



**UNION TOWNSHIP BOARD OF TRUSTEES
JUNE 22ND, 2023 MEETING**

OVERLAY DISTRICT PLAN

**BRETT GRIFFIS, Applicant
508 ROUND BOTTOM RD. / Parcel ID # 403108C010**



Staff Report: CASE # 3-23-O

NATURE OF REQUEST

The Applicant is requesting Overlay District Plan Approval from the Union Township Board of Trustees for Parcel# 403108C010. Specifically, the Applicant is seeking to develop a new sand volleyball facility on approximately 5 acres—on a site that is located within the Little Miami – Lower East Fork Focus Area Overlay – Natural Resource Corridor (FA-NRC). **Please refer to the Applicant's statements, plans, and other application enclosures.*

LOCATION

The subject property is located at 508 Round Bottom Rd., approximately 700 feet north of the Round Bottom Rd. and Barg Salt Run Rd. intersection.

ZONING

The subject property is zoned Industrial (M-1), with all of the adjoining property (within 400 feet) also zoned as Industrial (M-1), for the underlying zoning.

RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the proposal is located within the Little Miami- Lower East Fork Corridor. During the previously adopted comprehensive planning effort, this Corridor was identified as an environmentally sensitive area, with large portions of the area contained within areas prone to irregular flooding from the Lower East Fork of the Little Miami River. The area remains primarily zoned for residential and industrial use, with rural settlement patterns and large lot sizes dominating the landscape. More recently, several industrial pockets have developed along Round Bottom Road.

RELATIONSHIP TO THE FOCUS OVERLAY DISTRICT REGULATIONS

As noted previously, the affected property is located within the Little Miami- Lower East Fork Focus Area Overlay District. Article 13 of the Union Township Zoning Resolution identifies this corridor as a “Natural Resource Corridor,” and makes these statements with respect to these Districts:

1305. Focus Areas Overlay-Natural Resource Districts...

1. Findings and Specific Purpose.

Natural resources are an important component of quality of life for all residents in the Township. When irreplaceable natural features are threatened, their preservation should be weighed and evaluated in relation to public and private interests.

- a. The existence of a twenty (20%) percent slope, in combination with Miamitown Shale or Kope geologic formation, is evidence of a condition of natural critical stability, and development under conventional regulations may precipitate landslides or excessive soil erosion. Additional regulations are needed to preserve the prominent views from the top or from the slopes of the hillside and the natural contours thereof.
- b. Hillsides, as community separators or boundaries, are historic aids to the identification of residential communities which help citizens to relate to their communities and to relate the social organizations of communities to their physical environments.
- c. The location of natural resources often coincides with prime development sites. Long term benefits of conserving natural resources in a metropolitan area can be achieved through innovative development regulations based on comprehensive plans.

2. Characteristics.

FA-NR districts shall be limited to geographic areas containing one (1) or more of the following characteristics:

- a. Lakes, rivers, floodplains, wetlands, mineral deposits, aquifers, forests, parks, or hillsides (twenty [20%] percent slope or greater) or other natural features of significant public interest;
- b. Existence of Miamitown Shale or Kope geologic formations or soils classified as having severe constraints for development;
- c. Prominent hillsides and natural resources which are readily viewable from a public thoroughfare;
- d. Scenic areas providing views of a major stream or valley or other natural resource;
- e. Hillsides and other natural features functioning as community separators or community boundaries;
- f. Hillsides which support a substantial natural wooded cover.

BACKGROUND

The property is located approximately 700 feet north of Round Bottom Road and appears to have been zoned Industrial (M-1) since the inception of zoning in Union Township, despite its apparent agricultural use. According to the applicable FIRM panel, none of the proposed 5 acres of the parent tract lies within both the 100-year floodplain or the floodway. In fact, only a very marginal amount (less than 0.1 Acres) of the parent tract contains 100-year floodplain area. As noted earlier, the Applicant is seeking to develop a new sand volleyball facility—for the Cincinnati Sand Volleyball Club—which would involve the establishment of 6 indoor and 6 outdoor sand volleyball courts as well as an office, pro shop, café, kitchen, and restrooms.

STAFF REVIEW & ANALYSIS

A review of the proposal indicates that the proposed use is consistent with the zoning district in which it is located (M-1)—and that it is not in conflict with the adopted land use plan for the Little Miami – Lower East Fork Corridor. The land use plan allows for lower intensity industrial uses throughout the corridor, with some infill uses, provided that natural resources are protected. *To that end, this request does not impact a hillside or area with twenty (20%) percent slope or greater, does not involve a floodplain or flood-prone area, and does not involve an area that has been identified as having significant natural resources.* Additionally, the plan identifies that some industrial uses are already present in the area and should be supported to the extent practicable. Therefore, the requested use is considered reasonable by staff.

At the time of this report, the site has no direct access to a public or private street / road; however, the Township is currently in the process of designing and engineering a new public road to serve the Hamilton Safe property, this property, and the property adjacent and beyond (to the northeast and southeast). The Township expects that road construction will be underway soon and be completed before the end of Fall, 2023.

In terms of other items, the proposed structure appears to be consistent with those in the surrounding area—from an architectural standpoint. Monument signage would be the required signage for the site, limited to a height of not more than 12' when measured from grade for all present and future signage proposed by the Applicant. A stormwater detention basin is planned on the southeastern portion of the proposed 5-acre tract, and would be designed to address all stormwater runoff associated with the property. Landscaping would be incorporated into the site in a manner consistent with surrounding parcels. A lighting plan has not been submitted at this time; however, it would be required for final review and approval.

ACTION REQUIRED

In accordance with Section 1310 of the Zoning Resolution, the Board of Trustees' role in this process is to either enter a motion to approve, modify, or deny the Focus Area Overlay District application—which, in this case consists of the development of a new sand volleyball facility on approximately 5 acres—as submitted, along with any further modifications deemed appropriate by the Board.

RECOMMENDED MODIFICATIONS

If the Board should choose to grant favorable consideration to this Overlay District application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant must address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) A walkway or path would need to be included / shown between the proposed parking areas and the proposed building improvements—to minimize the pedestrian activity in the parking areas and driveway aisles.
- 3) A more-detailed signage plan would ultimately need to be submitted. All free-standing signage should be limited to monument signage, capped at a height of not more than 12' from finished grade, subject to administrative review and approval.
- 4) A photometric / site lighting plan would ultimately need to be submitted, acknowledging that all lighting (if needed in the future) would need to be downward directed, and of sufficient intensity to illuminate without projecting onto the adjoining property. *Details / specs of proposed lighting would be necessary; however, this is an item that could / would be addressed administratively by staff.

III. SUPPORTING DOCUMENTS REQUIRED FOR APPLICATION

1. Photocopy of tax map with subject property highlighted.
2. Legal description of property (see deed).
3. Development plans.
4. Application fee as established by the Township Trustees.

IV. SUPPORTING INFORMATION

A. Existing Zoning District M-1

Existing Land Use Agricultural

Proposed Focus Area District and Classification Category M-1

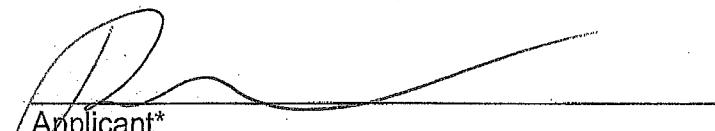
Proposed Land Use New Sand Volleyball Facility

B. Describe the characteristics of the Parcel/Project for consideration by the Board of Trustees (use additional sheet if necessary):

We are proposing the acquisition of 5 acres to build a new Indoor/Outdoor Sand Volleyball facility. This new facility will hold 6 Indoor/6 outdoor Sand Volleyball Courts as well as an office, Pro shop, Cafe, Kitchen, & Bathrooms. The parking lot is proposed at 189 parking spots.

V. AFFIDAVIT

I hereby depose and say that I have familiarized myself with the rules and regulations of the Union Township Zoning Resolution with respect to preparing this application. I hereby certify that I have read the foregoing document and supplements attached thereto and that I have answered all questions fully and to the best of my ability. I hereby attest to the truth and exactness of the information supplied herewith and that I am the owner or lessee of the property to be rezoned.



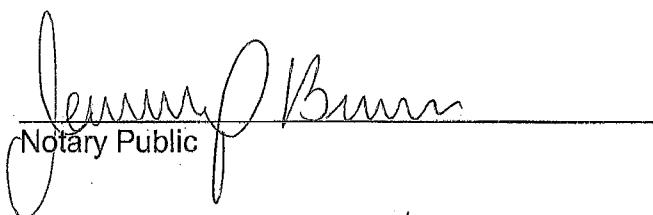
Applicant*

*If the property is owned by a corporation or partnership, signatory must be an authorized officer or partner.

STATE OF Ohio

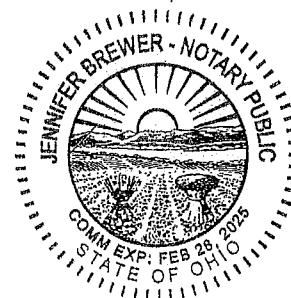
COUNTY OF Clermont

Subscribed and sworn to before me this 9th day of May, of this year
2023.



Jennifer Brewer
Notary Public

My commission expires 2/28/2025



FOUNDRY
WAREHOUSE LLC
4031 08C 008

FOUNDRY
WAREHOUSE LLC
#03108C074

RIVER VALLEY RD

403108C061

40310BC060.

403108C058

4031 08 C 059 .

CLERMONT
COUNTY PORT
AUTHORITY
4 031 08C 050

SMITH ANNA L
403108 F030.

HOSKINS
DIANNA
LYNN &
40310BD009

ROW

40310BC05
40310BC070.

403108C069.

19241 OD 070.

UNKNOWN

TC PROPERTIES
OF OKI LLC
403108C010

TURTON
HOLDINGS
FAMILY/LLC
403108C071

CLERMONT
COUNTY PARK
DISTRICT
403108C052.

COMSTOCK
MARY B
4 031 08 C012

~~ROUND BOTTOM~~

Date:
5/19/2023

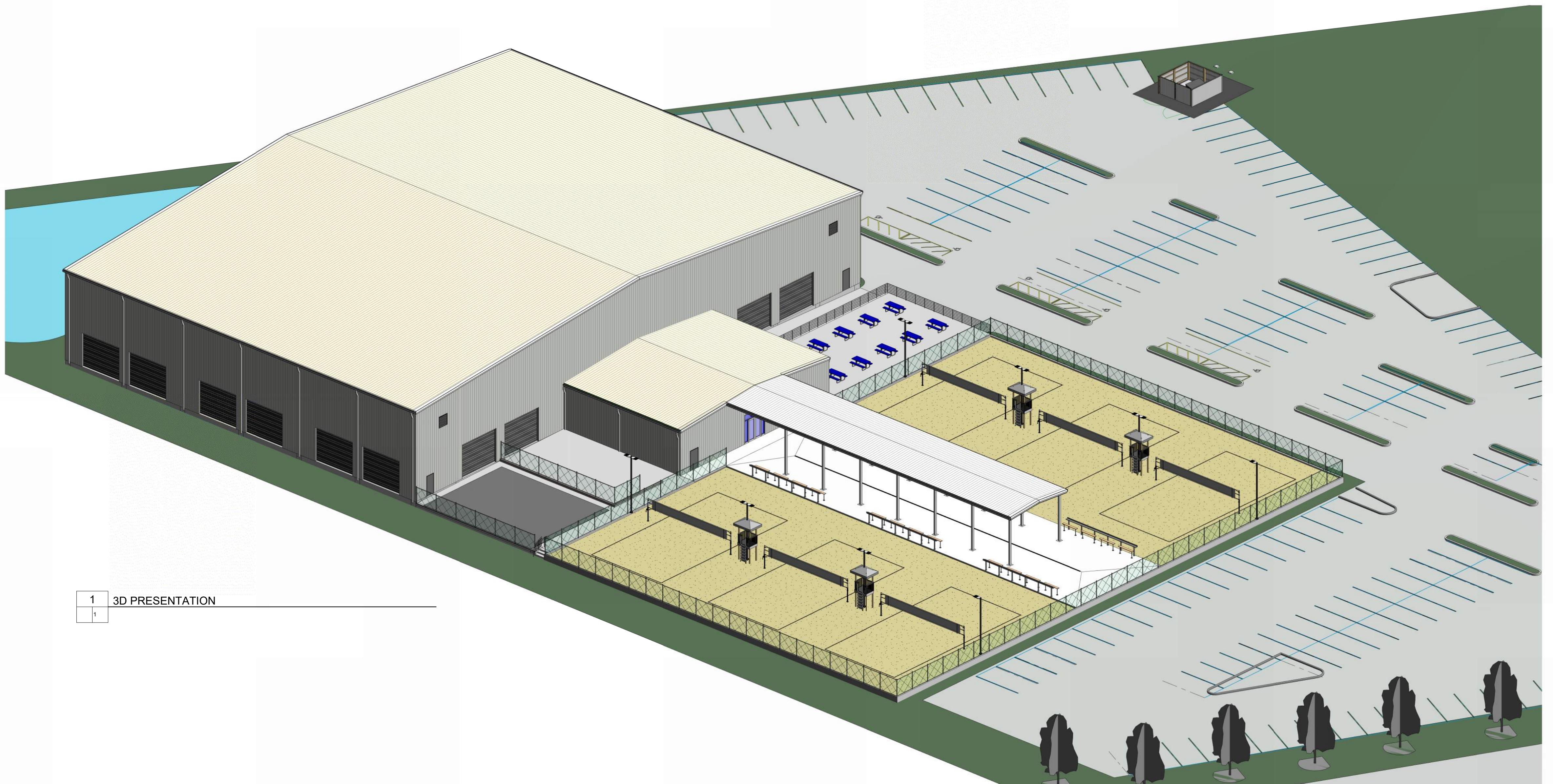
The information contained in this map is a public resource for general information and is provided for use only as a graphical representation. Clermont County makes no warranty to the content, accuracy, or completeness of the information contained herein and assumes no liability for any errors. Any reliance on this information is at the exclusive risk of the user.

