



**UNION TOWNSHIP BOARD OF TRUSTEES  
JUNE 22<sup>ND</sup>, 2023 MEETING**

## **OVERLAY DISTRICT PLAN**

**BRETT GRIFFIS, Applicant  
508 ROUND BOTTOM RD. / Parcel ID # 403108C010**



### ***Staff Report: CASE # 3-23-O***

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#### **NATURE OF REQUEST**

The Applicant is requesting Overlay District Plan Approval from the Union Township Board of Trustees for Parcel# 403108C010. Specifically, the Applicant is seeking to develop a new sand volleyball facility on approximately 5 acres—on a site that is located within the Little Miami – Lower East Fork Focus Area Overlay – Natural Resource Corridor (FA-NRC). *\*Please refer to the Applicant's statements, plans, and other application enclosures.*

#### **LOCATION**

The subject property is located at 508 Round Bottom Rd., approximately 700 feet north of the Round Bottom Rd. and Barg Salt Run Rd. intersection.

#### **ZONING**

The subject property is zoned Industrial (M-1), with all of the adjoining property (within 400 feet) also zoned as Industrial (M-1), for the underlying zoning.

#### **RELATIONSHIP TO THE HORIZON 2030: UNION TOWNSHIP COMPREHENSIVE LAND USE PLAN**

The Horizon 2030: Union Township Comprehensive Land Use Plan indicates that the proposal is located within the Little Miami- Lower East Fork Corridor. During the previously adopted comprehensive planning effort, this Corridor was identified as an environmentally sensitive area, with large portions of the area contained within areas prone to irregular flooding from the Lower East Fork of the Little Miami River. The area remains primarily zoned for residential and industrial use, with rural settlement patterns and large lot sizes dominating the landscape. More recently, several industrial pockets have developed along Round Bottom Road.

## **RELATIONSHIP TO THE FOCUS OVERLAY DISTRICT REGULATIONS**

As noted previously, the affected property is located within the Little Miami- Lower East Fork Focus Area Overlay District. Article 13 of the Union Township Zoning Resolution identifies this corridor as a “Natural Resource Corridor,” and makes these statements with respect to these Districts:

### **1305. Focus Areas Overlay-Natural Resource Districts...**

#### **1. Findings and Specific Purpose.**

Natural resources are an important component of quality of life for all residents in the Township. When irreplaceable natural features are threatened, their preservation should be weighed and evaluated in relation to public and private interests.

- a. The existence of a twenty (20%) percent slope, in combination with Miamitown Shale or Kope geologic formation, is evidence of a condition of natural critical stability, and development under conventional regulations may precipitate landslides or excessive soil erosion. Additional regulations are needed to preserve the prominent views from the top or from the slopes of the hillside and the natural contours thereof.
- b. Hillsides, as community separators or boundaries, are historic aids to the identification of residential communities which help citizens to relate to their communities and to relate the social organizations of communities to their physical environments.
- c. The location of natural resources often coincides with prime development sites. Long term benefits of conserving natural resources in a metropolitan area can be achieved through innovative development regulations based on comprehensive plans.

#### **2. Characteristics.**

FA-NR districts shall be limited to geographic areas containing one (1) or more of the following characteristics:

- a. Lakes, rivers, floodplains, wetlands, mineral deposits, aquifers, forests, parks, or hillsides (twenty [20%] percent slope or greater) or other natural features of significant public interest:
- b. Existence of Miamitown Shale or Kope geologic formations or soils classified as having severe constraints for development;
- c. Prominent hillsides and natural resources which are readily viewable from a public thoroughfare;
- d. Scenic areas providing views of a major stream or valley or other natural resource;
- e. Hillsides and other natural features functioning as community separators or community boundaries;
- f. Hillsides which support a substantial natural wooded cover.

## **BACKGROUND**

The property is located approximately 700 feet north of Round Bottom Road and appears to have been zoned Industrial (M-1) since the inception of zoning in Union Township, despite its apparent agricultural use. According to the applicable FIRM panel, none of the proposed 5 acres of the parent tract lies within both the 100-year floodplain or the floodway. In fact, only a very marginal amount (less than 0.1 Acres) of the parent tract contains 100-year floodplain area. As noted earlier, the Applicant is seeking to develop a new sand volleyball facility—for the Cincinnati Sand Volleyball Club—which would involve the establishment of 6 indoor and 6 outdoor sand volleyball courts as well as an office, pro shop, café, kitchen, and restrooms.

## **STAFF REVIEW & ANALYSIS**

A review of the proposal indicates that the proposed use is consistent with the zoning district in which it is located (M-1)—and that it is not in conflict with the adopted land use plan for the Little Miami – Lower East Fork Corridor. The land use plan allows for lower intensity industrial uses throughout the corridor, with some infill uses, provided that natural resources are protected. *To that end, this request does not impact a hillside or area with twenty (20%) percent slope or greater, does not involve a floodplain or flood-prone area, and does not involve an area that has been identified as having significant natural resources.* Additionally, the plan identifies that some industrial uses are already present in the area and should be supported to the extent practicable. Therefore, the requested use is considered reasonable by staff.

