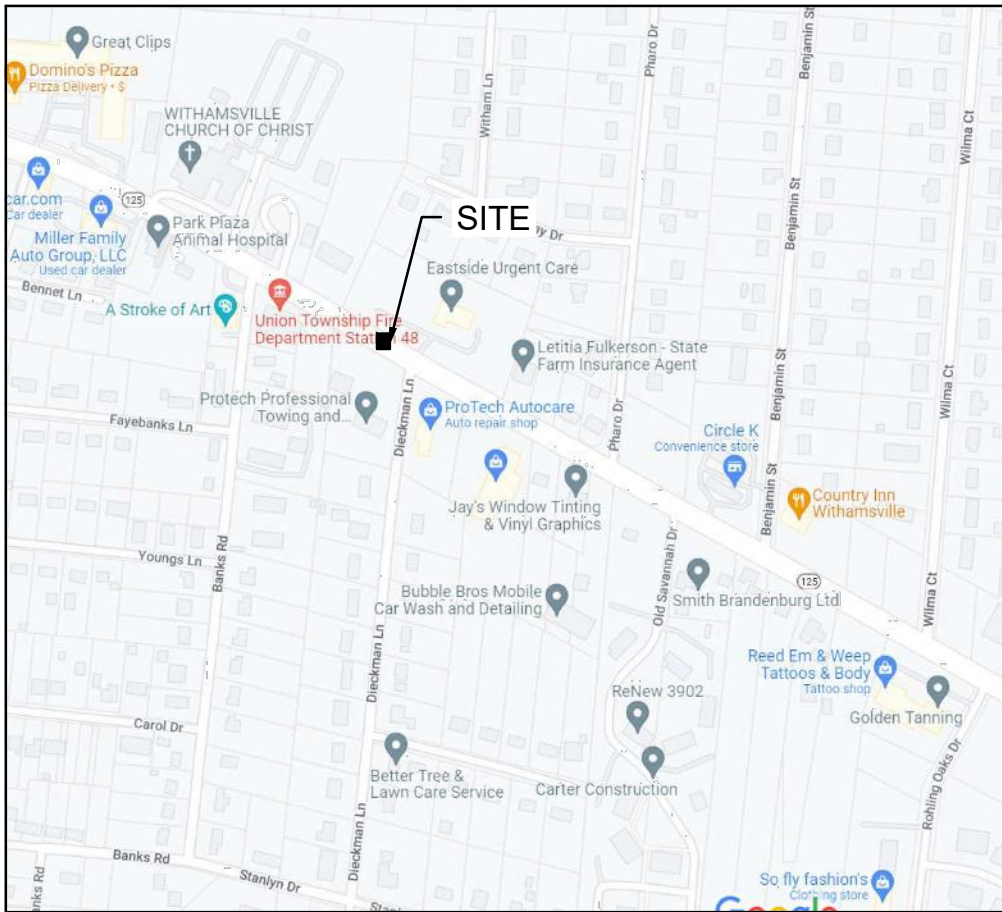




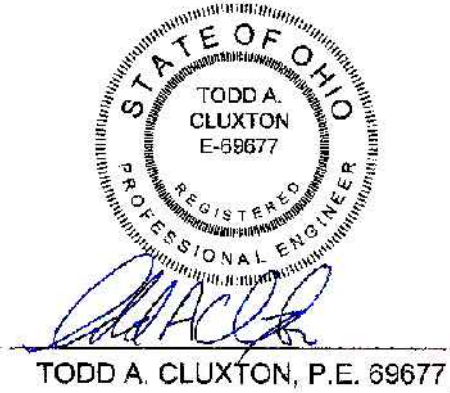
SHEET INDEX	
SHEET NUMBER	SHEET DESCRIPTION
SP1/3	EXISTING CONDITIONS PLAN
SP2/3	SITE PLAN/DRAINAGE CALC
SP3/3	SEDIMENT AND EROSION CONTROL PLAN
A1/1	FLOOR PLAN/ELEVATIONS
E1/1	TYPICAL SECTIONS/ELECTRIC DETAIL



Bearings are based on the Ohio State Plane Coordinate System, South Zone NAD83(2011)



LOCATION MAP  
NOT TO SCALE



EXISTING SITE PLAN  
1" = 20'

The location of the underground utilities shown on these plans were obtained through the Ohio Utilities Protection Service and are believed to be correct based on all available information. However, DS2 Architects, LLC does not guarantee their accuracy or completeness.

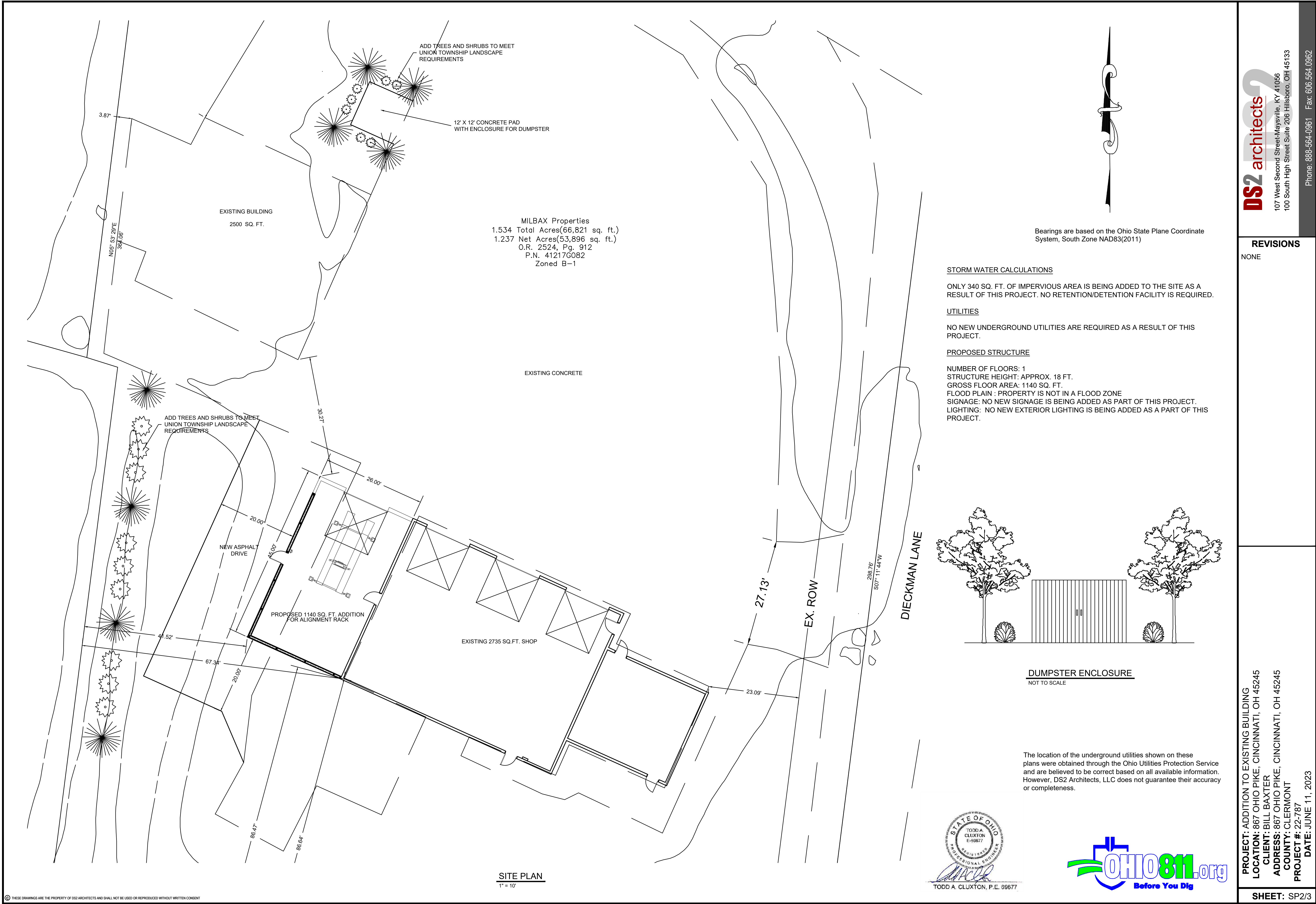


PROJECT: ADDITION TO EXISTING BUILDING  
LOCATION: 867 OHIO PIKE, CINCINNATI, OH 45245  
CLIENT: BILL BAXTER  
ADDRESS: 867 OHIO PIKE, CINCINNATI, OH 45245  
COUNTY: CLERMONT  
PROJECT #: 22-787  
DATE: JUNE 11, 2023

SHEET: SP1/3

REVISIONS  
NONE







NOTES:

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AN SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
3. TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS,EACH END SHALL BE CONSTRUCTED UP SLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
4. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE, IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AND ADEQUATELY UNIFORM TRENCH DEPTH.
8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE FABRIC AND SO THAT 8 INCHES OF CLOTH IS BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
10. MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. ALL THE GAPS AND TEARS IN THE FENCE MUST BE ELIMINATED AND REPAIRED IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1)THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, 3) OTHER PRACTICES SHALL BE INSTALLED.