Keynote Legend
Key Value Keynote Text

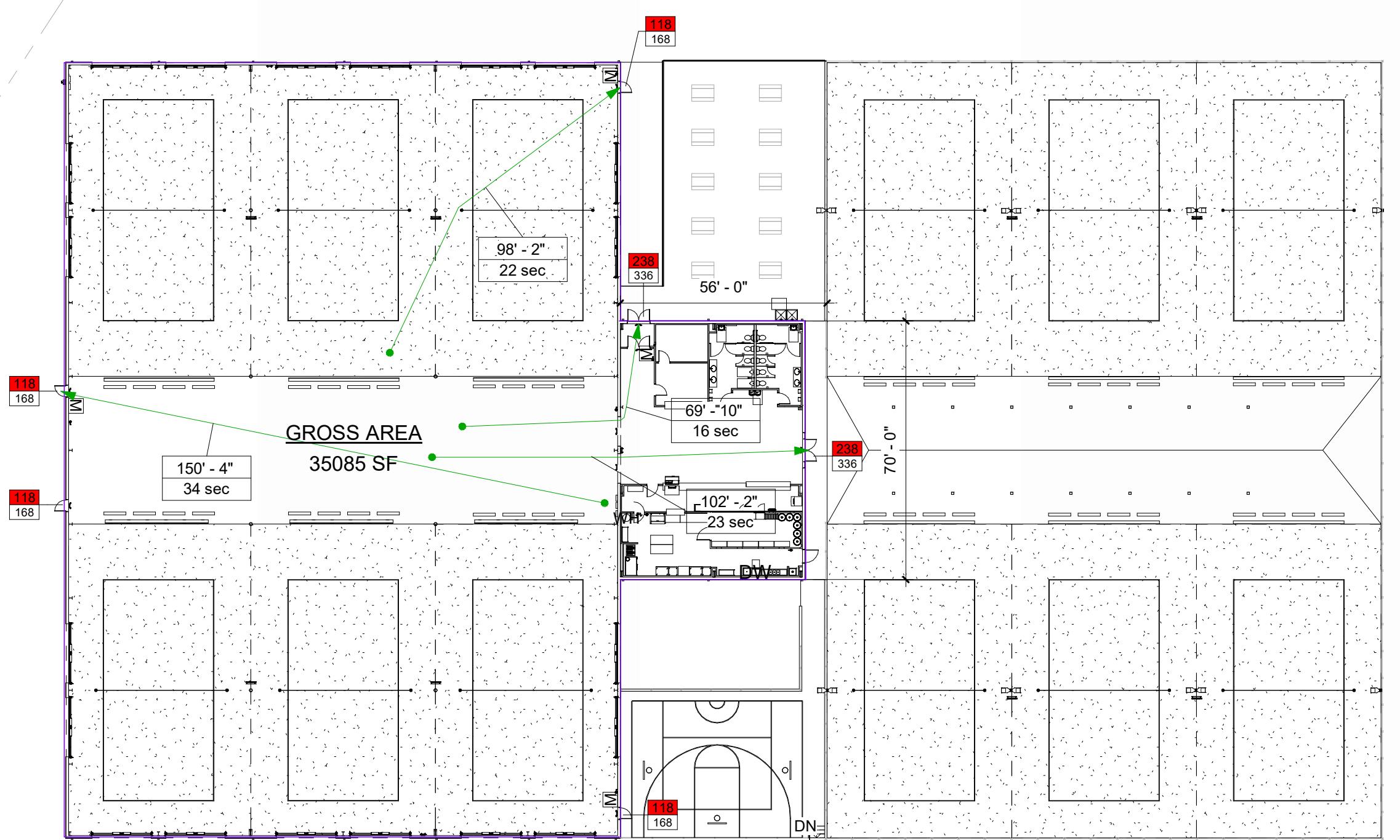


PROPOSED VOLLEYBALL SPORTS COMPLEX FOR:
CINCINNATI SAND VOLLEYBALL CLUB

508 ROUND BOTTOM RD.
UNION TOWNSHIP
CLERMONT COUNTY



1 3D PRESENTATION

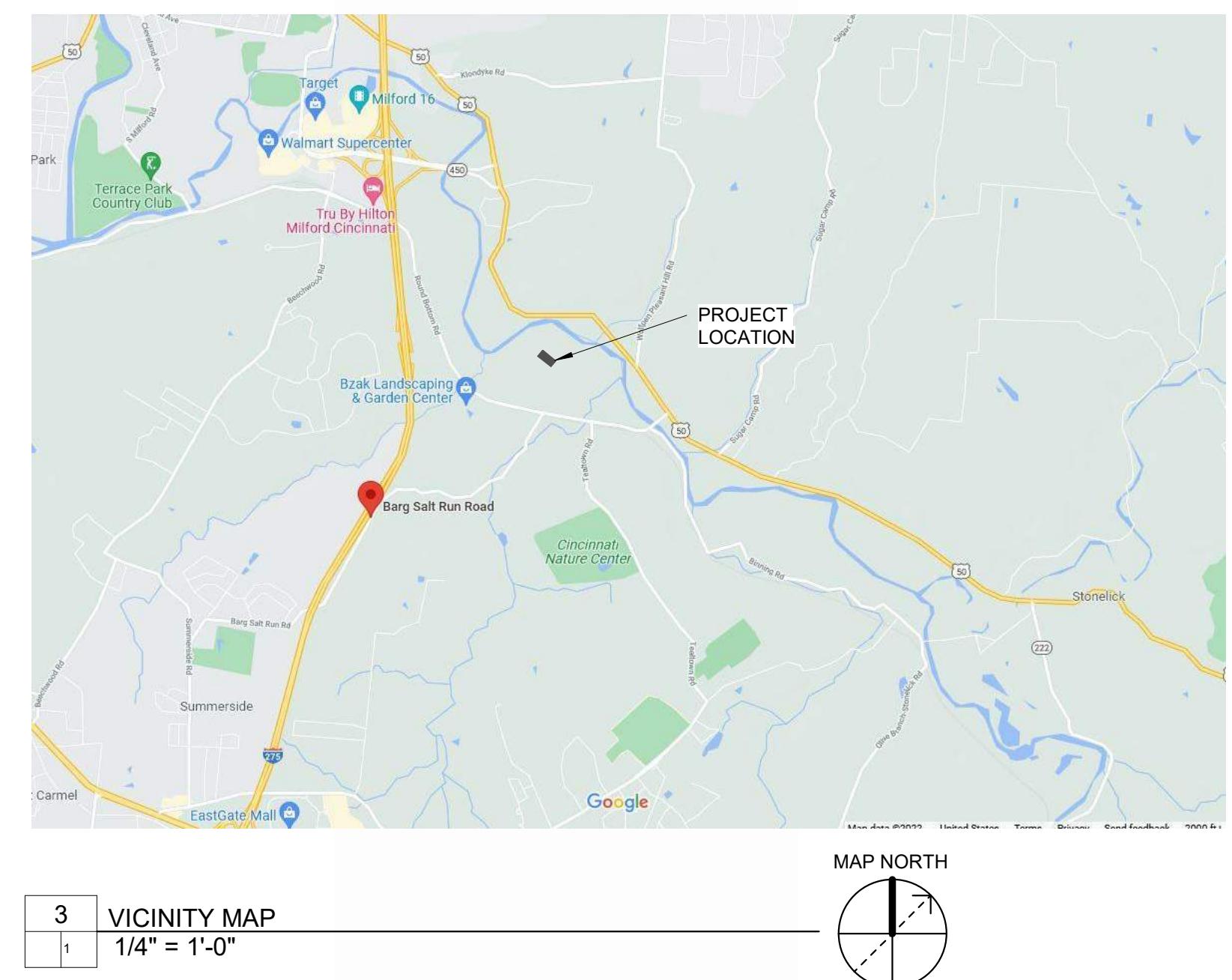


4 GROSS AREA & EGRESS PLAN
A2011 1/32" = 1'-0"



FLOOR PLAN LEGEND	
FE-1 FE-K	FIRE EXTINGUISHER - WALL MOUNTED FIRE EXTINGUISHER - TYPE K
EM-1	EMERGENCY LIGHT - 90 MIN. DURATION BATTERY BACKUP
EL-1	EXIT LIGHT - WALL MOUNTED 90 MIN. BATT. BACKUP DURATION
N	PERSONS TO EXIT EXIT CAPACITY

INDEX TO DRAWINGS	
Sheet Number	Sheet Name
1	TITLE SHEET - SITE PLAN
A001	GENERAL LEGEND - ABBREVIATIONS
A101	OVERALL FLOOR PLAN
A102	ENLARGED FLOOR PLANS
A103	ROOF PLAN
A110	REFLECTED CEILING PLAN
A111	CEILING DETAIL PLAN - CONCESSION
A201	EXTERIOR ELEVATIONS
A301	BUILDING CROSS SECTIONS
A401	WALL SECTIONS
A402	CEILING DETAIL
A403	CONCESSION INTERIOR ELEVATIONS
A601	SCHEDULES - DOOR & ROOM FINISH
L01	DUMPSTER ENCLOSURE
L-1	LANDSCAPE PLAN
S101	FOUNDATION PLAN
S102	FOUNDATION DETAILS - SCHEDULES
1/1	PRELIMINARY PROPERTY SPLIT
C-4	GRADING PLAN
C-5	SWPPS & DRAWS
C-1	SITE ELEVATION & GENERAL NOTES
C-2	SITE CONSTRUCTION DETAILS
C-3	EXISTING CONDITIONS & DEMO PLAN
C-3.1	EXISTING CONDITIONS & DEMO PLAN
C-5	SWPPP



3 VICINITY MAP
1/4" = 1'-0"

BUILDING CODE SUMMARY:

NAME OF PROJECT: CINCINNATI SAND VOLLEYBALL CLUB
STREET ADDRESS: 508 ROUND BOTTOM ROAD, UNION TWP., OH, CLERMONT COUNTY
PROPOSED USE: INDOOR SAND VOLLEYBALL COURTS WITH CONCESSION STAND AND SUPPORT OFFICES

APPLICABLE CODES:

2012 OHIO BUILDING CODE
2012 IEC 90.1 ENERGY CODE
2017 OHIO PLUMBING CODE
2017 NFPA 70, NATIONAL ELECTRIC CODE
2017 OHIO FIRE CODE
2005 IBC 1171.1 INHABITABLE & USEABLE BUILDINGS & FACILITIES CODE
2013 INTERNATIONAL FUEL & GAS CODE
2016 NFPA 13, STANDARD INSTALLATION OF SPRINKLER SYSTEMS, 13R & 13D
2016 NFPA 72, NATIONAL FIRE ALARM CODE

MIXED OCCUPANCIES: THIS BUILDING IS DESIGNED PER OBC SECTION 508 FOR MIXED OCCUPANCIES. SECTION 508.2 FOR ACCESSORY OCCUPANCIES AND SECTION 508.3 FOR NON-SEPARATED OCCUPANCIES. FIRE SEPARATION IS NOT REQUIRED BETWEEN THE PRIMARY OCCUPANCIES (B & S-1) EXCEPT AS REQUIRED BY OTHER CODE PROVISIONS.

BUILDING OCCUPANCIES: A-4, ASSEMBLY, INDOOR SPORTING EVENTS; B - BUSINESS USE GROUPS

ALLOWABLE AREA: UNLIMITED, PER OBC 507.4, EXCEPTION #2; EXIT DOORS PROVIDED FROM PARTICIPANT SPORTS AREAS AND FIRE ALARM SYSTEM PROVIDED.
(TABULAR) A-4, 15,500 SF (TABULAR) + OPEN PERIMETER = 15,500 SF + 50% = 14,250 SF OBC T506.2

ACTUAL AREA: CONCESSION STAND / OFFICE = 3500 SF GROSS
PEMB = 30,050 SF GROSS

TYPE OF CONSTRUCTION: IIB, NON COMBUSTIBLE, PRE-ENGINEERED METAL BUILDING WITH LOAD BEARING FRAMES;

FIRE PROTECTION: STRUCTURAL FRAME: 0 HR
ROOF CONSTRUCTION: 0 HR
EXTERIOR NON-BEARING WALLS: 0 HR
EXTERIOR BEARING WALLS: 0 HR
INTERIOR BEARING WALLS: 0 HR
INTERIOR NON-BEARING WALLS & PARTITIONS: 0 HR
FLOOR CONSTRUCTION: 0 HR

AUTOMATIC SPRINKLERS: SPORTS AREA: NOT REQUIRED PER OBC 903.2.14 EXCEPTION, PARTICIPANT SPORTS AREA AT GUIDE: SUPPORT AREAS: NFPA 13 PROVIDED IN SUPPORT APPENDIX
FIRE EXTINGUISHERS PROVIDED PER THROUGHTOUT BUILDING. SEE PLANS.

FIRE ALARM SYSTEM: FIRE ALARM PROVIDED PER OBC 507.4 EXCEPTIONS #2.1, 2.2.

EXITS REQUIRED: 2, PER OBC 1006.2.1
EXITS PROVIDED: 4
MIN. CORRIDOR WIDTH: 44"

DEFERRED SUBMITTALS:

THE FOLLOWING SUBMITTALS ARE TO BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE AUTHORITY HAVING JURISDICTION FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION. THE GENERAL CONTRACTOR IS TO DETERMINE ALL REQUIREMENTS FOR THE SUBMITTAL PROCESS AS WELL AS SUBMIT, TRACK AND REPORT SUBMITTAL STATUS TO THE CONSTRUCTION MANAGER THROUGH THE FINAL APPROVAL AND ISSUANCE OF PERMIT.
FIRE SUPPRESSION SYSTEM IN CONCESSION
FIRE ALARM SYSTEM

NUMBER OF EXITS OR EXIT ACCESS DOORS REQUIRED: 2

EXIT ACCESS TRAVEL DISTANCE: 200' FOR "A" OCCUPANCY PER OBC TABLE 1017.2 FOR NON-SPRINKLERED BUILDINGS.
NOTE: THE DISTANCE FROM ANYWHERE IN THE BUILDING TO AN EXIT DISCHARGE IS LESS THAN 200 FEET.

COMMON PATH OF TRAVEL: 75' FOR "A" OCCUPANCY (ASSEMBLY) PER OBC T1006.2.1.
CORRIDOR FIRE RESISTANCE: NOT APPLICABLE

OCCUPANCY LOAD FACTORS: MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT PER 2017 OBC TABLE 1004.1.2:
1. BUSINESS (TABULAR) BUSINESS 100 SF NET = 3500 / 100 = 35 OCC.
1. ASSEMBLY: (TABULAR) SPORTS 50 GROSS = 30,085 SF / 50 = 702 OCC.
EQUAL MEN AND WOMEN

2. COMPUTED: 6 INDOOR VOLLEYBALL COURTS, 6 PER TEAM X 2 TEAMS = 6 X 6 X 2 = 72 OCC.
FIRE STAFF = 8 OCC.
2 REFEREES PER COURT = 12 OCC.
6 OUTDOOR COURTS, 6 PER TEAM X 2 TEAMS = 6 X 6 X 2 = 72 OCC.
12 ADDITIONAL SPECTATORS PER COURT = 72 OCC.
ANTICIPATED TOTAL OCCUPANTS = 236 OCC.

PLUMBING FIXTURE REQUIREMENTS:

TOTALS FROM #2	= 236 OCC. 60% MEN / 40% WOMEN
OCCUPANCY	WATER CLOSETS
MEN 236 X .6 = 142 MEN	@175 MEN = 142/75 = 2
WOMEN 236 X .4 = 95 WOMEN	@140 WOMEN = 95/40 = 3
	142/200 = 2
	95/150 = 1
	1
	1 SERVICE SINK
	DRINKING FOUNTAINS
	OTHER

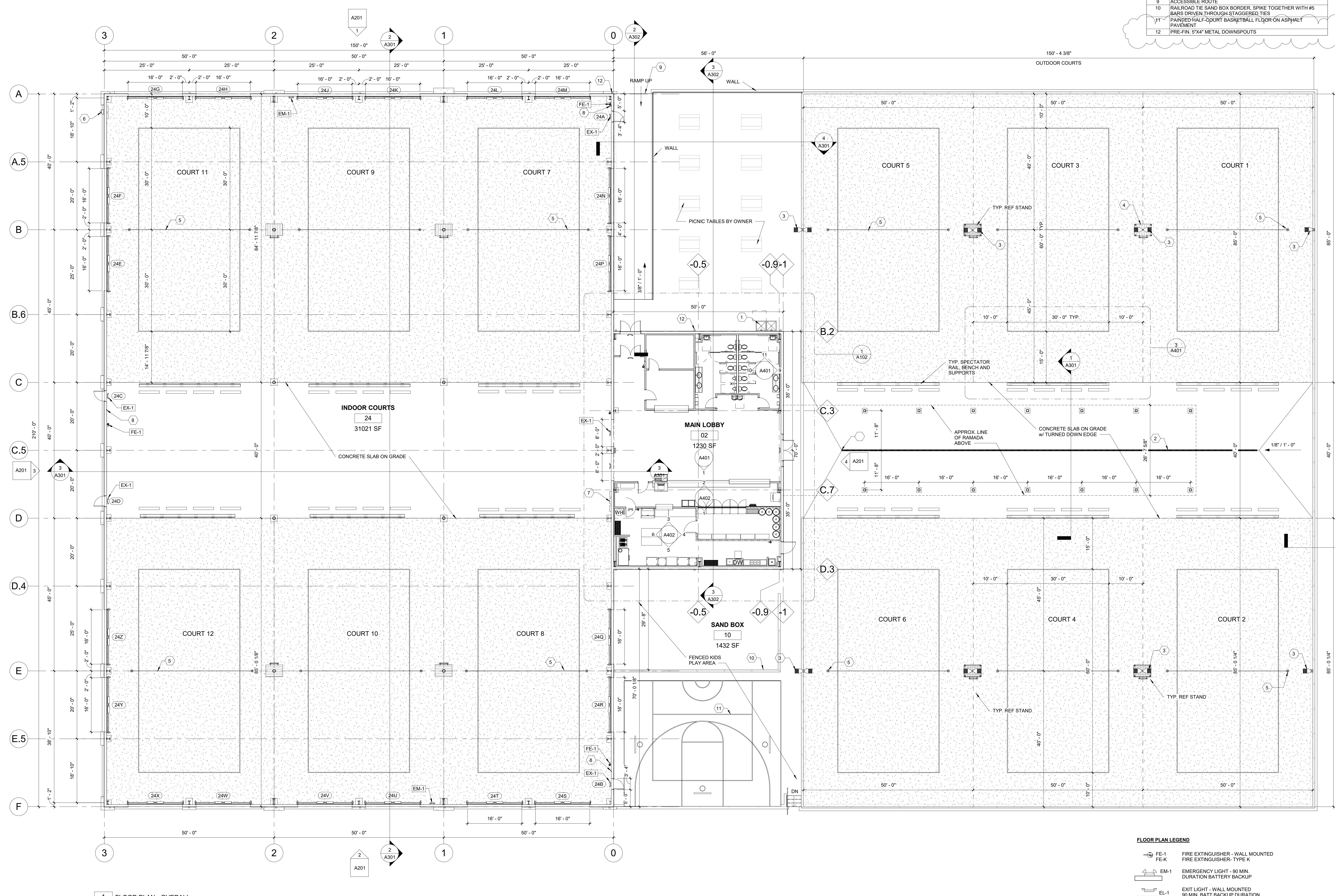
PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:
CINCINNATI SAND VOLLEYBALL CLUB