CRITERIA FOR SILT FENCE MATERIAL

1. FENCE POSTS- THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG, WOOD POSTS WILL BE 2 INCHES BY 2 INCHES HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET. SILT FENCE FABRIC SHALL BE ODOT TYPE C GEOTEXTILE FABRIC OR AS DESCRIBED BY THE BELOW CHART.

FABRIC PROPERTIES	
MINIMUM TENSILE STRENGTH	120 LBS
MAXIMUM ELONGATION AT 60 LBS	50%
MINIMUM PUNCTURE STRENGTH	50 LBS
MINIMUM TEAR STRENGTH	40 LBS
APPARENT OPENING SIZE	≤ 0.84 MM
MINIMUM PERMITTIVITY	1 X 10 <sup>2</sup> SEC <sup>-1</sup>
ULTRAVIOLET EXPOSURE STRENGTH RETENSION	70%

NOTES:

1. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED FOR ALL CONSTRUCTION PROJECTS HAVING SIGNIFICANT GRADING. THE CONTROLS ARE PROVIDED DURING CONSTRUCTION TO PREVENT SOIL ERODED FROM THE CONSTRUCTION AREA FROM ENTERING ADJACENT WATERWAYS AND PROPERTIES.
2. CONSTRUCTION ITEMS INCLUDE SEDIMENT BASINS, SEDIMENT DAMS, DIVERSION DIKES AND/OR DITCHES AND STRAW BALES OR OTHER FILTER DIKES SHOWN ON ODOT STANDARD DRAWING MC-11. OTHER MISCELLANEOUS EROSION CONTROL MEASURES INCLUDE REPAIR SEEDING AND MULCHING, COMMERCIAL FERTILIZER, WATER AND MOWING AND ROCK CHANNEL PROTECTION, COVERED IN ODOT SPECIFICATION ITEMS 659 AND 601.
3. THE SIZE OF THE ENTIRE DRAINAGE AREA CONTRIBUTING FLOW IS USED TO DETERMINE THE MOST EFFECTIVE EROSION CONTROL METHOD. IN MANY CASES THE MAJOR PORTION OF THE CONTRIBUTING AREA WILL BE BEYOND THE PROJECT LIMITS, AND FOR THOSE CASES IT WILL BE NECESSARY TO CONTROL THE FLOW FROM OUTSIDE BEFORE IT REACHES THE AREA DISTURBED BY PROJECT CONSTRUCTION. FLOW FROM THE AREA DISTURBED BY CONSTRUCTION SHALL BE TREATED PRIOR TO COMBINING IT WITH OFF-PAVEMENT DRAINAGE.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED FOR ALL SUBDIVISIONS AND INDIVIDUAL SITES UNLESS OTHERWISE APPROVED. THE CONTROL MEASURES ARE TO BE PROVIDED DURING CONSTRUCTION TO PREVENT EROSION FROM ENTERING ADJACENT WATERWAYS AND PROPERTIES.
5. THERE SHALL ONLY BE ONE CONSTRUCTION ENTRANCE OFF THE SITE. ENTRANCE TO BE CONSTRUCTED OF 8" OF #2 STONE, 75 FEET LONG BY 20 FEET WIDE. CONTRACTOR TO KEEP MUD OFF EXISTING STREETS. NO EQUIPMENT TO BE PARKED ON EXISTING STREETS. MORE THAN ONE ENTRANCE MUST BE APPROVED BY THE CITY.

PLAN SUBMITTAL

1. ALL SITE PLANS SHALL INCLUDE APPROPRIATE EROSION AND SEDIMENT CONTROL DEVICES AND SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK UNLESS OTHERWISE APPROVED. ALL PROJECTS WHICH DISTURB 1 ACRE OR MORE MUST HAVE OEPA EROSION CONTROL MEASURES.