TITLE SHEET - SITE PLAN	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG
Scale	As indicated

1



Keynote Legend	
Key	Value
Keynote Text	
1	DEPRESSED PORTION OF SLAB FOR 3X3 FOOT SHOWER, PROVIDE SAND TRAP BY PLUMBING CONTRACTOR
2	PREFAB TRENCH DRAIN TO STORM SEWER SYSTEM
3	NEW POLE MTD LED AREA LIGHT FIXTURE
4	PRE-FAB REFEREE STAND WITH REFEREE STAND WITH METAL ROOFING & WOOD LADDER TO RAISED PLATFORM; FURNISHED AND INSTALLED BY OWNER
5	VOLLEYBALL NET AND SUPPORTS
6	ELECTRIC METER LOCATION PER UTILITY CO.
7	ELECTRIC DISTRIBUTION PANELS
8	FIREFIGHTER ROUTE
9	ACCESSION ROUTE
10	RAILROAD TIE SAND BOX BORDER, SPIKE TOGETHER WITH #5 BARS DRIVEN THROUGH STAGGERED TIES
11	PAINTED HALF-COURT BASKETBALL FLOOR ON ASPHALT PAVEMENT
12	PRE-FIN. 5X4" METAL DOWNSPOUTS

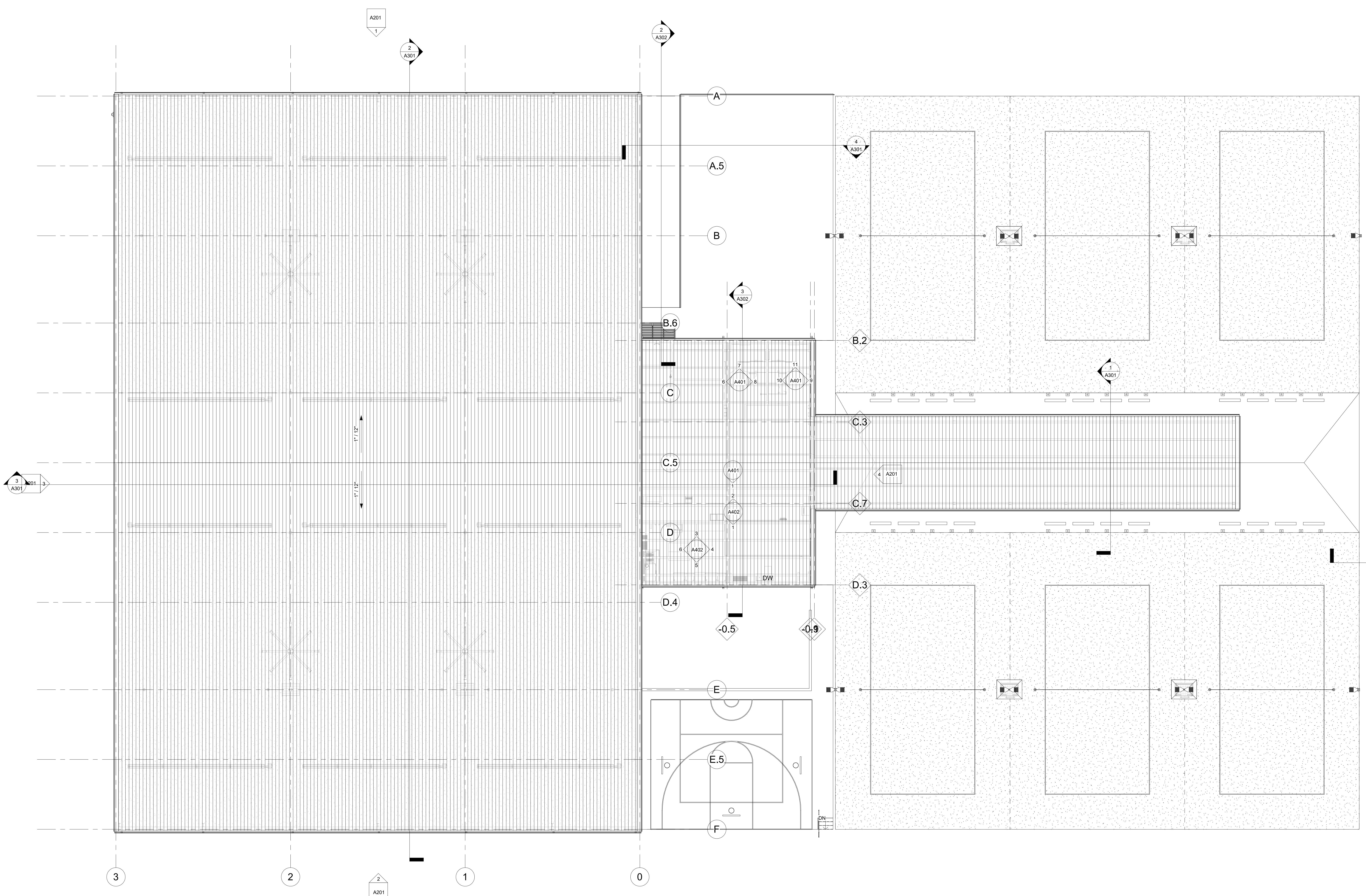


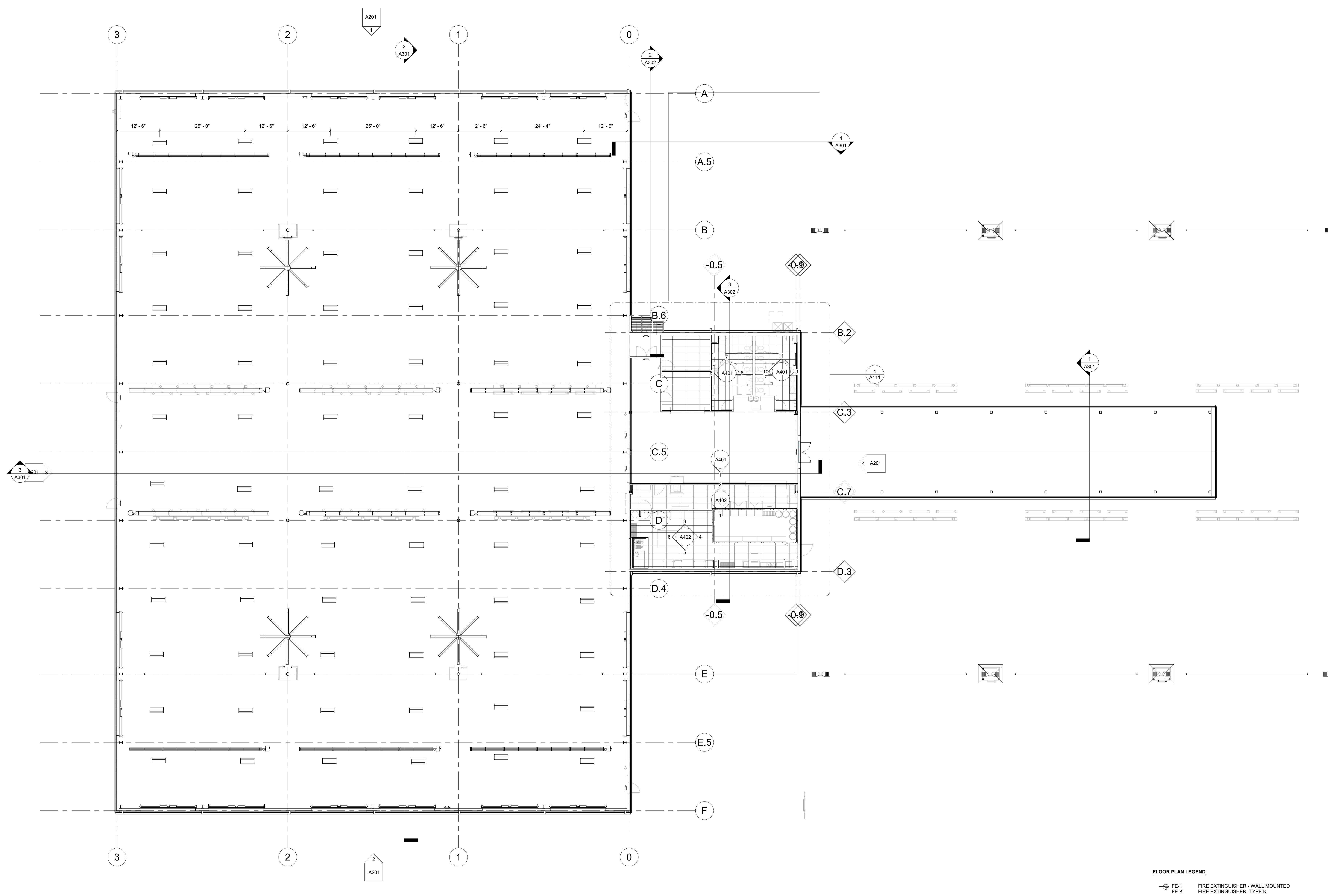
OVERALL FLOOR PLAN	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG

A101
SHEET 2 of 2



Keynote Legend	
Key	Value
	Keynote Text





**PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:
CINCINNATI SAND VOLLEYBALL CLUB**

508 ROUND BOTTOM RD.
MILFORD, OHIO 45150
UNION TWP.
CLERMONT COUNTY

LOOR PLAN LEGEND

- FE-1 FIRE EXTINGUISHER - WALL MOUNTED
- FE-K FIRE EXTINGUISHER- TYPE K
- EM-1 EMERGENCY LIGHT - 90 MIN.
DURATION BATTERY BACKUP
- EL-1 EXIT LIGHT - WALL MOUNTED
90 MIN. BATT.BACKUP DURATION
- N PERSONS TO EXIT
N EXIT CAPACITY

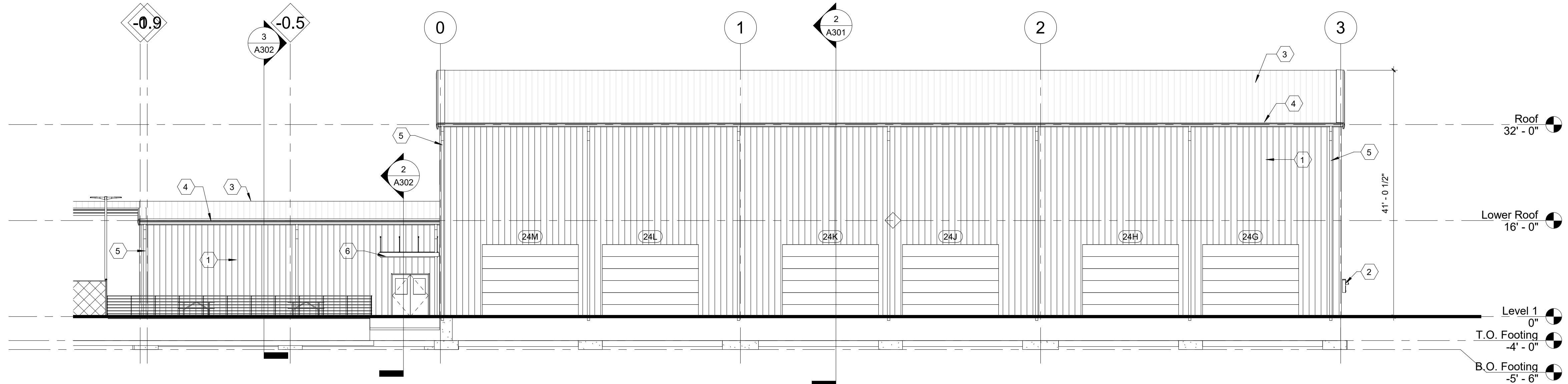
REFLECTED CEILING PLAN

Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG

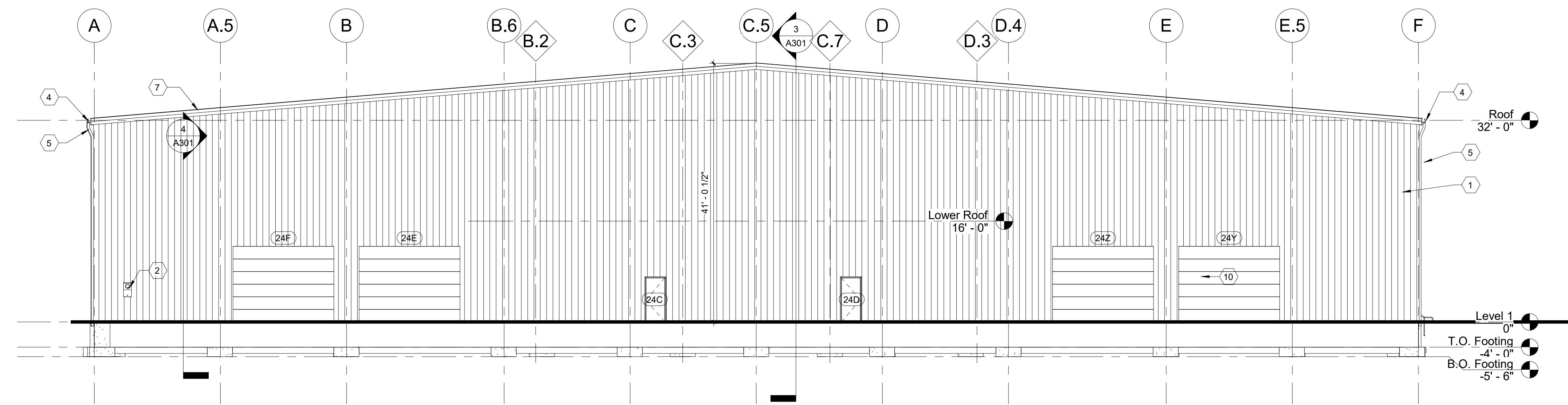
A110



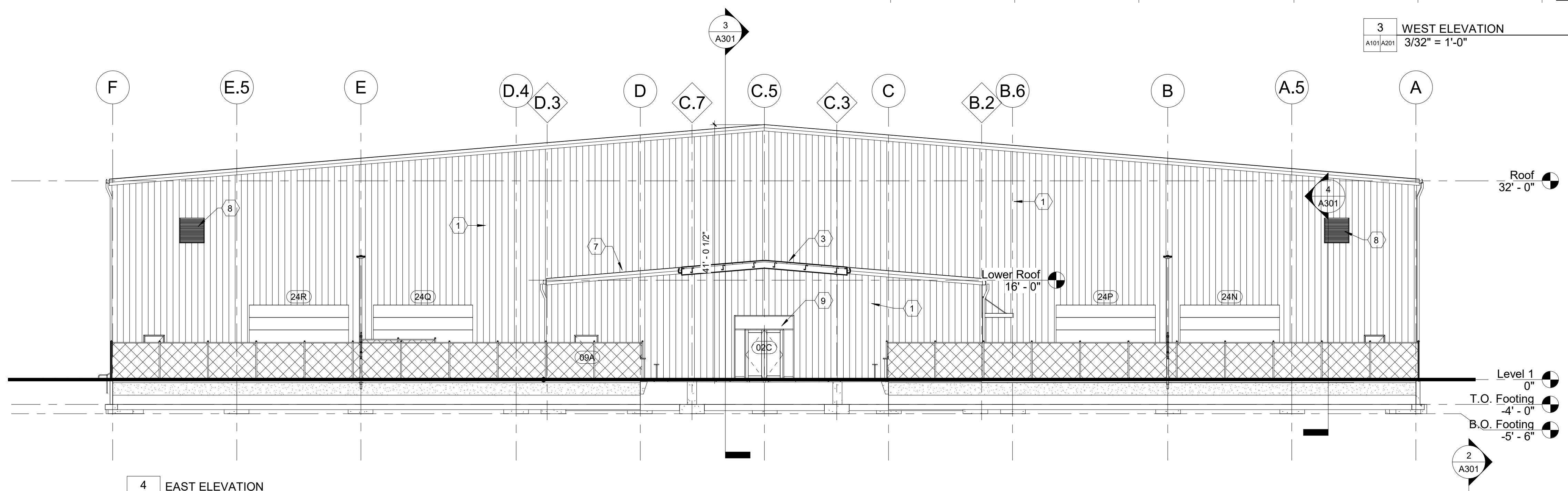
Keynote Legend	
Key Value	Keynote Text
1	26 GA. SHADOWRIB METAL WALL PANELS
2	ELECTRIC METER LOCATION PER UTILITY CO.
3	24 GA. STANDING SEAM METAL ROOF PANELS
4	PRE-FIN. METAL GUTTERS
5	PRE-FIN. 5X4" METAL DOWNSPOUTS
6	PRE-FIN. ALUM. ENTRANCE CANOPY WITH DIAG. ROD SUPPORTS
7	PRE-FIN. PEMB RAKE
8	EXTERIOR, PRE-FIN. OPERABLE LOUVERED VENTILATION AIR FAN. REFER MECHANICAL DRAWINGS
9	STOREFRONT GLAZING SYSTEM
10	OVERHEAD SECTIONAL VERTICAL LIFT INSULATED DOOR