CONSTRUCTION

1. ALL EROSION AND SEDIMENT CONTROL MUST BE INSPECTED AND APPROVED BY THE CITY UNLESS OTERWISE APPROVED.

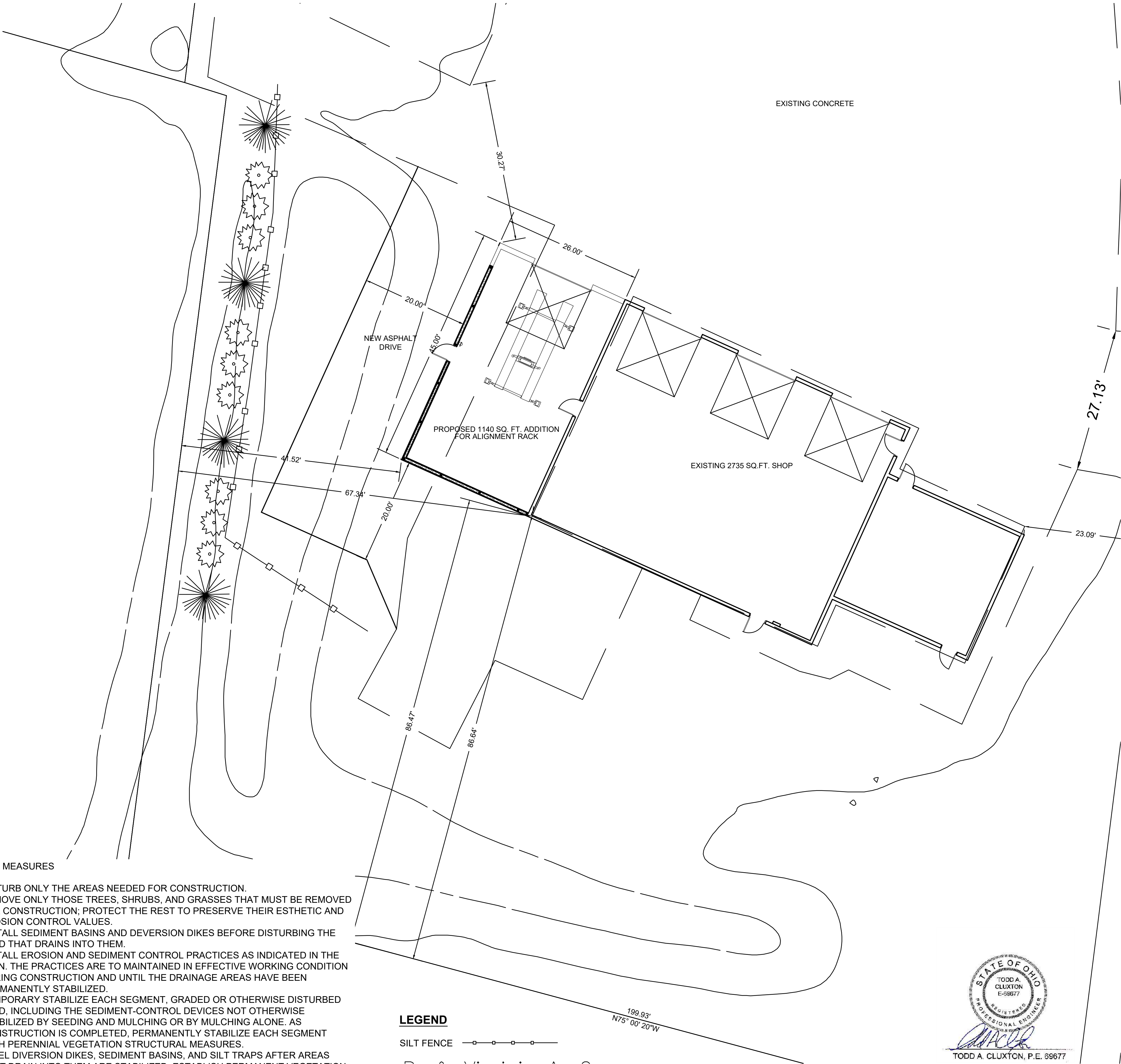
STORM WATER PERMITS

1. ON ALL PROJECTS WHICH DISTURB AT LEAST 1 ACRE OF SOIL, A NPDES PERMIT IS REQUIRED FROM OEPA AND A COPY OF THE PERMIT MUST BE ON FILE AT THE CITY BEFORE CONSTRUCTION BEGINS.
2. EROSION CONTROL SUBMITTALS SHALL BE AS PER THE CURRENT STORM WATER MANAGEMENT ORDINANCE.

CONTROL MEASURES

1. DISTURB ONLY THE AREAS NEEDED FOR CONSTRUCTION.
2. REMOVE ONLY THOSE TREES, SHRUBS, AND GRASSES THAT MUST BE REMOVED FOR CONSTRUCTION; PROTECT THE REST TO PRESERVE THEIR ESTHETIC AND EROSION CONTROL VALUES.
3. INSTALL SEDIMENT BASINS AND DEVERSION DIKES BEFORE DISTURBING THE LAND THAT DRAINS INTO THEM.
4. INSTALL EROSION AND SEDIMENT CONTROL PRACTICES AS INDICATED IN THE PLAN. THE PRACTICES ARE TO MAINTAINED IN EFFECTIVE WORKING CONDITION DURING CONSTRUCTION AND UNTIL THE DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED.
5. TEMPORARY STABILIZE EACH SEGMENT, GRADED OR OTHERWISE DISTURBED LAND, INCLUDING THE SEDIMENT-CONTROL DEVICES NOT OTHERWISE STABILIZED BY SEEDING AND MULCHING OR BY MULCHING ALONE. AS CONSTRUCTION IS COMPLETED, PERMANENTLY STABILIZE EACH SEGMENT WITH PERENNIAL VEGETATION STRUCTURAL MEASURES.
6. LEVEL DIVERSION DIKES, SEDIMENT BASINS, AND SILT TRAPS AFTER AREAS THAT DRAIN INTO THEM ARE STABILIZED. ESTABLISH PERMANENT VEGETATION ON THOSE AREAS. SEDIMENT BASINS THAT ARE TO BE RETAINED FOR STORM WATER DETENTION MAY BE SEED TO PERMANENT VEGETATION AFTER THEY ARE BUILT.
7. DISCHARGE WATER FROM OUTLET STRUCTURES AT NON-EROSIVE VELOCITIES.

SEDIMENT AND EROSION CONTROL PLAN  
1" = 10'



The location of the underground utilities shown on these plans were obtained through the Ohio Utilities Protection Service and are believed to be correct based on all available information. However, DS2 Architects, LLC does not guarantee their accuracy or completeness.



PROJECT: ADDITION TO EXISTING BUILDING  
LOCATION: 867 OHIO PIKE, CINCINNATI, OH 45245  
CLIENT: BILL BAXTER  
ADDRESS: 867 OHIO PIKE, CINCINNATI, OH 45245  
COUNTY: CLERMONT  
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SHEET: SP3/3

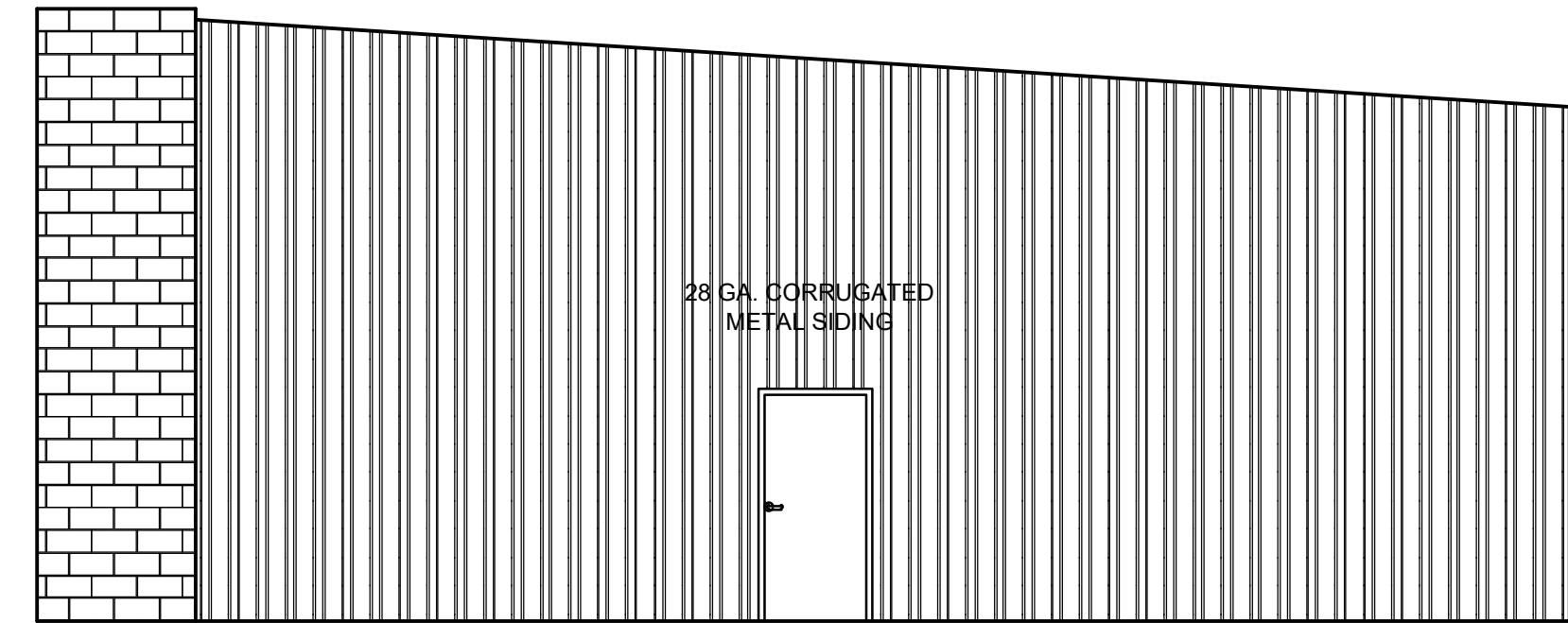
REVISIONS  
NONE

**DS2 architects**  
107 West Second Street-Maysville, KY 41056  
100 South High Street Suite 206 Hillsboro, OH 45133  
Phone: 888-564-0961 Fax: 606-564-0962