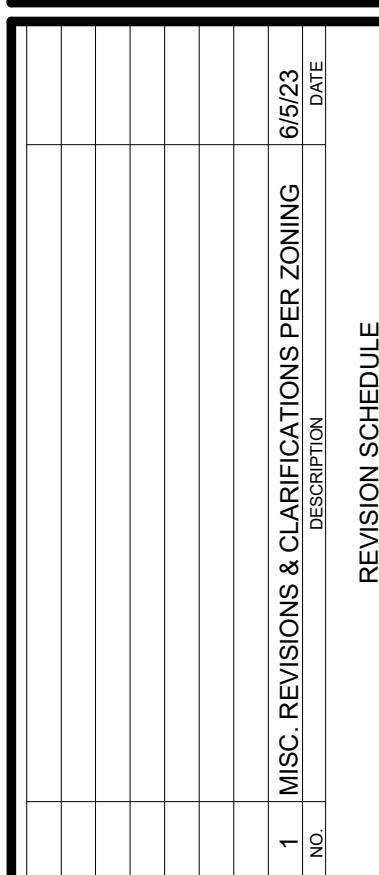
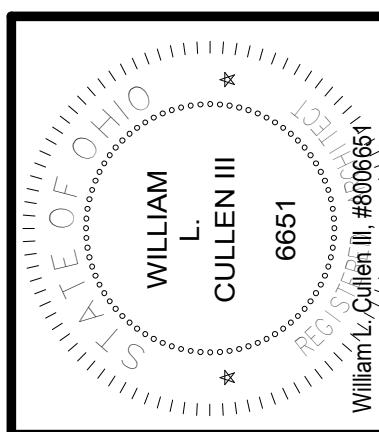
1 NORTH ELEVATION
A101/A201 3/32" = 1'-0"



1 NORTH ELEVATION
A101/A201 3/32" = 1'-0"



1 WEST ELEVATION
A101/A201 3/32" = 1'-0"

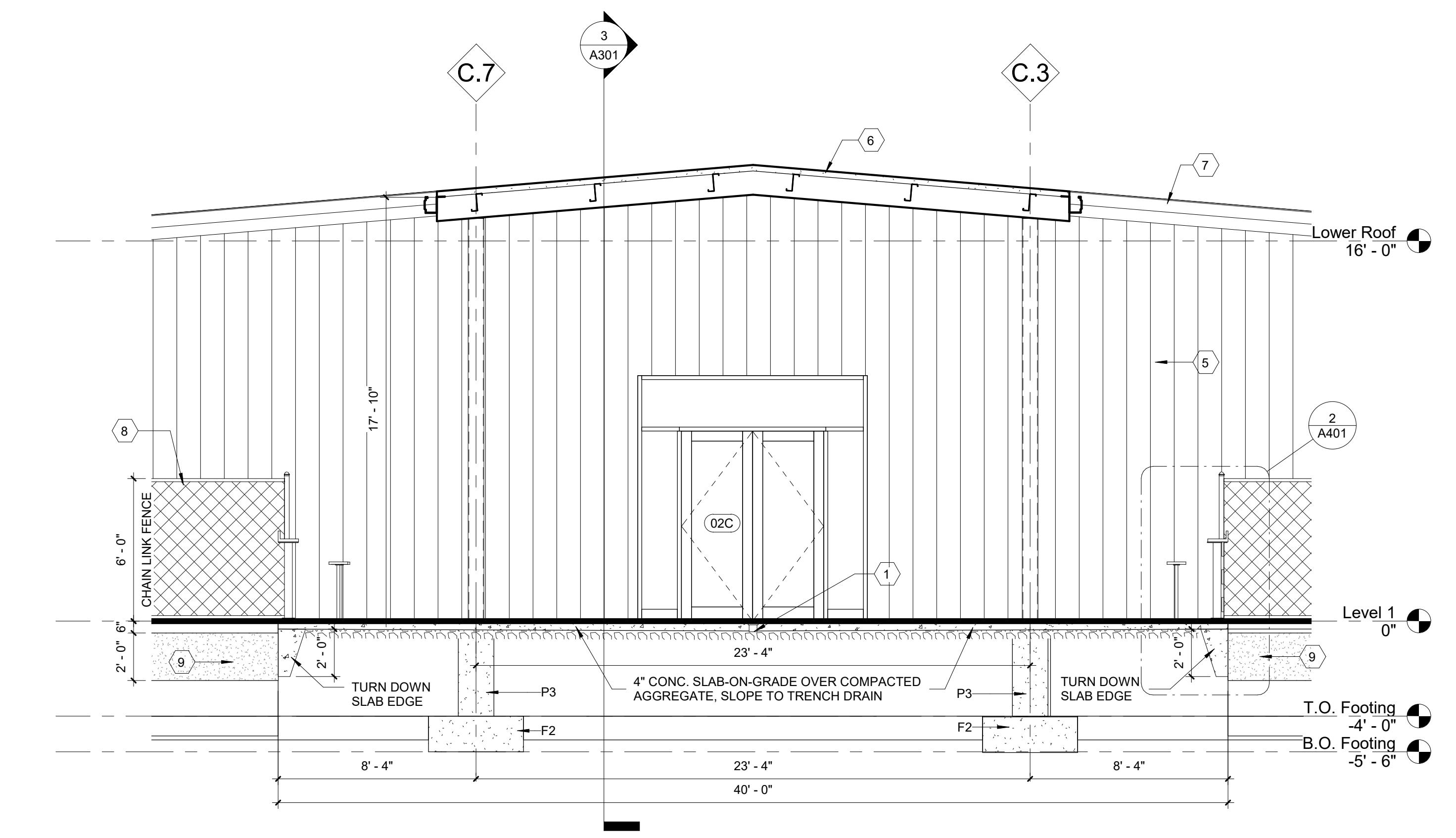
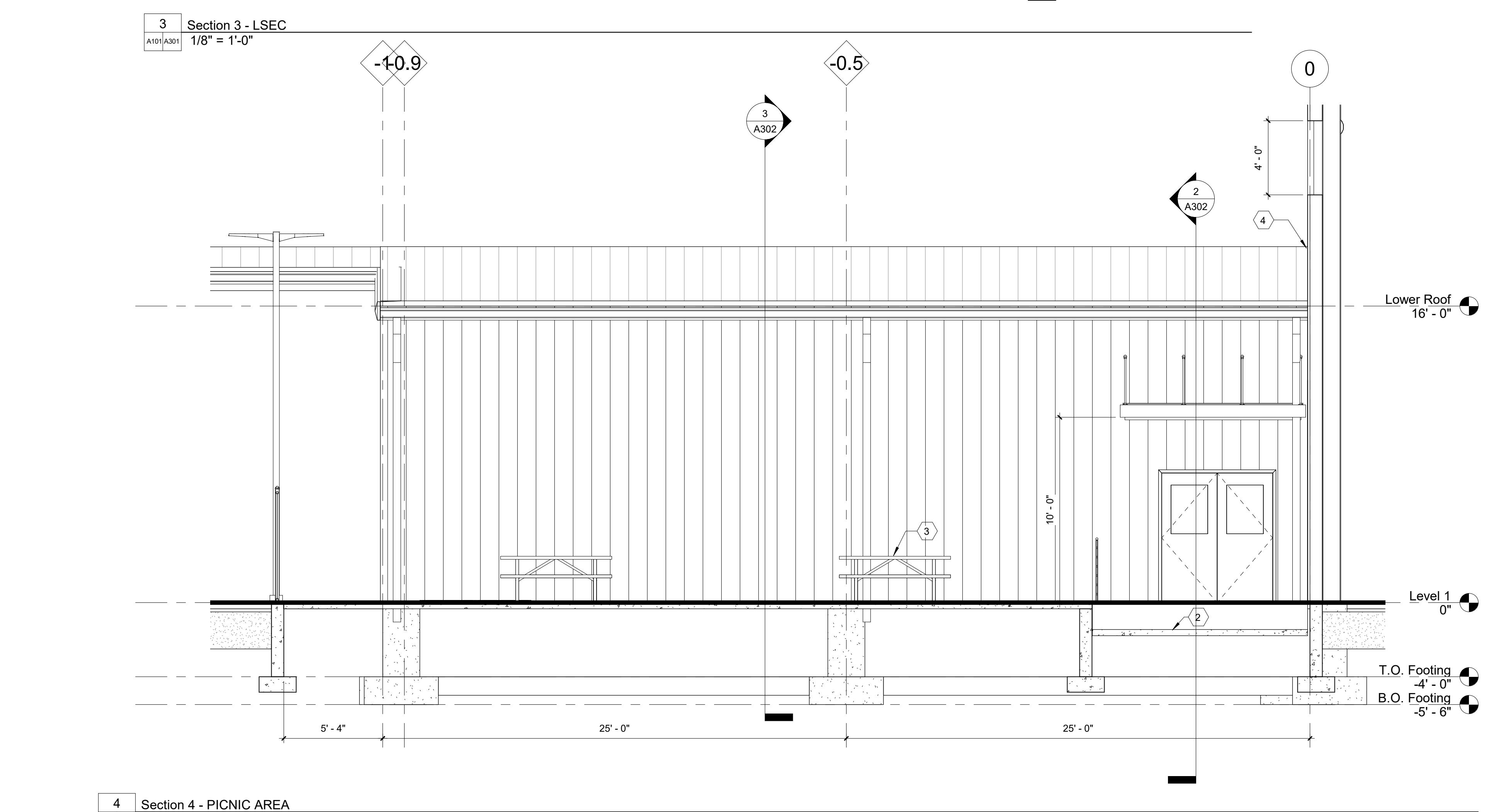
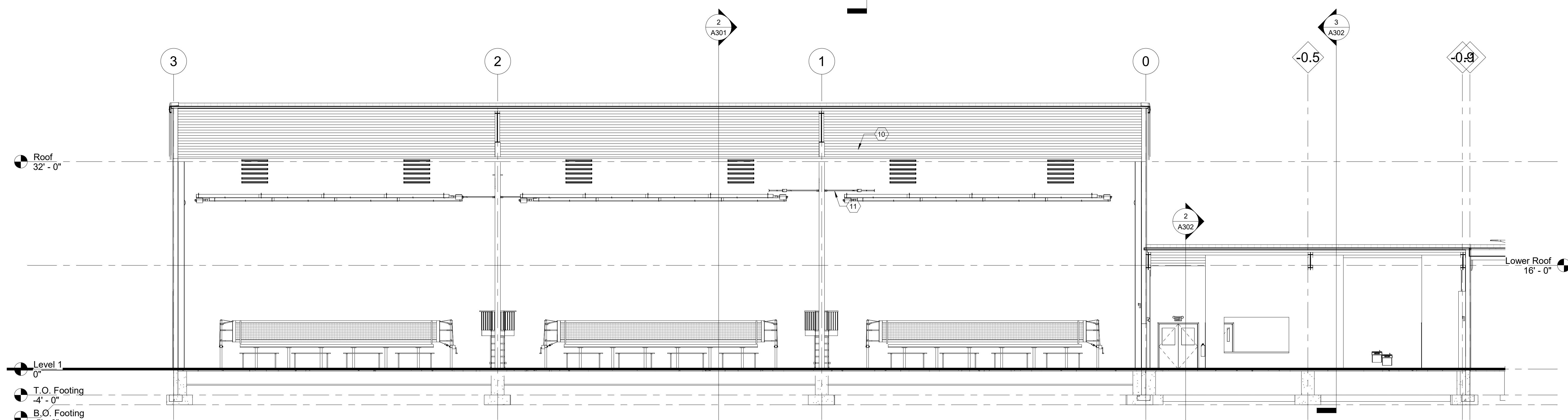
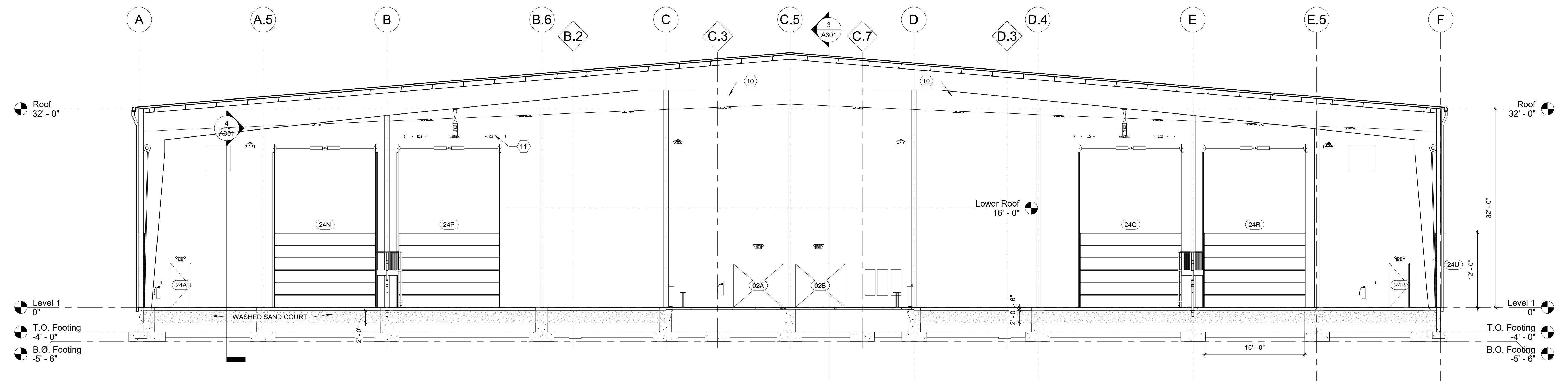


1 MISC. REVISIONS & CLARIFICATIONS FOR ZONING
REVISION SCHEDULE

PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:
CINCINNATI SAND VOLLEYBALL CLUB

508 ROUND BOTTOM RD.
MILFORD, OHIO 45150
CLERMONT COUNTY

EXTERIOR ELEVATIONS	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG
A201	
Copyright © 2023 BC3D Design. All rights reserved.	
6/9/2023 12:51:07 PM	
Scale 3/32" = 1'-0"	
PRELIMINARY FOR ZONING	



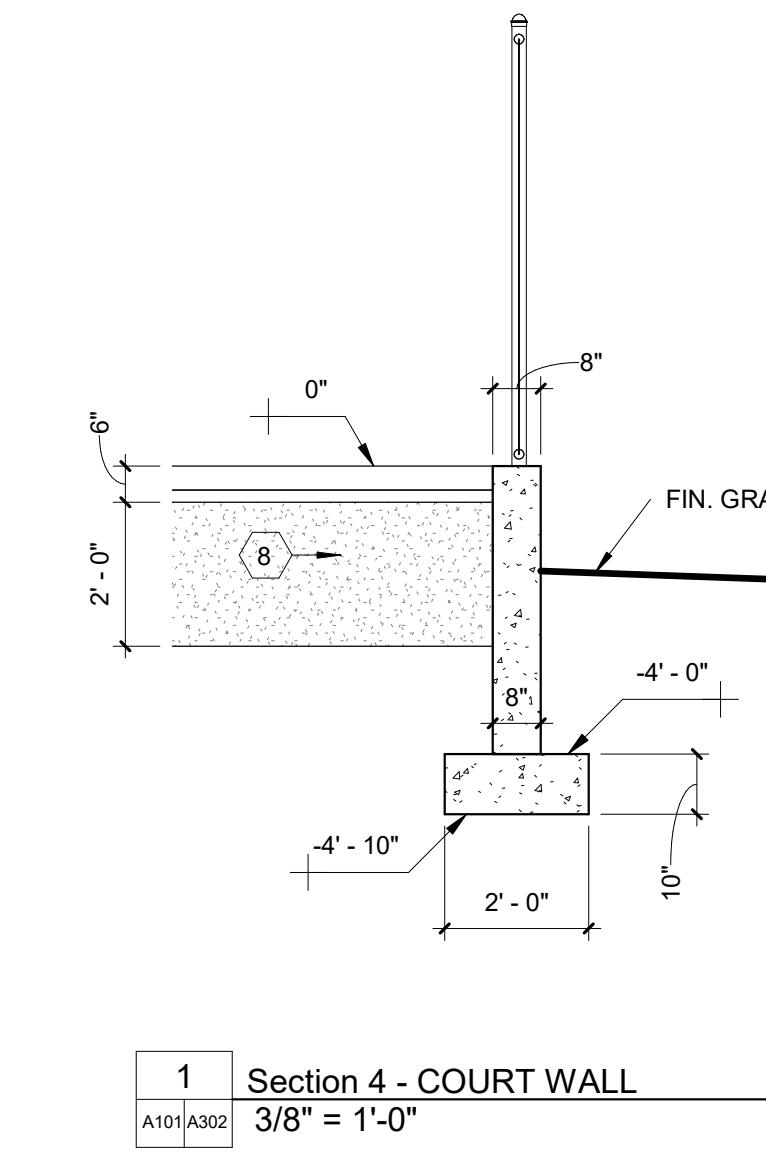
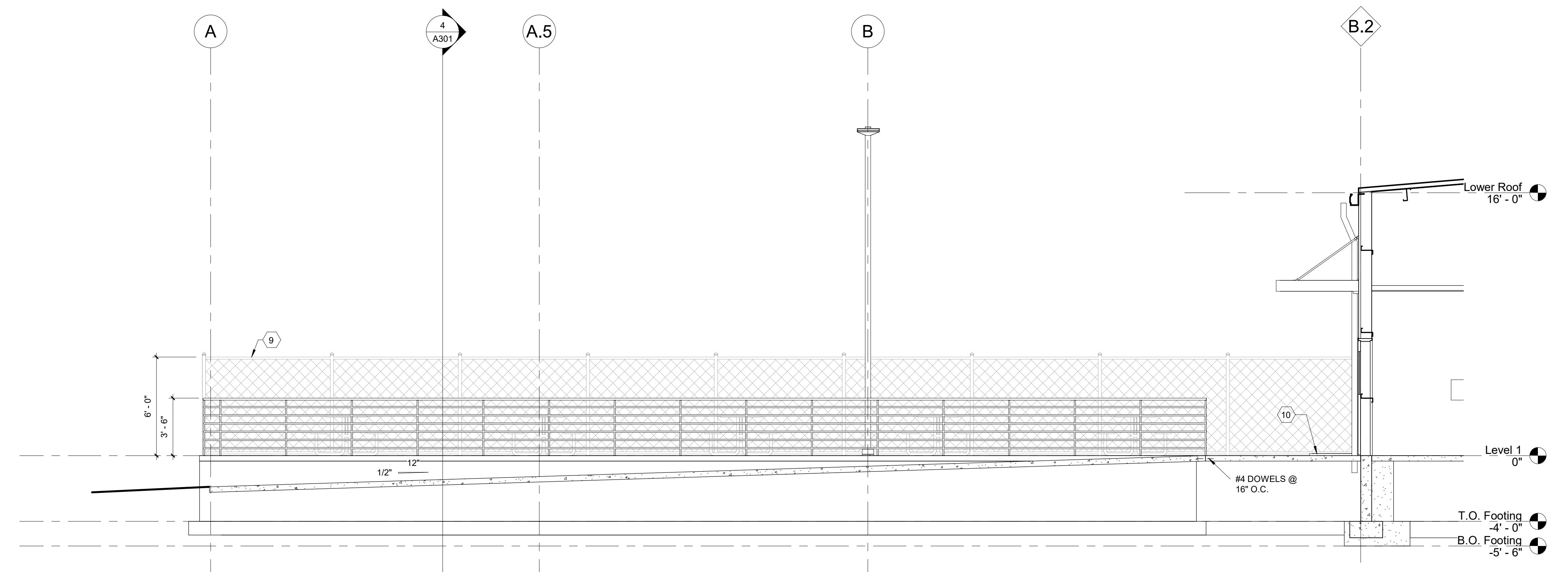
PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:
CINCINNATI SAND VOLLEYBALL CLUB

508 ROUND BOTTOM RD.
MILFORD, OHIO 45150
CLERMONT COUNTY

BUILDING CROSS SECTIONS	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG
A301	
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6/9/23 12:51:04 PM	
PRELIMINARY FOR ZONING	

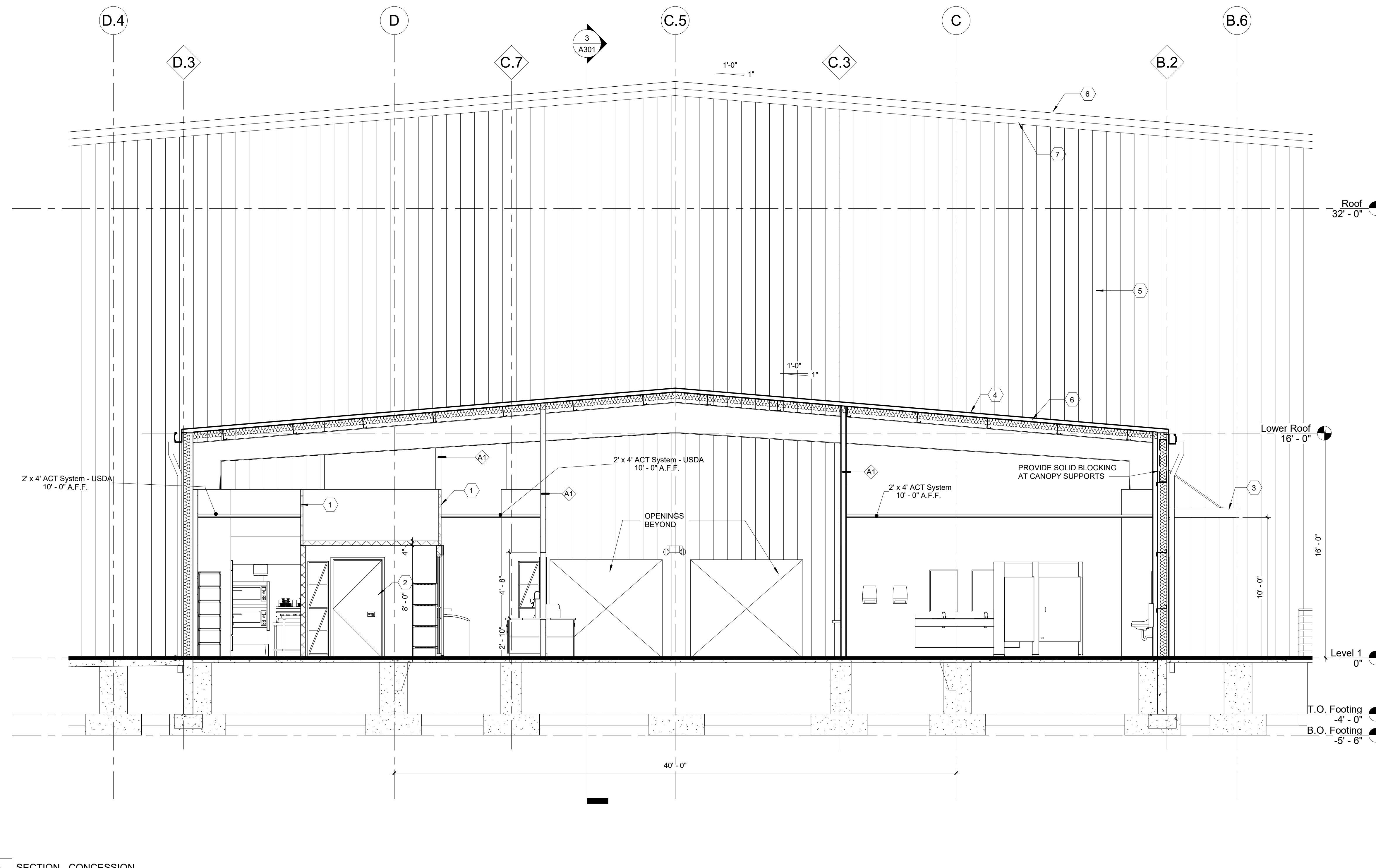


Keynote Legend	
Key	Value
1	GALV. METAL WALK-IN COOLER SKIRT / CEILING ATTACHMENT
2	GALV. WALK-IN COOLER DOOR
3	PRE-FAB ALUM ENTRANCE CANOPY WITH DIAG. ROD SUPPORTS
4	PRE-FIN 22 GA. ROOF-WALL FLASHING
5	26 GA. SHADOWRIB METAL WALL PANELS
6	24 GA. STANDING SEAM METAL ROOF PANELS
7	PRE-FIN PEMB RAKE
8	WASHED SAND 24" THICK OVER COMPAKTED EARTH
9	HIGH GUAGE WIRE FENCE
10	DEPRESSED PORTION OF SLAB FOR 3'X3' FOOT SHOWER; PROVIDE SAND TRAP BY PLUMBING CONTRACTOR



1 Section 4 - COURT WALL
A101/A302 3/8" = 1'-0"

2 Section 5 - ENTRY RAMP
A101/A302 1/4" = 1'-0"



3 SECTION - CONCESSION
A101/A302 1/4" = 1'-0"

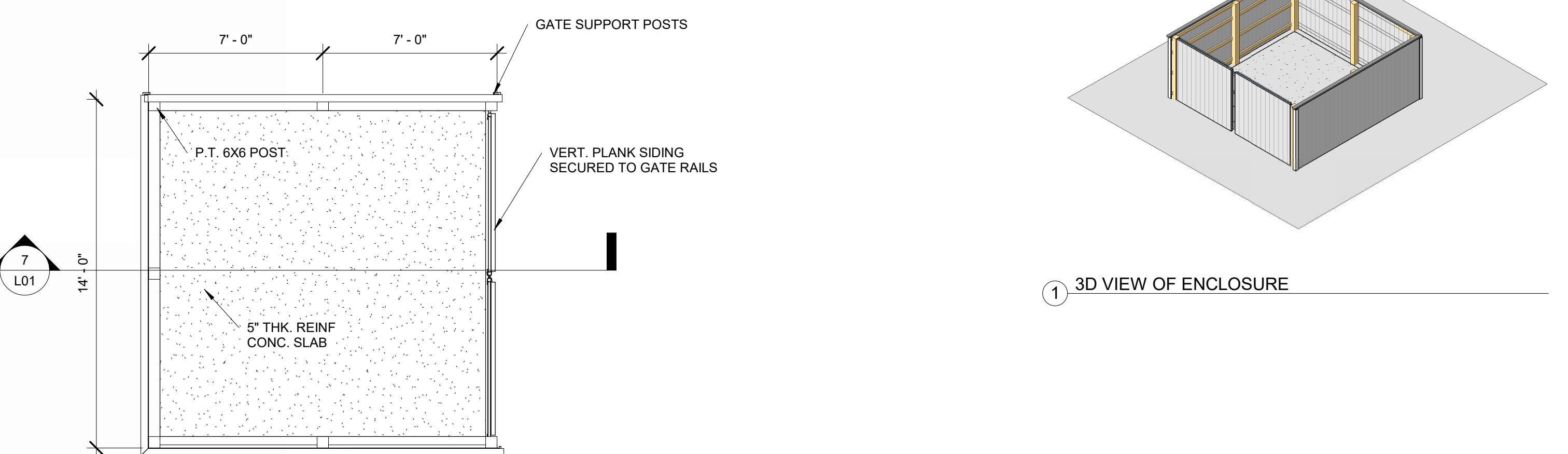
PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:
CINCINNATI SAND VOLLEYBALL CLUB

508 ROUND BOTTOM RD.
MILFORD, OHIO 45150
CLERMONT COUNTY

WALL SECTIONS	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG

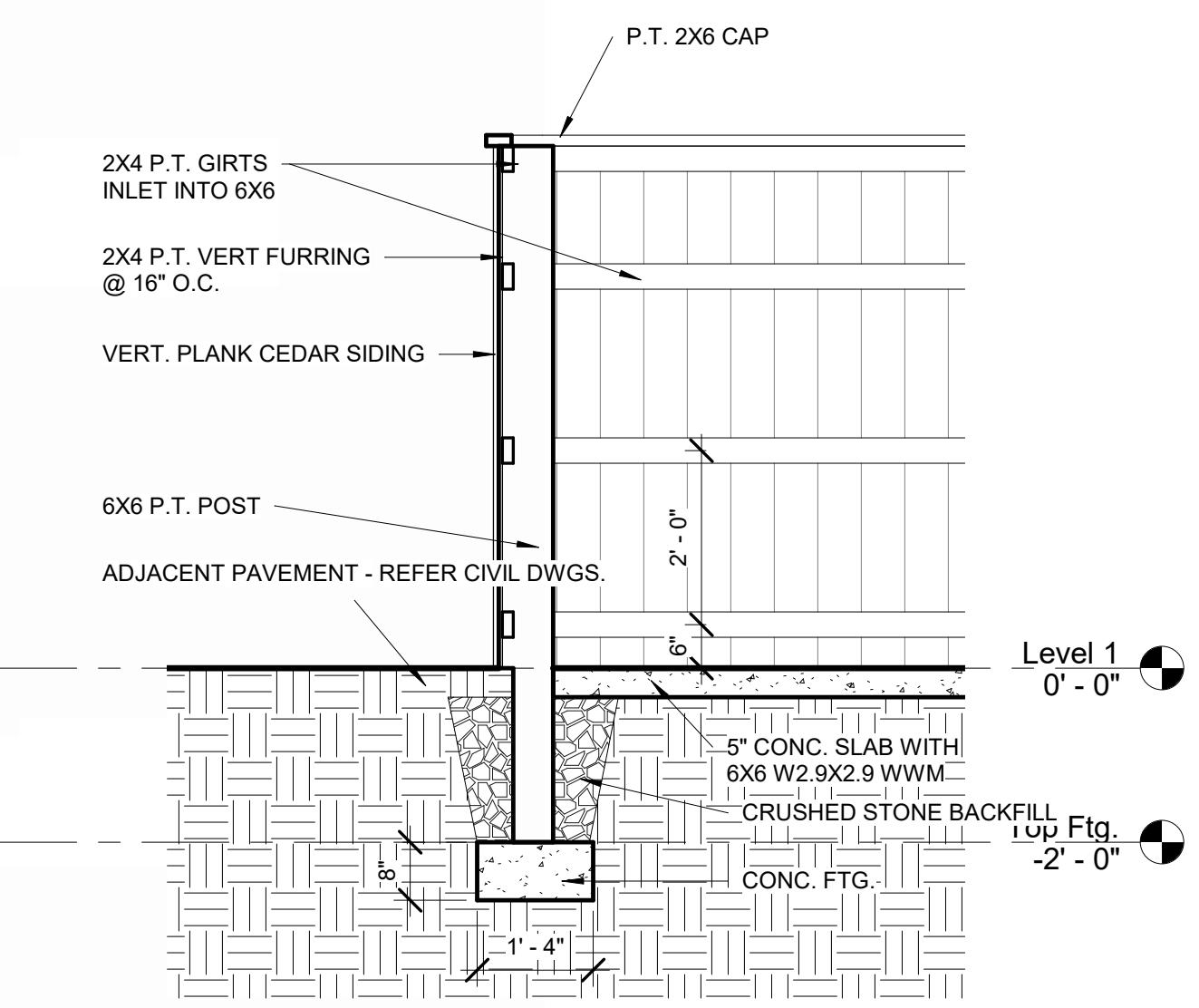
A302

Copyright © 2023 BC3D Design. All rights reserved.
6/9/2023 12:51:06 PM
Scale As indicated
PRELIMINARY FOR ZONING