DESIGN LOAD DATA TABLE			
FOUNDATION	ASSUMED (PSF)		1500
	UNIFORMLY DISTRIBUTED (PSF)- ATTIC W/OUT STORAGE/ALL OTHER		10/40
FLOOR LIVE LOAD	CONCENTRATED (LBS)		-
	IMPACT		-
	REDUCTION		-
ROOF LIVE LOAD	(PSF)		20.0
ROOF SNOW LOAD	GROUND SNOW LOAD (Pg)		20
	FLAT-ROOF SNOW LOAD (Pi)		-
	SNOW EXPOSURE FACTOR (Ce)		1.0
	SNOW LOAD IMPORTANCE FACTOR (Is)		1.0
	THERMAL FACTOR (Ci)		1.0
WIND LOAD	BASIC WIND SPEED (MPH)		115
	WIND IMPORTANCE FACTOR (I)		1.0
	BUILDING CATEGORY		I
	WIND EXPOSURE		C
	INTERNAL PRESSURE COEFFICIENT		0.18
	COMPONENTS AND CLADDING DESIGN WIND PRESSURE (PSF)		23.2
EARTHQUAKE DESIGN DATA	SEISMIC USE GROUP		I
	SPECTRAL RESPONSE COEFFICIENTS	@ 0.2 SEC	Ss=20% Sds=0.213
		@ 1.0 SEC	S1=8.27% S1=0.132
	SITE CLASS		D
	BASIC SEISMIC-FORCE-RESISTING SYSTEM		IK
	DESIGN BASE SHEAR		15.4 KIPS
	ANALYSIS PROCEDURE		SIMPLIFIED
FLOOD LOAD	LOCATED IN FLOOD-HAZARD AREA		NO
	HIGH VELOCITY WAVE ACTION?	LOWEST HORIZONTAL STRUCTURAL MEMBER ELEVATION	-
	NON-HIGH VELOCITY WAVE ACTION?	LOWEST FLOOR ELEVATION	-
		DRY FLOOD PROOFED ELEVATION	-

WALL LEGEND	
	EXISTING CONC. BLOCK WALL
	(EXTERIOR)- MIN 28 GA. CORRUGATED METAL SIDING ON 2X6 GIRTS @ 24" O.C. (INTERIOR)- CORRUGATED METAL SIDING ON 2X4 GIRTS @ 36" O.C. ON (3) PLY 2X6 POST - W/ 5-1/2" F.G. BATT INSULATION
	8 X 8 X 16 CONCRETE BLOCK W/ #8 DURAWALL EVERY OTHER COURSE
	12 X 8 X 16 CONCRETE BLOCK W/ #8 DURAWALL EVERY OTHER COURSE



SIDE ELEVATION  
3/16" = 1'-0"

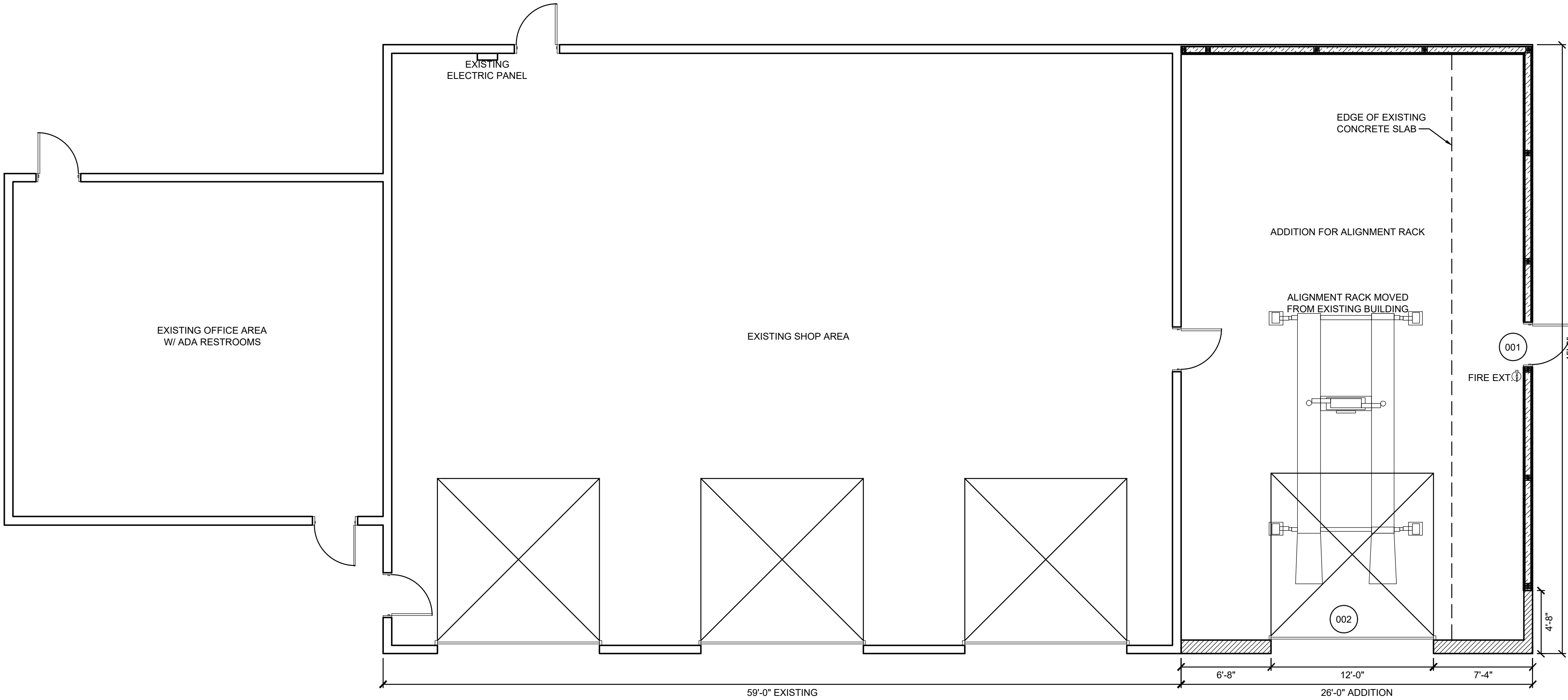
GENERAL BUILDING DATA TABLE	
USE GROUP	S1
CONSTRUCTION TYPE	5B
BUILDING AREA	728 SF
EXISTING OFFICE AREA	2,655 SF
EXISTING SHOP AREA	1,170 SF
AREA OF ADDITION	4,553 SF
TOTAL AREA	18
OCCUPANT LOAD	
EXISTING OFFICE (1 PER 100 SF)	7
EXISTING SHOP (1 PER 300 SF)	8
ADDITION (1 PER 300 SF)	3
TOTAL AREA	18
NOTES:	

NATURAL VENTILATION CALCULATION	
OPENINGS	
(1) 156 SF O.H. DOOR	=156 SF
(1) 21 SF DOOR	= 21 SF
TOTAL SF OPENINGS	=177 SF

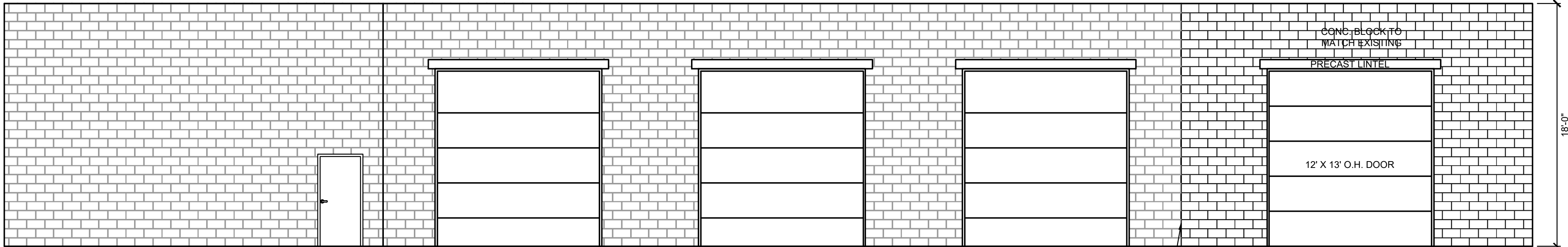
REQUIRED SF OF OPENINGS  
1170 SF X 4% =46.80 SF  
177 SF > 46.80 SF = PASS

DOOR SCHEDULE						
SYMBOL	SIZE	TYPE	FRAME	HARDWARE	LOCK FUNCTION	NOTES
001	3'-0" X 6'-8" X 1 3/4"	INSUL. STEEL	STEEL	H.D. LEVER HANDLE- PASSAGE LOCKSET- SELF CLOSER- ADA THRESHOLD	LOCKED TO EXTERIOR EGRESS INTERIOR	
002	12'-0" X 13'-0" X 1 3/4"	INSUL. O.H. DOOR	STEEL	STANDARD O.H. DOOR TRACK SYSTEM		

PROJECT SCOPE:  
ADDITION FOR PROTECH FOR ALIGNMENT MACHINE. ADDITION WILL HOUSE ALIGNMENT MACHINE THAT IS BEING MOVED FROM EXISTING SHOP FOR MORE ROOM. MINOR ELECTRICAL WORK FOR NEW LIGHTS, RECEPTACLES AND MOVING OF EXISTING ALIGNMENT RACK TO NEW LOCATION. ADDITION IS NOT CONDITIONED. VEHICLES WILL ONLY BE RUNNING LONG ENOUGH TO PULL INTO BUILDING.