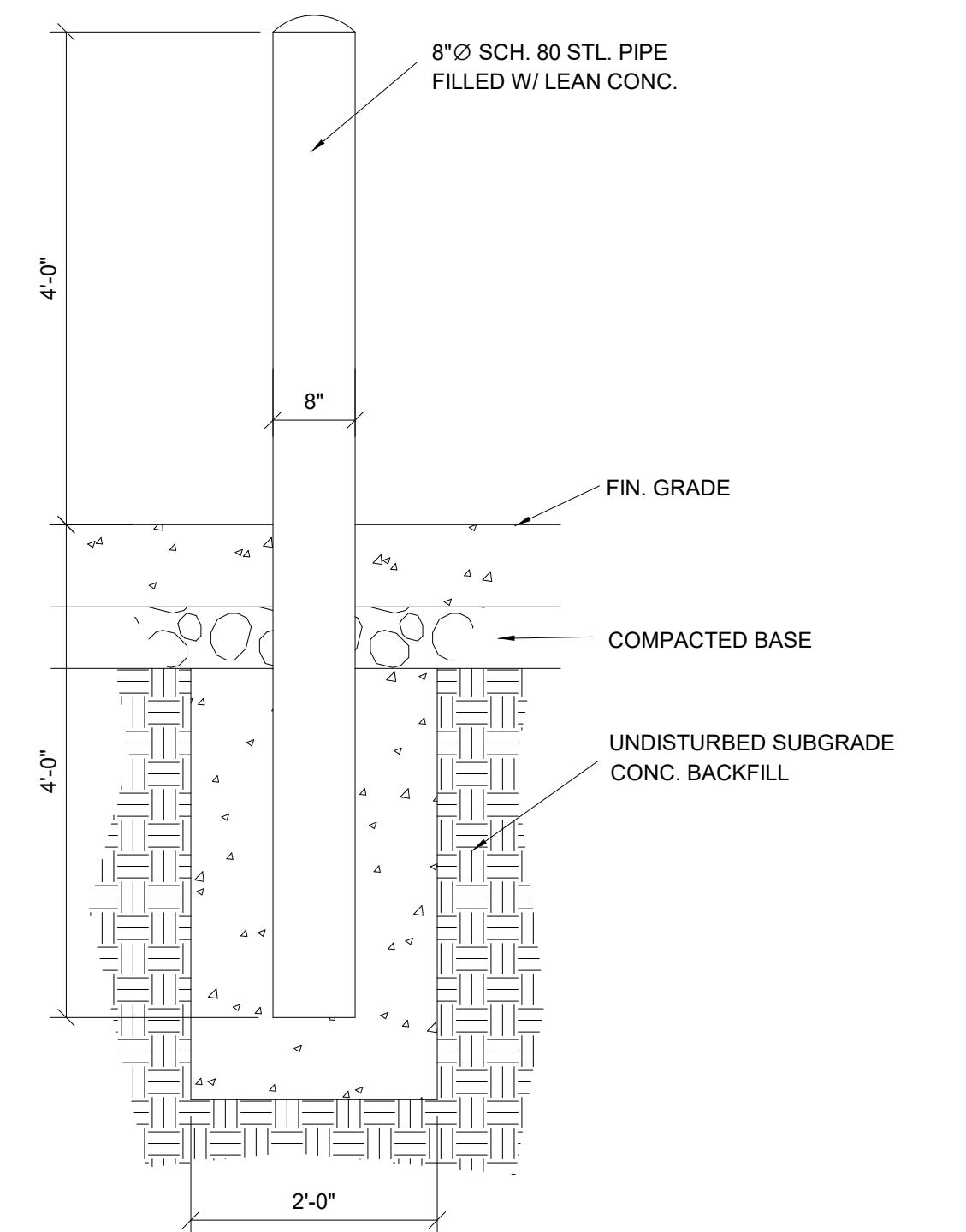


① 3D VIEW OF ENCLOSURE

② DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"

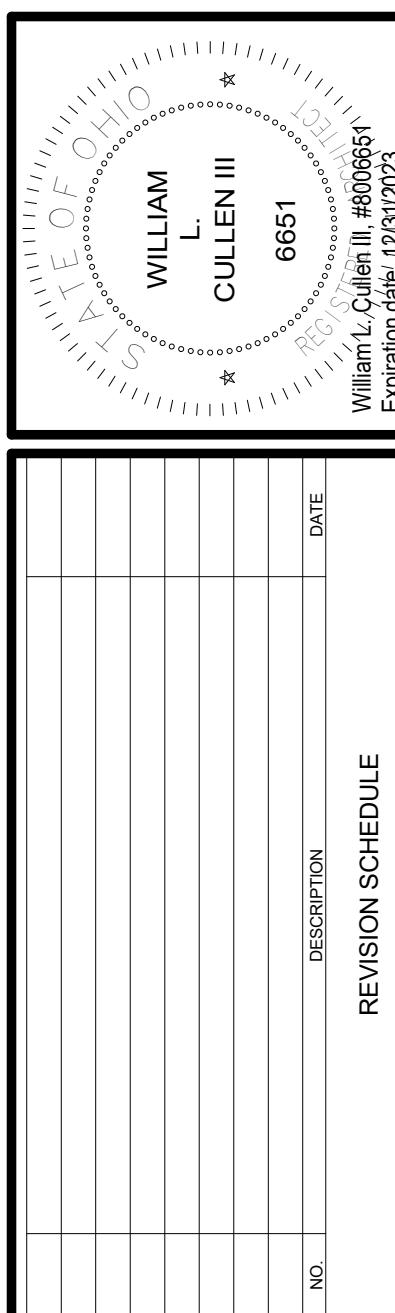


⑦ Section 1 - DUMPSTER
1/2" = 1'-0"



BUMP POST DETAIL

⑧ BUMP POST
3/4" = 1'-0"



PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:
CINCINNATI SAND VOLLEYBALL CLUB

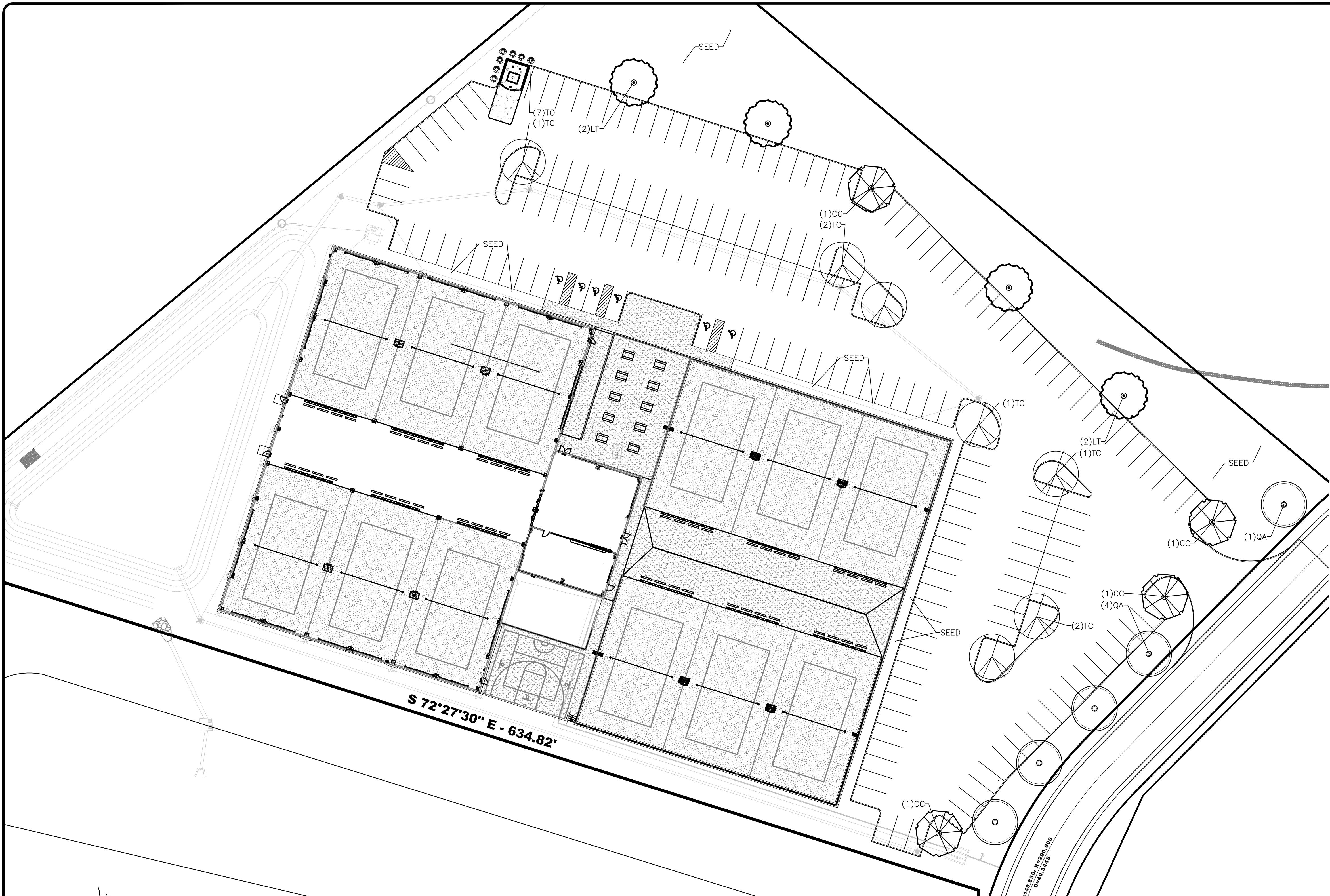
508 ROUND BOTTOM RD.
MILFORD, OHIO 45150
CLERMONT COUNTY
UNION TWP.

DUMPSTER ENCLOSURE	
Project number	2241
Issue Date	06/04/23
Drawn by	Author
Checked by	Checker
Scale	As indicated
L01	

L01

6/4/2023 9:47:07 AM

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LANDSCAPE NOTES:

- ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PLANTING BEDS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL AND TILL WITH LOOSED TOPSOIL. GRADE PLANTING BEDS TO A SMOOTH, UNIFORM GRADE.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC) ALL OF THE PLANT MATERIALS AND LANDSCAPE FOR THE PERIOD OF SPECIFIED.
- ANY PLANT MATERIAL WHICH IS DIScolored, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING.

PERMANENT SEEDING

- ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- TILL AREAS TO BE SEDED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PROTECT SEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH EROSION CONTROL FIBER MESH.
- PROTECT SEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1" OVER SEDED AREAS.

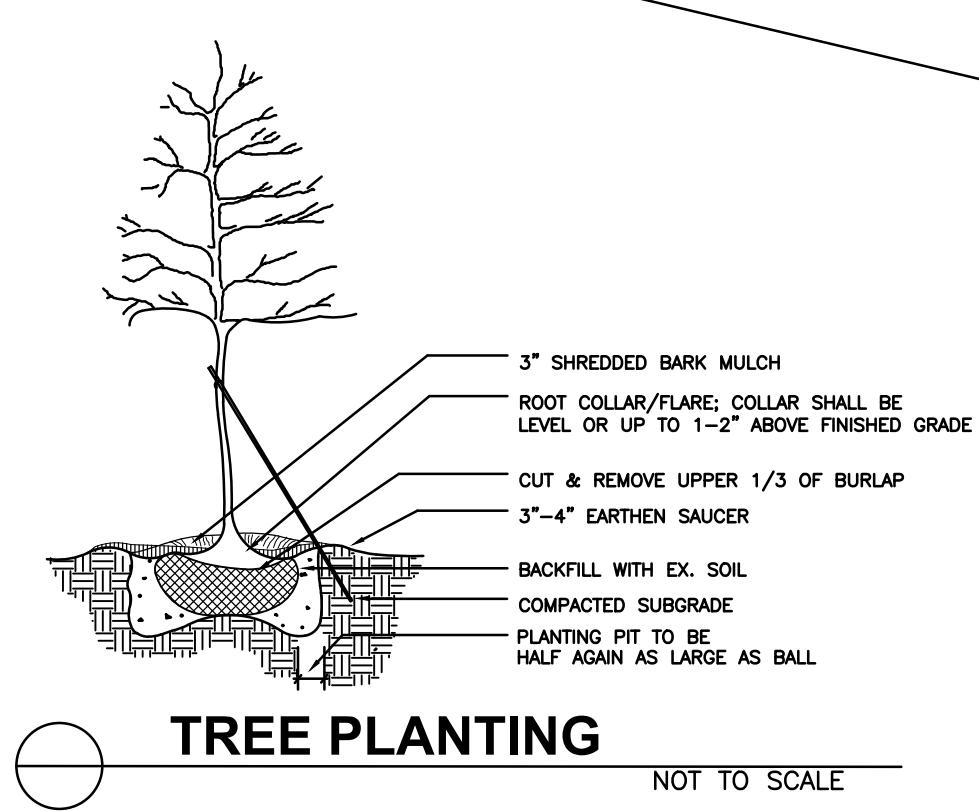
LANDSCAPE PLAN
CINCY SAND VOLLEYBALL
508 ROUND BOTTOM ROAD
UNION TWP., CLERMONT COUNTY, OH

2 **L** **A**
K

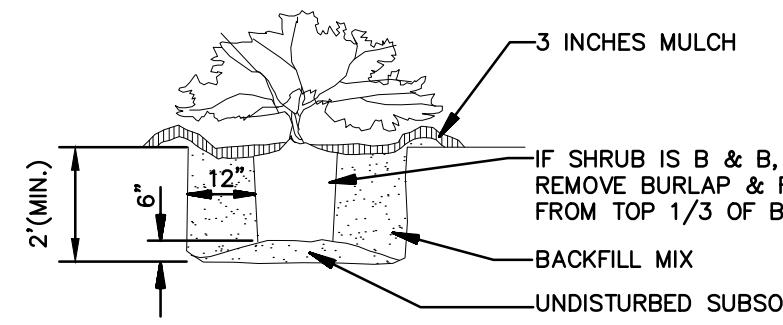
2K Landscape Architecture
3234 Harvest Avenue
Cincinnati, Ohio 45213
513.226.8072
www.2klandscapearchitecture.com

DATE:	JUNE 9, 2023
PROJECT NO.:	2023-23
DRAWN BY:	KTC

CHECKED BY: **KTC**
SCALE: 1" = 30'
SHEET: **L-1**



TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
CANOPY TREES						
CC	4	<i>Carpinus caroliniana</i>	American Hornbeam	2.0" cal.	B&B	Straight Central Leader
LT	4	<i>Liriodendron tulipifera</i>	Tulip Tree	2.0" cal.	B&B	Straight Central Leader
QA	5	<i>Quercus alba</i>	White Oak	2.0" cal.	B&B	Straight Central Leader
TC	7	<i>Tilia cordata 'Greenspire'</i>	Greenspire Littleleaf Linden	2.0" cal.	B&B	Straight Central Leader
SHRUBS						
TO	7	<i>Thuja occidentalis 'Emerald'</i>	Emerald Green Arborvitae	4' ht.	B&B	

GRAPHIC SCALE IN FEET
30 15 0 30 60 90
1 INCH = 30 FEET

UNDERGROUND UTILITIES
TWO WORKING DAYS
BEFORE YOU DIG
CALL 1-800-362-2764 (TOLL FREE)
OHIO UTILITIES PROTECTION SERVICE

SURVEYOR'S NOTES

1) Pertinent Documents and Sources of Data Used:

O.R. BOOK 1872, Pg. 562 O.R. BOOK 2421, Pg. 2073
S.R. TL79-110, S.R. TL79-148, S.R. TL89-109
S.R. TL95-110
GORMAN COMMERCE PARK
PLAT CABINET 10, PAGE 253
PLAT CABINET 11, PAGE 59
PLAT CABINET 12, PAGE 240

2) This plat is a result of a present field survey.

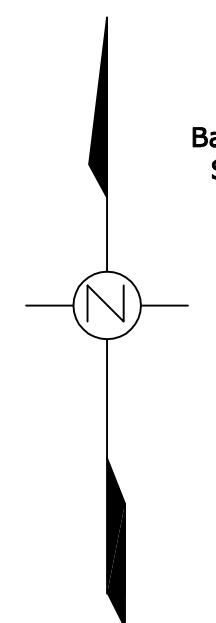
3) In general, the property matches adjacent properties and survey records.

4) Monumentation set as shown.

LEGEND

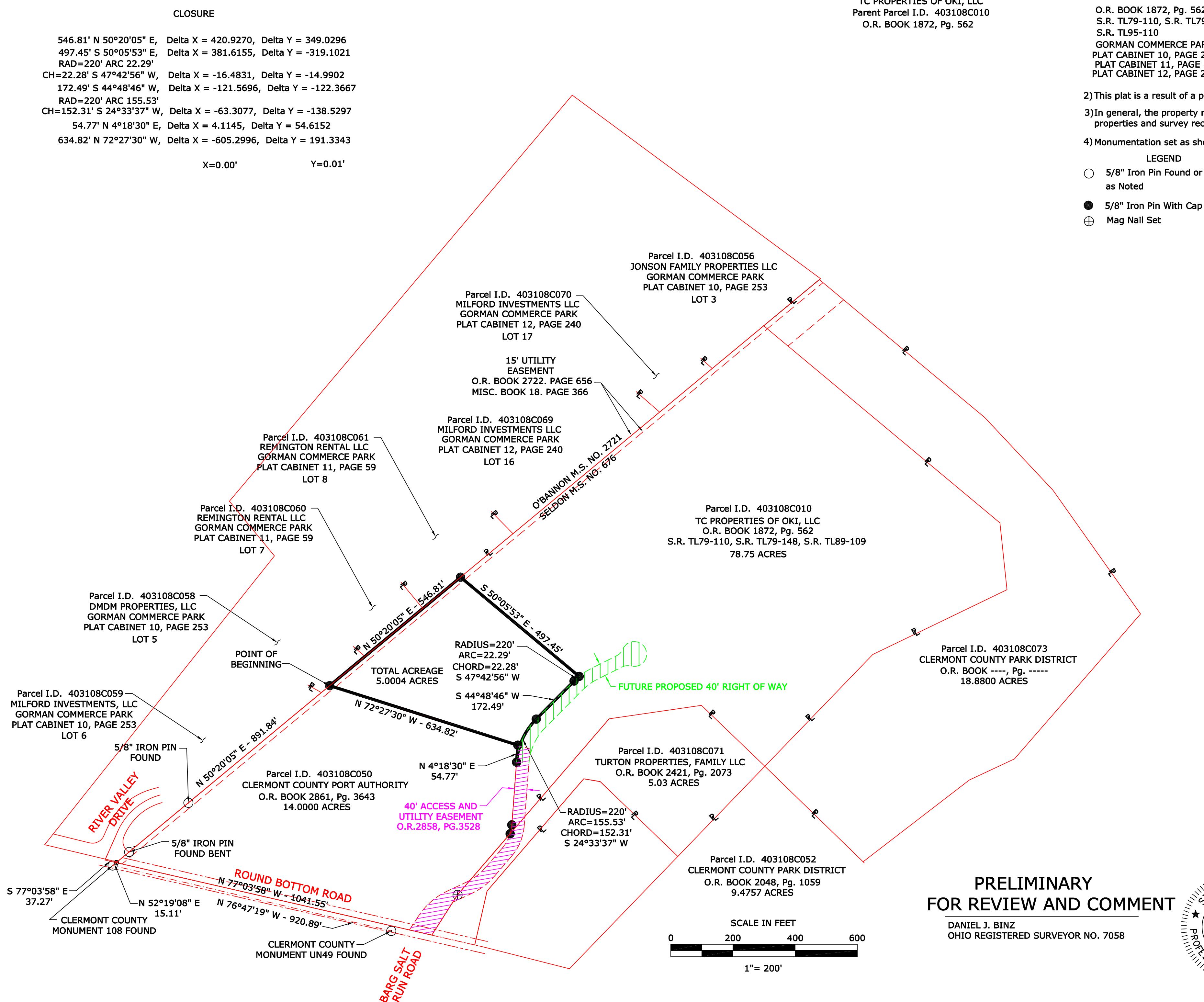
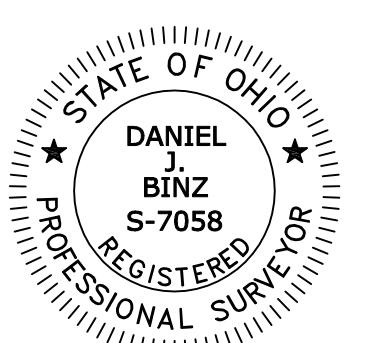
- 5/8" Iron Pin Found or as Noted
- 5/8" Iron Pin With Cap Set
- ⊕ Mag Nail Set

Basis of Bearing
S.R. TL79-110



PRELIMINARY
FOR REVIEW AND COMMENT

DANIEL J. BINZ
OHIO REGISTERED SURVEYOR NO. 7058



GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF UNION TWP. SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ROUND BOTTOM RD., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM UNION TWP.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL, PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE ([HTTP://WWW.AGRI.OHIO.GOV/EAB/](http://WWW.AGRI.OHIO.GOV/EAB/)).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPAKTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS, (SEE DETAIL SHEET). DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL:

SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL

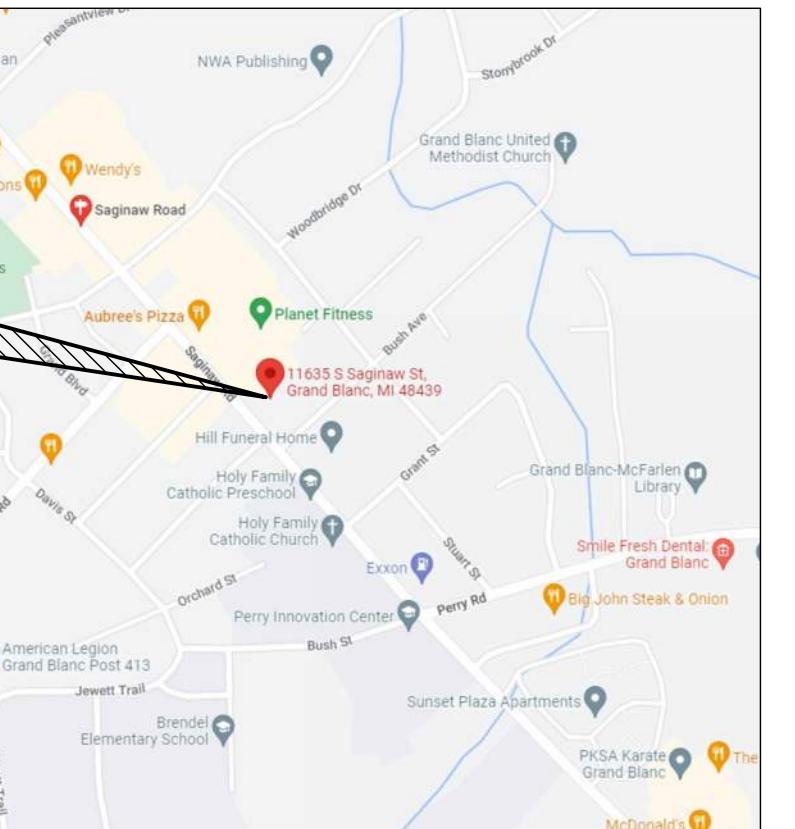
PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING KNOWN AS:

CINCI SAND VOLLEYBALL

ROUND BOTTOM RD., CLERMONT COUNTY, OHIO

APRIL, 2023

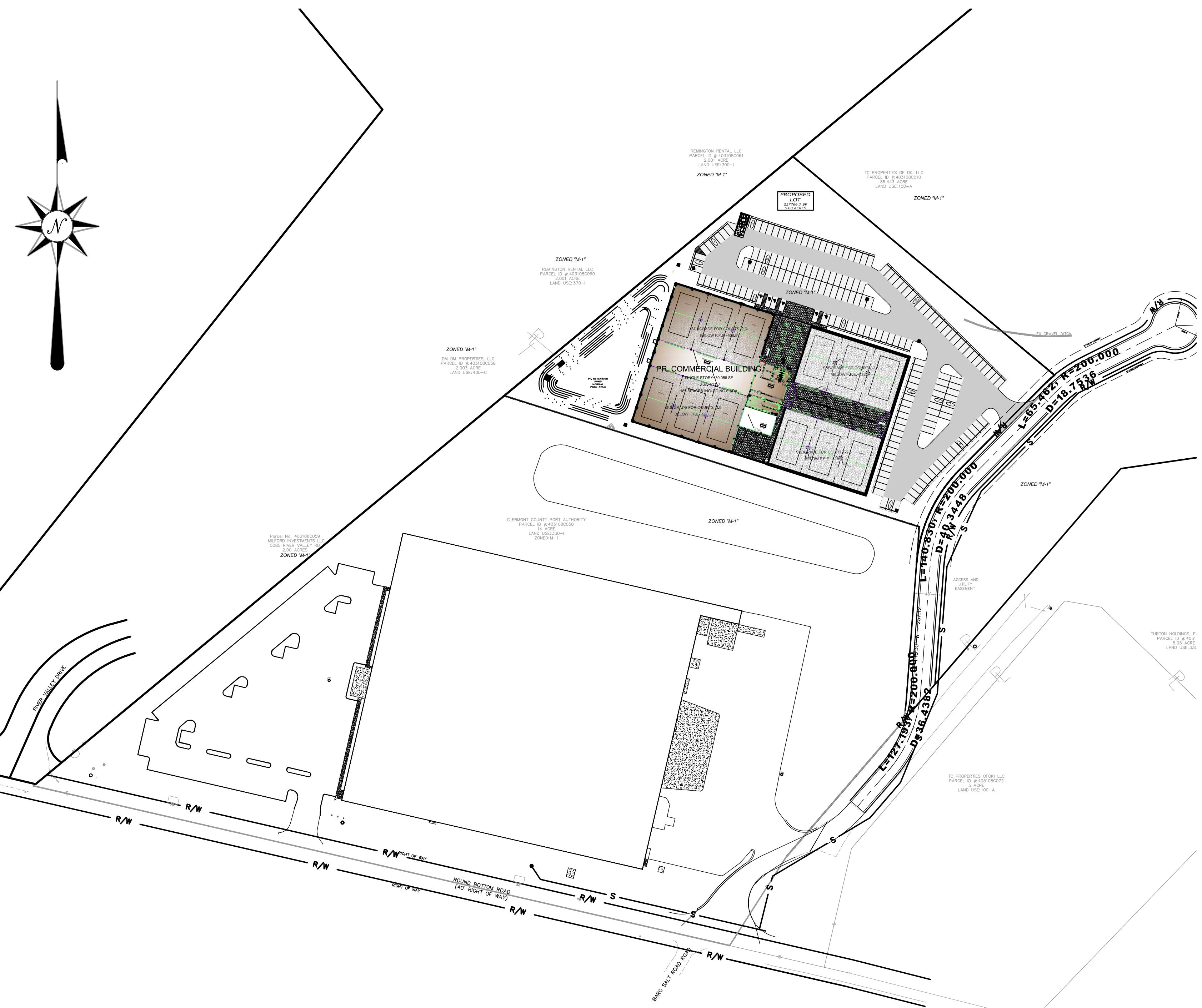
PROPOSED SITE



LOCATION MAP

PRELIMINARY
NOT FOR CONSTRUCTION

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



DEPARTMENT/UTILITY TABLE:

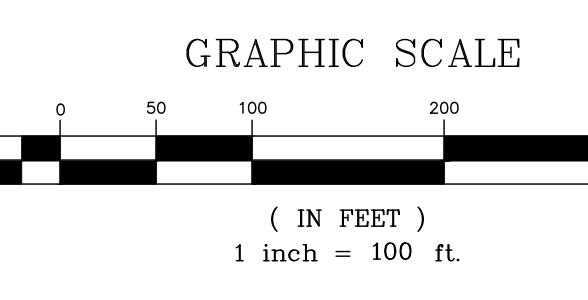
UNION TOWNSHIP PLANNING &
ZONING DEPARTMENT
4350 AICHLTZ ROAD
CINCINNATI, OH 45245
TEL: (513)-753-2300

CLERMONT COUNTY ENGINEER
2381 CLERMONT CENTER DR.
BATAVIA, OH 45103
TEL: (513)-732-8857

DUKE ENERGY (GAS & ELECTRIC)
2381 CLERMONT CENTER DR.
BATAVIA, OH 45103
TEL: 513-287-5631

CLERMONT COUNTY BUILDING DEPT
2275 BAUER RD.
BATAVIA, OH 45103
TEL: 513-732-7213

CLERMONT COUNTY WATER/SEWER
4400 HASKELL LN.
BATAVIA, OH 45103
TEL: (513)-732-8864



OWNER:

TC PROPERTIES OF OKI LLC
508 ROUND BOTTOM RD.
UNION TWP., OH 45150

CIVIL ENGINEERING:

EVANS ENGINEERING
4240 AIRPORT RD., SUITE 211
CINCINNATI, OH 45226
(513)-321-2168
JONATHAN R. EVANS, P.E.

SURVEYING:

BINZ SURVEYING, LLC
6547 BROOKS RD.
HARRISON, OHIO 45030
(513)-202-0525
DANIEL BINZ

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-3 SITE DIMENSION PLAN
- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-5 STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
- C-5.1 SWPPP NOTES & DETAILS

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB-2-2A, 2-2B, 2-2C (7-16-2021) CATCH BASINS NOS 2-2A, B & C
- CB-2-3, 2-4 (7-16-2021) CATCH BASINS NO's 2-3 & 2-4
- CB-2-5, 2-6 (7-16-2021) CATCH BASINS NO's 2-5 & 2-6
- CB 3 (7-16-2021) CATCH BASIN NO. 3
- CB 3A (7-16-2021) CATCH BASIN NO. 3A
- MH 3 (7-16-2021) MANHOLE NO. 3
- BP-7.1 (7-17-2020) NEW CURB RAMPS
- HW-2.1 (7-20-2020) HALF-HEIGHT HEADWALLS

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CONSTRUCT SITE CONSTRUCTION ENTRANCE
2. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
4. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
5. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
6. INSTALL STORMWATER MANAGEMENT SYSTEMS.
7. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
8. SITE CONSTRUCTION.
9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

CINCI SAND VOLLEYBALL
ROUND BOTTOM RD.,
UNION TWP., CLERMONT COUNTY, OHIO

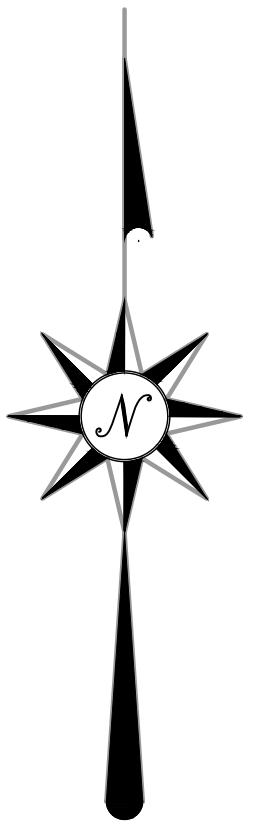
C-1

SCALE: HORIZ. VERT.
1"=100' N/A

JOB NO. 23-104
DATE Jun. 9, 2023

SHEET NO.