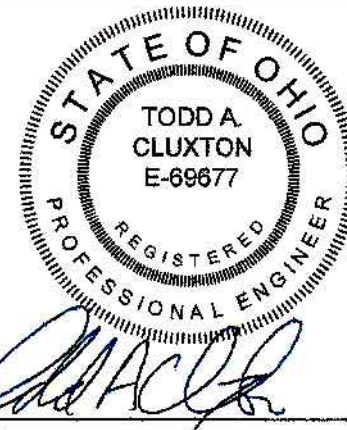
FLOOR PLAN  
3/16" = 1'-0"



FRONT ELEVATION  
3/16" = 1'-0"

GENERAL NOTES AND SPECIFICATIONS

- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- THESE PLANS ARE INTENDED TO DELINEATE THE CONSTRUCTION DETAILS AS REGULATED BY THE OHIO BUILDING CODE. ARCHITECTURAL DETAILS AND CONSTRUCTION MATERIAL SPECIFICATIONS NOT REGULATED BY THE BUILDING CODE ARE NOT NECESSARILY INCLUDED IN THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY SUCH DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHOP DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE TO COORDINATE SPACE AVAILABILITY FOR THE VARIOUS COMPONENTS INDICATED ON THESE DRAWINGS.
- ALL LUMBER TO BE CONSTRUCTION GRADE SPF OR BETTER, UNLESS OTHERWISE SPECIFIED.
- LUMBER DESIGNATED "P.T." SHALL BE PRESSURE TREATED AND APPROVED FOR DIRECT GROUND CONTACT.
- PROVIDE ACCESS TO HANDICAPPED PER CHAPTER 11, OBC AND ADAAG.



TODD A. CLUXTON, P.E. 69677

PROJECT: ADDITION TO EXISTING BUILDING  
LOCATION: 877 OHIO PIKE, CINCINNATI, OH 45245  
CLIENT: BILL BAXTER  
ADDRESS: 877 OHIO PIKE, CINCINNATI, OH 45245  
COUNTY: CLERMONT  
PROJECT #: 22-787  
DATE: FEBRUARY 26, 2023

SHEET: A1/1

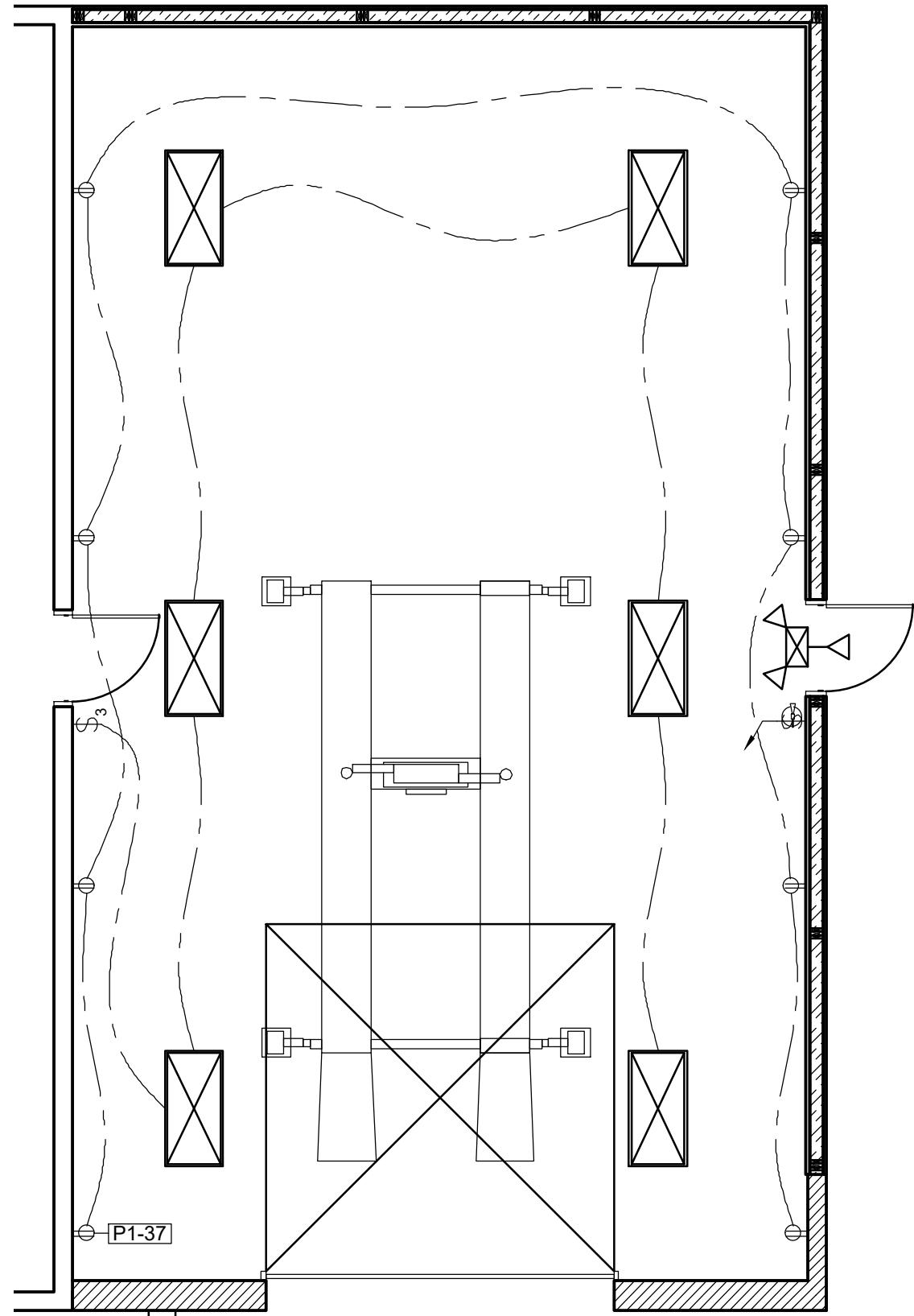
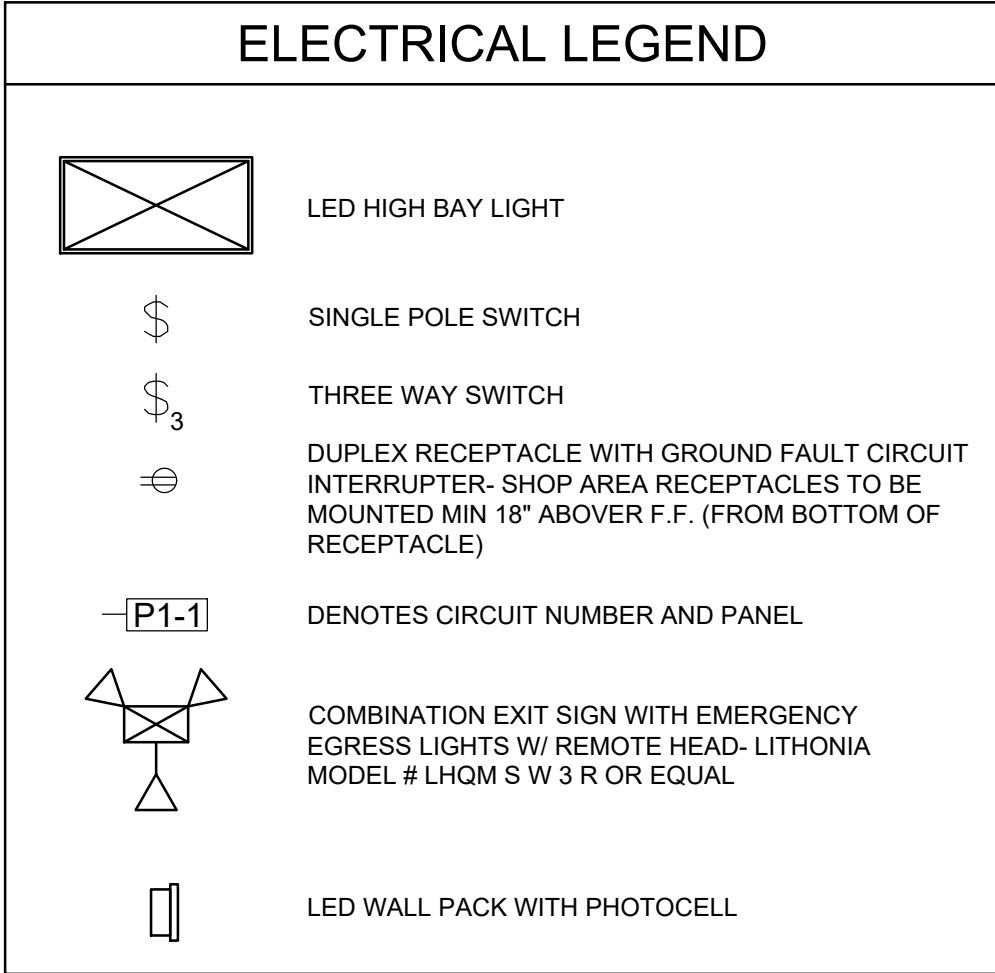
REVISIONS  
NONE

DS2 architects  
107 West Second Street-Maysville, KY 41056  
100 South High Street Suite 206 Hillsboro, OH 45133  
Phone: 888-564-0961 Fax: 606-564-0962



PANEL SCHEDULE (P1) 400 AMP-120/240V 3Ø (EXISTING)												
DESCRIPTION	LOAD KW	WIRE SIZE	BREAKER						WIRE SIZE	LOAD KW	DESCRIPTION	
			SIZE AMPS	NO	A	B	C	NO				SIZE AMPS
LIGHTS		12	20	1					2	20	12	TIRE BALANCER
RECS BAY 1		12	20	3					4	20	12	
RECS BACK WALL		12	20	5					6	30	10	SCISSOR LIFT
ALIGNMENT MACHINE		12	20	7					8	30	10	
FURNACE		12	20	9					10	30	10	BAY LIFT
RECS BAY 3		12	20	11					12	30	10	
RECS BAY 2		12	20	13					14	30	10	BAY LIFT
SPARE		12	20	15					16	30	10	
TIRE MACHINE		12	20	17					18	30	10	BAY LIFT
		12	20	19					20	30	10	
PARTS WASHER		10	30	21					22	30	10	BAY LIFT
		10	30	23					24	30	10	
OIL FURNACE		10	30	25					26	30	10	BAY LIFT
		10	30	27					28	30	10	
AIR COMPRESSOR		10	30	29					30	30	10	WATER HEATER
		10	30	31					32	30	10	
AIR COMPRESSOR REC		12	20	33					34	30	10	AC
BACK AREA LIGHTS		12	20	35					36	30	10	
NEW RECS	1.44	12	20	37					38	60	6	SUB PANEL
PIPE BENDER		12	20	39					40	60	6	
		12	20	41					42	20	12	0.60 NEW LIGHTS

ESTIMATED EXITING LOAD =117.76kw  
NEW CIRCUITS = 2.79kw  
TOTAL =120.55kw = 289.99 amps