REMINGTON RENTAL LLC
PARCEL ID #: 403108C0
2.001 ACRE
LAND USE: 300-I

ZONED

TC PROPERTIES OF OKI LLC
PARCEL ID #: 403108C010
36.443 ACRE
LAND USE:100-A

ZONED "M-1"

ZONED "M-1"

REMINGTON RENTAL LLC
PARCEL ID #: 403108C060
2.001 ACRE
LAND USE: 370-I

PROPERTIES, LLC
ID: 403108C058
0.0000 ACRE
SECTION: 400-C
INV. 6"=525.94

CLERMONT COUNTY PORT AUTHORITY
PARCEL ID #: 403108C050
14 ACRE
LAND USE: 330-1
ZONED: M-1

ZONED "M-

INV

S 72°27'30" E - 63.

ZONED "M-

A technical diagram of a bridge deck. The deck is represented by a large rectangle divided into two main sections by a diagonal line. The section on the left is further divided into two smaller rectangles. A vertical line labeled 'CB' represents a central bearing, positioned at the junction of the diagonal and the top edge of the deck. A dashed line extends from the central bearing towards the bottom right, indicating the longitudinal axis of the bridge.

ASPECT GRAPHIC SCALE

40 0 20 40 80

(IN FEET)

1 inch = 40 ft

EXISTING CONDITION NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "M-1". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE UNION TWP. ZONING DEPARTMENT.
2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.
3. PER FLOOD INSURANCE RATE MAP NUMBER 39025C0119G AND 39025C0138G EFFECTIVE 03/16/2006, THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" NEAR FLOOD ZONE AE (526 FT). ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD.
4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.
6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-KIND.
7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE PROPERTY.
11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

LEGEND-PROP. FEATURES



REMOVE PAVEMENT/CONCRETE

EXISTING CONDITIONS & DEMO PLAN

CINCINNATI VOLLEYBALL

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168

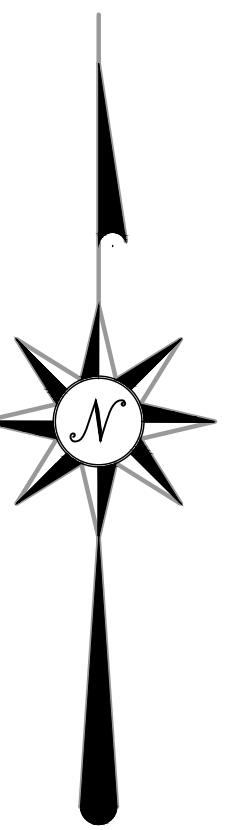


LE:	HORIZ.	VI
	1"=40'	N/

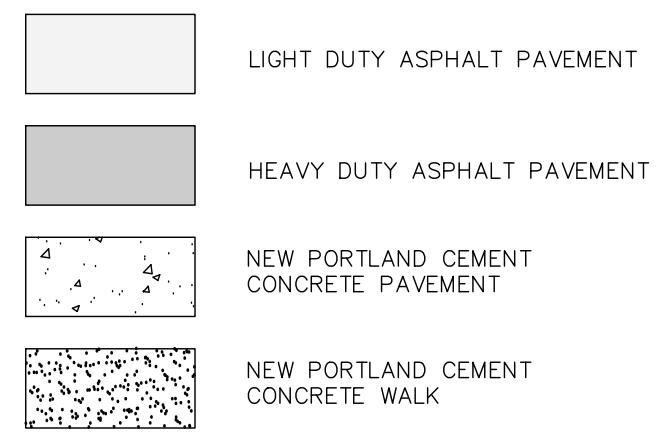
NO. 23-104

SHEET NO

6



LEGEND-PROP. FEATURES



SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE PAVEMENT.

PARKING TABLE:

PROPOSED PARKING = 183
ADA ACCESSIBLE = 6
TOTAL PARKING = 189 SPACES (MIN. 9' X 18')

IMPERVIOUS SURFACE RATIO:
LOT SIZE = 217,767 SF (5.0 ACRES)
IMPERVIOUS AREA = 142,144 SF
PERVIOUS AREA = 75,623 SF
ISR = 0.65

ZONED "M-1"
REMINGTON RENTAL LLC
PARCEL ID #: 403108C060
2.001 ACRE
LAND USE: 370-I

ZONED "M-1"
DM DM PROPERTIES, LLC
PARCEL ID #: 403108C058
2.003 ACRE
LAND USE: 400-C

GRAPHIC SCALE
CLERMONT COUNTY PORT AUTHORITY
PARCEL ID #: 403108C060
LAND (IN FEET) 30-1
1 inch = 30 ft.
ZONED: M-1

REMINGTON RENTAL LLC
PARCEL ID #: 403108C061
2.001 ACRE
LAND USE: 300-I

ZONED "M-1"

PROPOSED
LOT
217766.7 SF
5.00 ACRES

TC PROPERTIES OF OKI LLC
PARCEL ID #: 403108C010
36.443 ACRE
LAND USE: 100-A

ZONED "M-1"

ZONED "M-1"

PR. COMMERCIAL BUILDING

SINGLE STORY-30,058 SF

F.F.E.=531.0'

189 SPACES INCLUDING 6 ADA

SUBGRADE FOR COURTS 2.5'

BELOW F.F.E.-528.5'

SUBGRADE FOR COURTS 2.5'



UTILITY NOTES:

- CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BINZ SURVEYING.
- ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
- FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL PLANS PRIOR TO STARTING CONSTRUCTION.
- THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
- IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
- SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
- COORDINATE WITH CLERMONT COUNTY FOR BUILDING SEWER AND WATER TAPS.
- ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
- SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
- A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
- SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ETC. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
- SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
- DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0' MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
- WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
- ALL DOMESTIC WATER PIPE SHALL BE TYPE K COPPER.
- SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
- CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS
- GAS SERVICE TO BE INSTALLED BY DUKE ENERGY, FROM MAIN TO METER SETTING. IF CONTRACTOR ELECTS TO PAVE OR COVER AREA BEFORE SERVICE INSTALLED, CONTRACTOR SHALL INSTALL 4" OR 6" PVC WITH PULL STRING SO DUKE CAN PULL LINE THROUGH CONDUIT. COORDINATE WITH DUKE ENERGY BEFORE COMMENCING WORK.

LEGEND-PROP. FEATURES

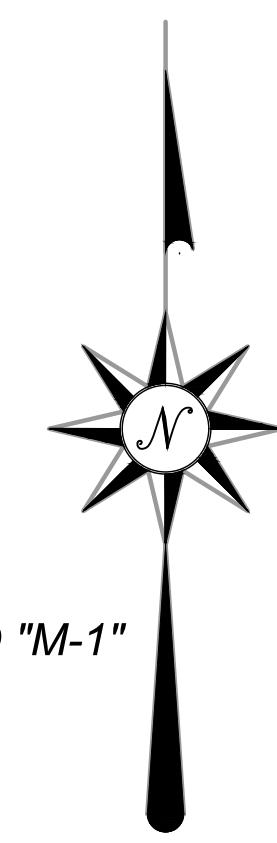
W PROPOSED DOMESTIC WATER SERVICE (1.5" METER-INSIDE BUILDING, 2" LINE, TYPE K COPPER)
 SS PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 2.00% MIN.
 E PROPOSED UNDERGROUND ELECTRIC SERVICE
 G PROPOSED GAS SERVICE (SIZE TBD BY USE)
 DS -PR. DOWNSPOUT
 RD -PR. 6" SDR 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

REMINGTON RENTAL LLC
PARCEL ID #: 403108C061
2.001 ACRE
LAND USE: 300-1

ZONED "M-1"

TC PROPERTIES OF OKI LLC
PARCEL ID #: 403108C010
36.443 ACRE
LAND USE: 100-A

ZONED "M-1"



PROPOSED
LOT
217766.7 SF
5.00 ACRES

ZONED "M-1"

INGTON RENTAL LLC
PARCEL ID #: 403108C060
2.001 ACRE
LAND USE: 370-1

ZONED "M-1"

2.003 ACRE
LAND USE: 400-C

INV. 6"=525.94
10.21"-12" HDPE @ 8.67%
14.44"-12" HDPE @ 1.04%

INV. 24"=527.76

PR. COMMERCIAL BUILDING

SINGLE STORY-30,058 SF

F.F.E.=531.0'

189 SPACES INCLUDING 6 ADA

SUBGRADE FOR COURTS -2.5'

BELLOW F.F.E.-528.5'

SUBGRADE FOR COURTS -2.5'

GRADING LEGEND

TC=TOP OF CURB ELEVATION
P=FINISHED GRADE (PAVEMENT)
F=FINISHED GRADE
TW=TOP OF WALL
BW=BOTTOM OF WALL

B/C=EXISTING BACK OF CURB GRADE
B/W=EXISTING BACK OF WALL GRADE
EX.=EXISTING GRADE

SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.

TOPSOIL ~" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.

CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

CONTOUR LEGEND:

--- EX. CONTOUR
— PR. CONTOUR (MAJOR)
— PR. CONTOUR (MINOR)

EVANS ENGINEERING
4240 AIRPORT ROAD, SUITE 211
CINCINNATI, OHIO 45226
(513) 321-2168



CINCI SAND VOLLEYBALL
GRADING PLAN
ROUND BOTTOM RD.
UNION TWP., CLERMONT COUNTY, OHIO

ROUND BOTTOM RD.

UNION TWP., CLERMONT COUNTY, OHIO

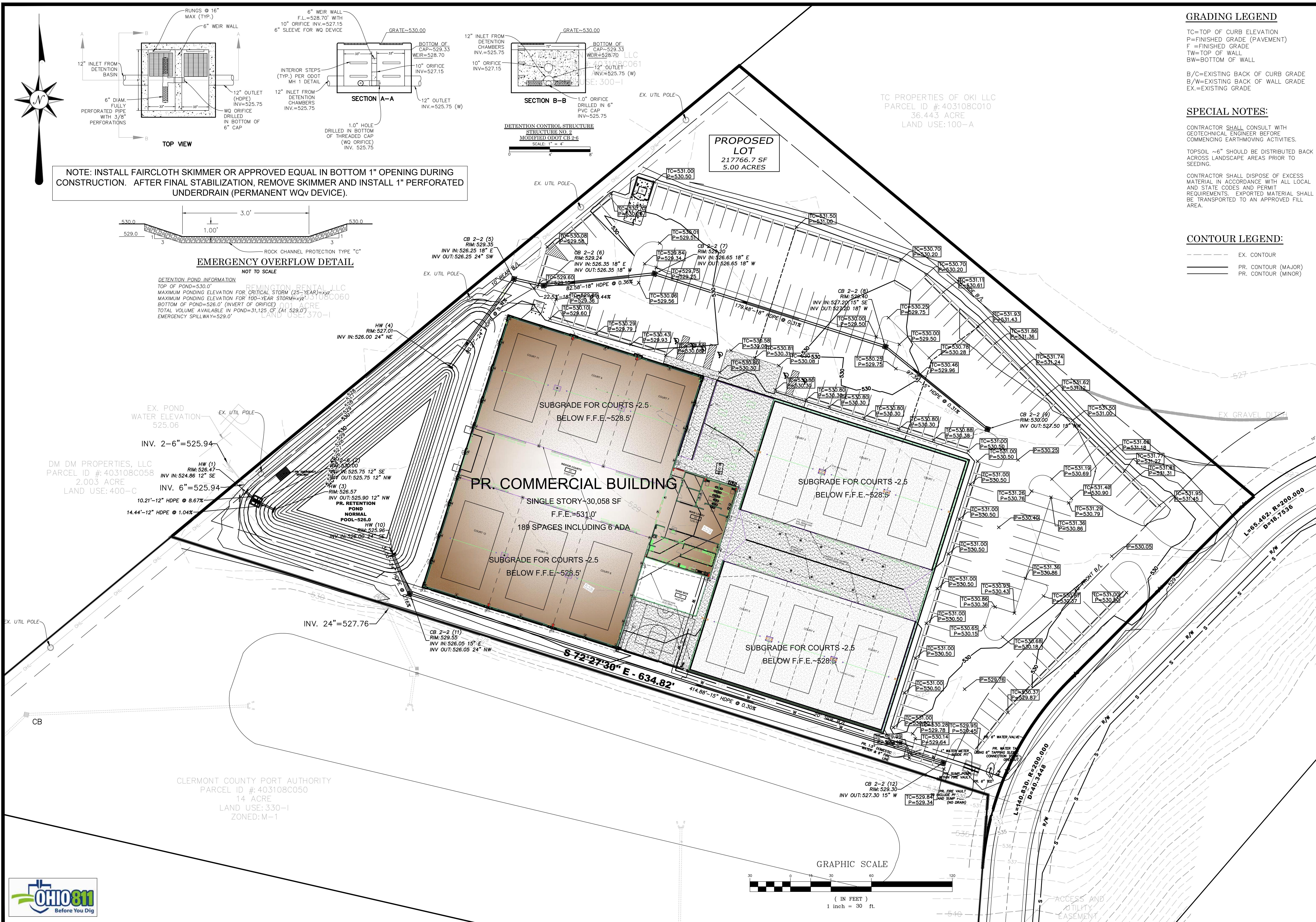
SCALE: HORIZ. VERT.
1"=30' N/A

JOB NO. 23-104

DATE Jun. 9, 2023

SHEET NO.

C-4





SITE NOTES:

PROJECT CONSISTS OF DEVELOPING A NEW COMMERCIAL BUILDING IN UNION TWP., OHIO.

TOTAL SITE AREA=5.0 ACRES
DISTURBED AREA=4.5 ACRES

PRE-DEVELOPMENT RUN-OFF COEFFICIENT C=0.3
(CALCULATED)
POST-DEVELOPMENT RUNOFF COEFFICIENT C=0.7
(CALCULATED)

SOIL TYPES ARE: SEE GEOTECHNICAL REPORT FOR DETAILED EVALUATION OF SOIL TYPES. COMMONLY, THE SOILS CONSIST OF HETEROGENEOUS MIXTURE OF CLAY, SILT, SAND AND SOME GRAVEL WITH SCATTERED COBBLES AND BOULDERS.

PRIOR & EXISTING USE: THE CURRENT USE OF THE PROPERTY IS VACANT COMMERCIAL GROUND.

CONSTRUCTION SCHEDULE: SEE SEQUENCE & CONTRACTOR'S SCHEDULE.

RECEIVING STREAM: EAST FORK LITTLE MIAMI RIVER

EROSION CONTROL LEGEND

	SILT FENCE
	D.B. DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER
	CONSTRUCTION ENTRANCE
	C.W.O. CONCRETE WASHOUT

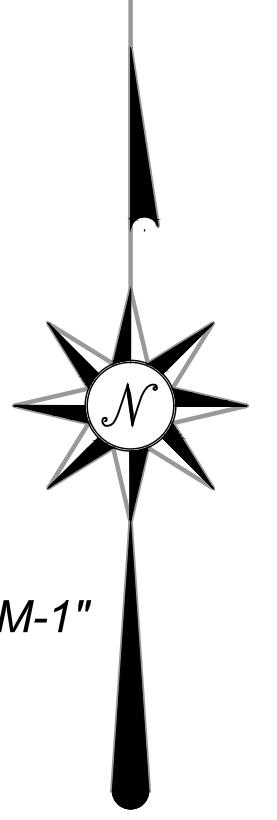
REMINGTON RENTAL LLC
PARCEL ID #: 403108C061
2.001 ACRE
LAND USE: 300-I

ZONED "M-1"

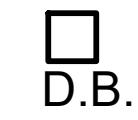
PROPOSED
LOT
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LAND USE: 100-A

ZONED "M-1"



RECEIVING STREAM: EAST FORK LITTLE MIAMI RIVER



ZONED "M-1"

REMINGTON RENTAL LLC
PARCEL ID #: 403108C060
2.001 ACRE
LAND USE: 370-I

ZONED "M-1"

DM DM PROPERTIES, LLC
PARCEL ID #: 403108C058
2.003 ACRE
LAND USE: 400-C

PR. RETENTION POND
NORMAL
POOL-526.0

PR. COMMERCIAL BUILDING

SINGLE STORY-30,058 SF

F.F.E.=531.0'

189 SPACES INCLUDING 6 ADA

SUBGRADE FOR COURTS 2.5
BELOW F.F.E.-528.5'

SUBGRADE FOR COURTS 2.5
BELOW F.F.E.-528.5'