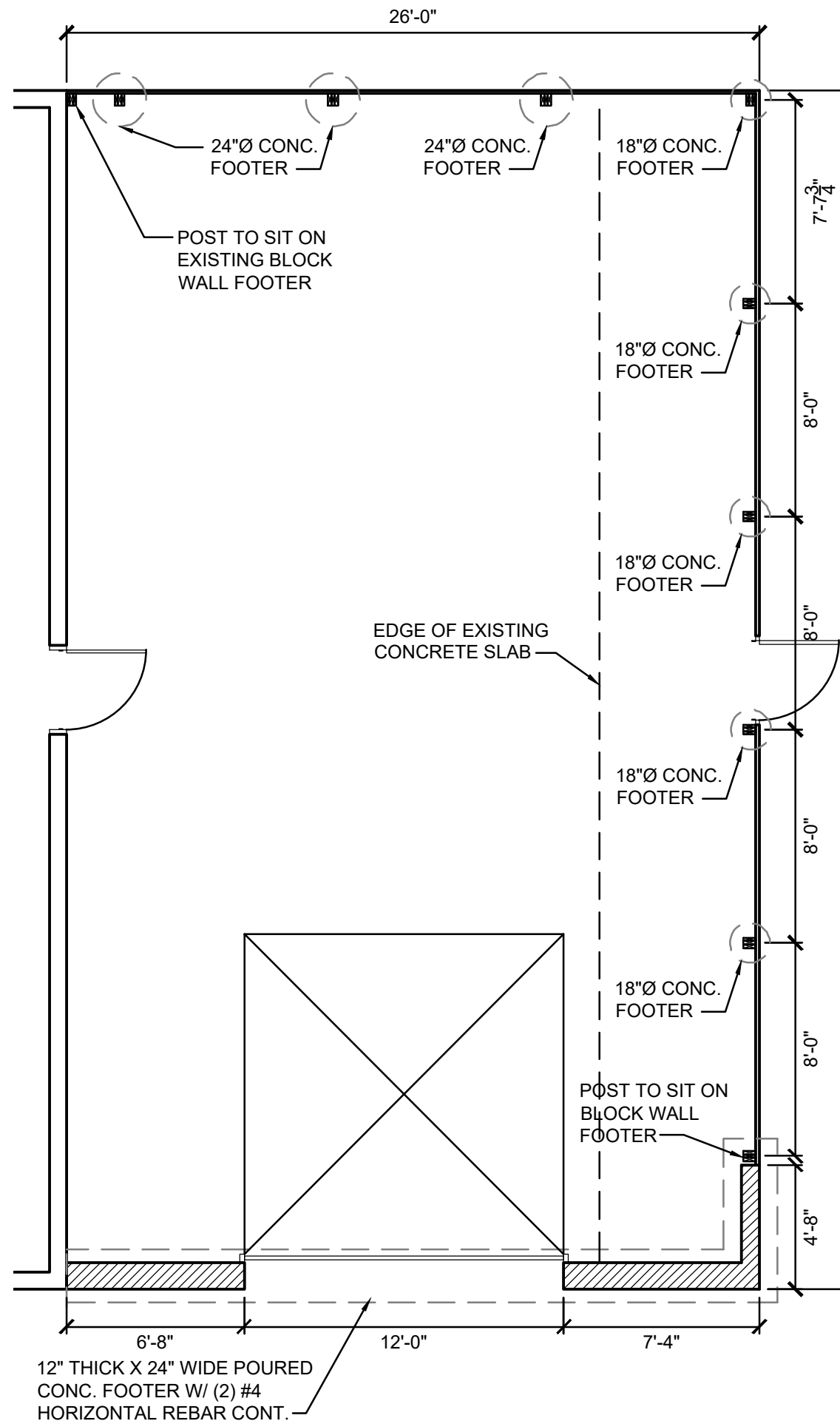


**ELECTRICAL PLAN**  
3/16" = 1'-0"

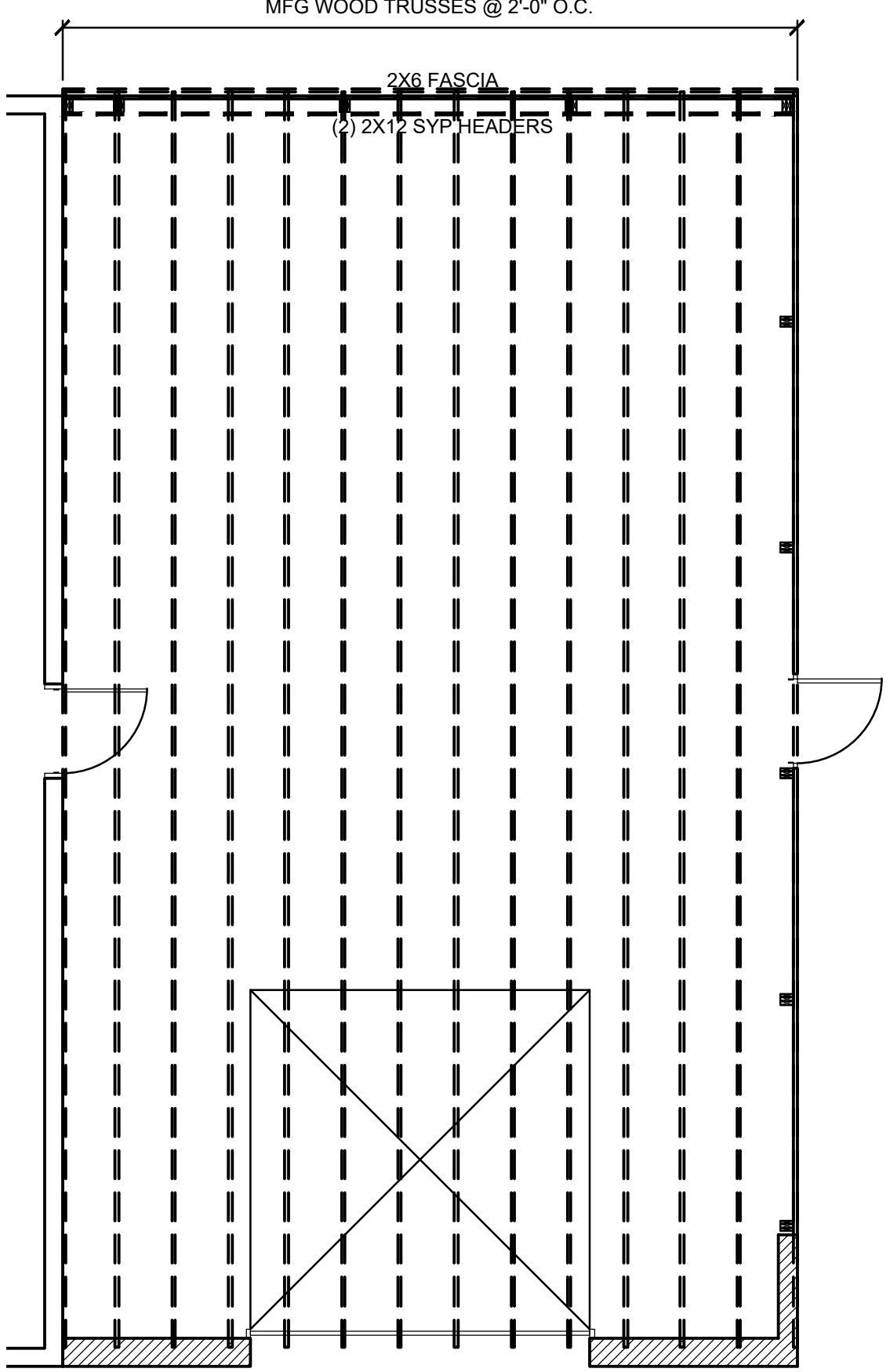
- ELECTRICAL NOTES AND SPECIFICATIONS**
- ELECTRICAL WIRING AND EQUIPMENT TO BE INSTALLED IN STRICT COMPLIANCE WITH NFPA70, (NATIONAL ELECTRIC CODE) AND WITH ARTICLE 27, OBC.
  - SECONDARY CIRCUITS TO BE COPPER, TYPE NM INSULATION, SIZED AS SHOWN ON CIRCUIT BREAKER SCHEDULE AND INSTALLED PER ARTICLE 336, NEC.
  - ALL NEW SECONDARY CIRCUITS WHICH CANNOT BE INSTALLED IN LOCATIONS PERMITTED BY ARTICLE 336, NEC, SHALL BE INSTALLED IN CONDUIT SIZED PER TABLE 3-A, NEC. ALL CONDUCTORS IN CONDUIT TO BE COPPER, TYPE THW, THWN, OR THHN INSULATION.
  - ALL ELECTRICAL WORK SHALL BE IN SPECIAL COMPLIANCE WITH ARTICLE 511, NEC. ALL WIRING, FIXTURES, AND ELECTRICAL EQUIPMENT SHALL BE MORE THAN 18 INCHES ABOVE FINISHED FLOOR.
  - ALL ELECTRICAL WIRING AND EQUIPMENT IN THE SHOP AREA SHALL BE IN CONFORMANCE WITH ARTICLE 503, NEC- CLASS III LOCATIONS.
  - EXIT SIGNS SHALL CONFORM TO SECTION 1011.1, OBC AND SHALL BE FURNISHED WITH AN APPROVED BATTERY PACK EMERGENCY POWER SUPPLY WHICH IS CAPABLE TO FURNISHING FULL ILLUMINATION FOR AT LEAST 90 MINUTES IN THE CASE OF PRIMARY POWER LOSS. EMERGENCY EGRESS LIGHTS TO BE INSTALLED IN COMPLIANCE WITH SECTION 1006.0, OBC AND SHALL BE LOCATED AS SHOWN AND SIZED TO PROVIDE A MINIMUM OF ONE FOOT CANDLE ILLUMINATION. EMERGENCY POWER SUPPLY TO BE WIRED TO THE SAME CIRCUIT AS THE ROOM AREA LIGHTS AND AHEAD OF THE LOCAL SWITCH AND SHALL CONFORM TO SECTION 2702.0, OBC.
  - ELECTRICAL CONTRACTOR TO VERIFY SIZE OF CIRCUIT REQUIRED BY HVAC. FURNISH SIZE AND WIRE RECOMMENDED BY HVAC MANUFACTURER.
  - METAL SIDING SHALL BE BONDED AND GROUNDED AS SHOWN USING THE METHODS SPECIFIED IN ARTICLE 250 NEC.

- FOUNDATION AND CONCRETE NOTES AND SPECIFICATIONS**
- ALL FOOTER CONCRETE TO HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS
  - ALL FLATWORK CONCRETE TO HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS AND SHALL BE AIR ENTRAINED ACCORDING TO ACI 318 SECTION 4.2.1.
  - THE AIR ENTRAINMENT OF INTERIOR FLATWORK RECEIVING A STEEL TROWEL FINISH CAN BE REDUCED TO NOT LESS THAN 3% PROVIDED 4,000 PSI CONCRETE IS USED.
  - CONSTRUCTION JOINTS SHALL COMPLY WITH THE PROVISIONS OF ACI 318 SECTION 6.4
  - CONCRETE QUALITY MIXING AND PLACING SHALL CONFORM TO SECTION 1905 OF THE OHIO BUILDING CODE.
  - FOOTER SIZES ARE BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF.

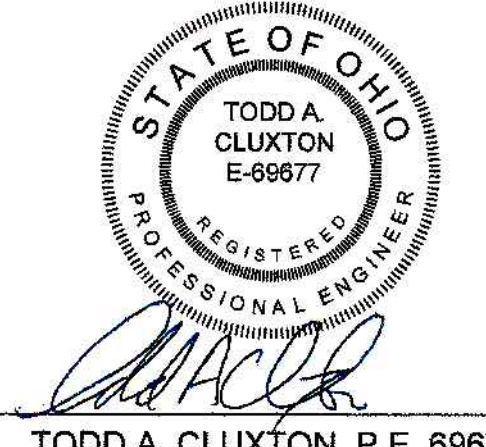
- ROOF FRAMING NOTES**
- ROOF TRUSS DESIGN FURNISHED BY AND IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. FOR DETAILS AND REQUIREMENTS FOR LATERAL SUPPORT BRACING AND SPECIAL ERECTION PRECAUTIONS SEE TRUSS MANUFACTURER'S DRAWINGS. THE CONTRACTOR SHALL CAREFULLY REVIEW TRUSS SHOP DRAWINGS FOR CONFORMANCE WITH ACTUAL FIELD MEASUREMENTS AND ALIGNMENTS.
  - CONTRACTOR TO HAVE STAMPED ENGINEERED TRUSS DRAWINGS ON SITE DURING CONSTRUCTION.



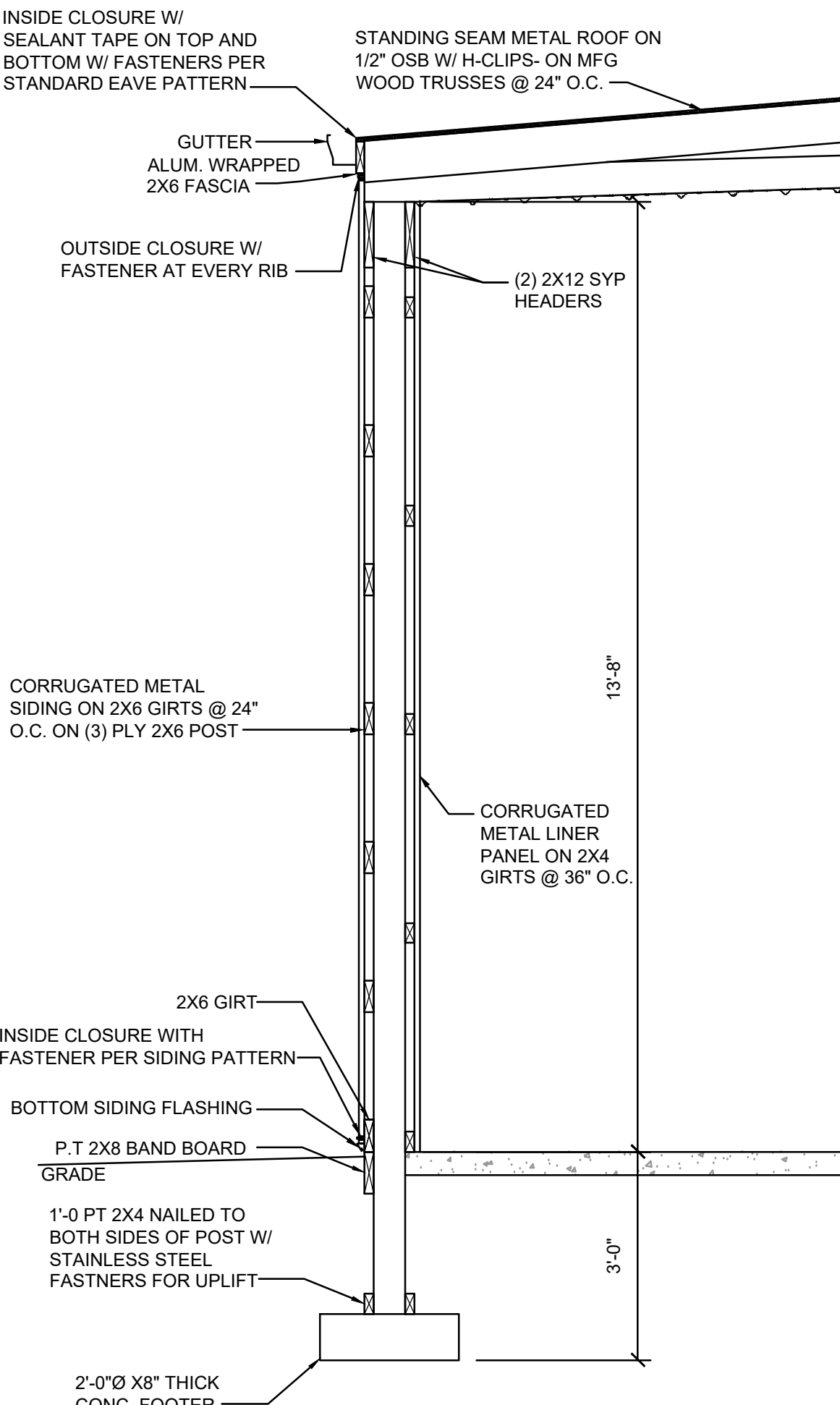
**FOUNDATION PLAN**  
3/16" = 1'-0"



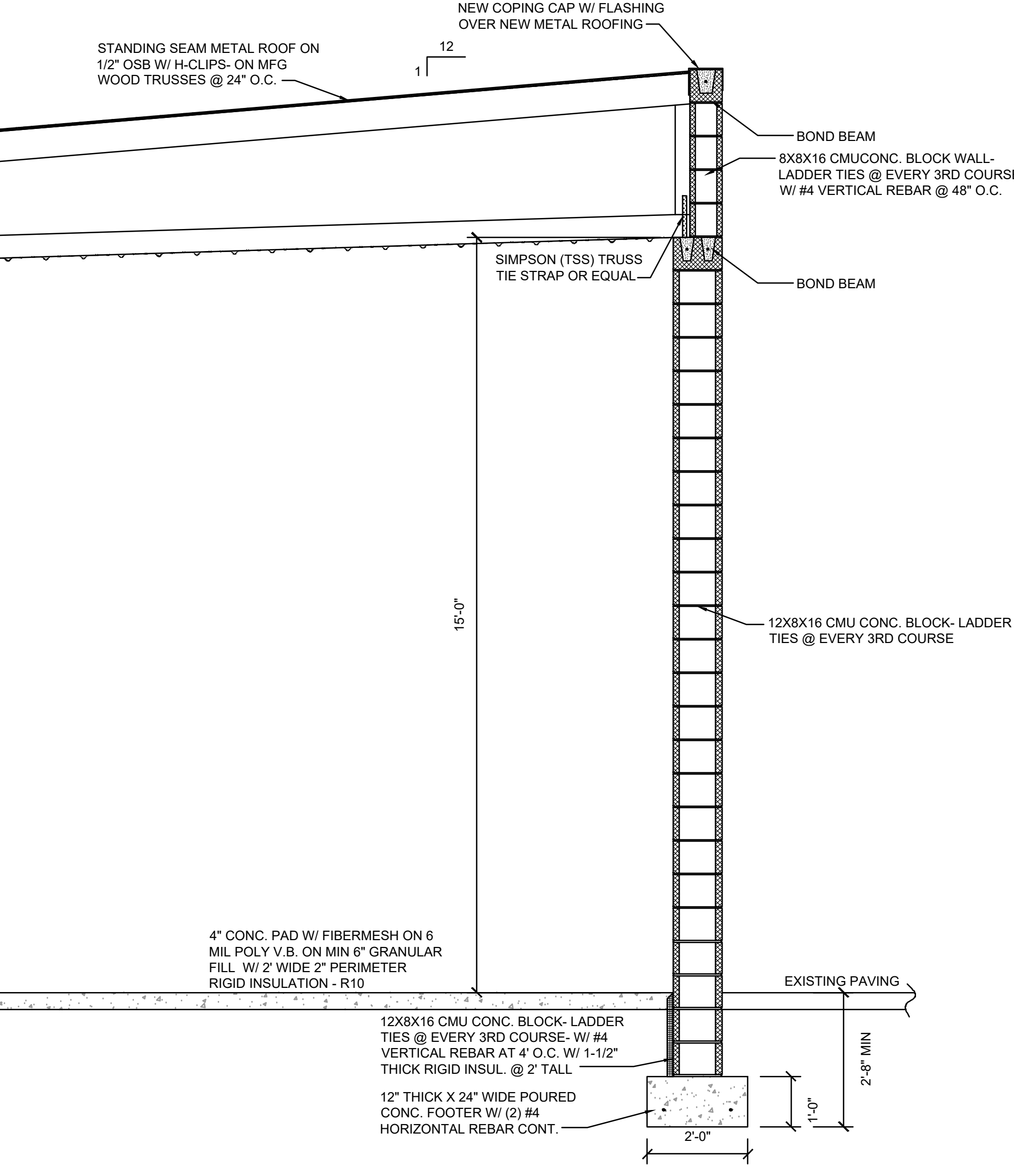
**ROOF FRAMING PLAN**  
3/16" = 1'-0"



TODD A. CLUXTON, P.E. 69677



**REAR WALL SECTION**  
1/2" = 1'-0"



**CONC. BLOCK WALL SECTION**  
1/2" = 1'-0"

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**REVISIONS**  
NONE

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