At the time of this report, the site has no direct access to a public or private street / road; however, the Township is currently in the process of designing and engineering a new public road to serve the Hamilton Safe property, this property, and the property adjacent and beyond (to the northeast and southeast). The Township expects that road construction will be underway soon and be completed before the end of Fall, 2023.

In terms of other items, the proposed structure appears to be consistent with those in the surrounding area—from an architectural standpoint. Monument signage would be the required signage for the site, limited to a height of not more than 12’ when measured from grade for all present and future signage proposed by the Applicant. A stormwater detention basin is planned on the southeastern portion of the proposed 5-acre tract, and would be designed to address all stormwater runoff associated with the property. Landscaping would be incorporated into the site in a manner consistent with surrounding parcels. A lighting plan has not been submitted at this time; however, it would be required for final review and approval.

## **ACTION REQUIRED**

In accordance with Section 1310 of the Zoning Resolution, the Board of Trustees’ role in this process is to either enter a motion to approve, modify, or deny the Focus Area Overlay District application—which, in this case consists of the development of a new sand volleyball facility on approximately 5 acres—as submitted, along with any further modifications deemed appropriate by the Board.

## **RECOMMENDED MODIFICATIONS**

If the Board should choose to grant favorable consideration to this Overlay District application, staff recommends that these additional items be modified and / or otherwise be adequately addressed prior to final Township action:

- 1) The Applicant must address any concerns of the County Engineer, Clermont County Water & Sewer District, Clermont County Building Department, the Union Township Fire Department, and / or other regulatory agencies having jurisdiction over the proposed development prior to any final Township action.
- 2) A walkway or path would need to be included / shown between the proposed parking areas and the proposed building improvements—to minimize the pedestrian activity in the parking areas and driveway aisles.
- 3) A more-detailed signage plan would ultimately need to be submitted. All free-standing signage should be limited to monument signage, capped at a height of not more than 12' from finished grade, subject to administrative review and approval.
- 4) A photometric / site lighting plan would ultimately need to be submitted, acknowledging that all lighting (if needed in the future) would need to be downward directed, and of sufficient intensity to illuminate without projecting onto the adjoining property. \*Details / specs of proposed lighting would be necessary; however, this is an item that could / would be addressed administratively by staff.



### III. SUPPORTING DOCUMENTS REQUIRED FOR APPLICATION

1. Photocopy of tax map with subject property highlighted.
2. Legal description of property (see deed).
3. Development plans.
4. Application fee as established by the Township Trustees.

### IV. SUPPORTING INFORMATION


- A. Existing Zoning District M-1  
 Existing Land Use Agricultural  
 Proposed Focus Area District and Classification Category M-1  
 Proposed Land Use New Sand Volleyball Facility

- B. Describe the characteristics of the Parcel/Project for consideration by the Board of Trustees (use additional sheet if necessary):

We are proposing the aquisition of 5 acres to build a  
new Indoor/Outdoor Sand Volleyball facility. This new  
facility will hold 6 Indoor/6 Outdoor Sand volleyball  
Courts as well as an office, pro shop, cafe, kitchen,  
Restrooms. The parking lot is proposed at 189 parking spots.

## V. AFFIDAVIT

I hereby depose and say that I have familiarized myself with the rules and regulations of the Union Township Zoning Resolution with respect to preparing this application. I hereby certify that I have read the foregoing document and supplements attached thereto and that I have answered all questions fully and to the best of my ability. I hereby attest to the truth and exactness of the information supplied herewith and that I am the owner or lessee of the property to be rezoned.

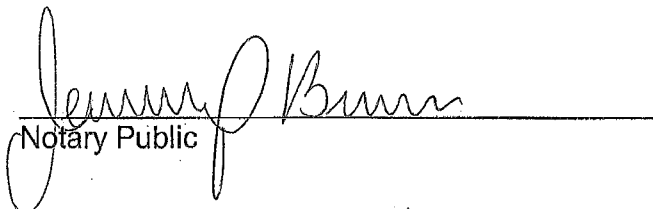
  
Applicant\*

\*If the property is owned by a corporation or partnership, signatory must be an authorized officer or partner.

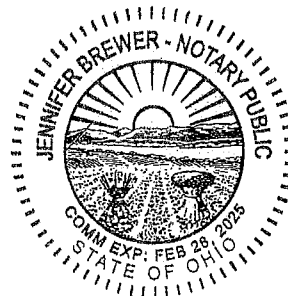
STATE OF Ohio

COUNTY OF Clermont

Subscribed and sworn to before me this 9th day of may, of this year 2022.

  
Notary Public

My commission expires 2/28/2025



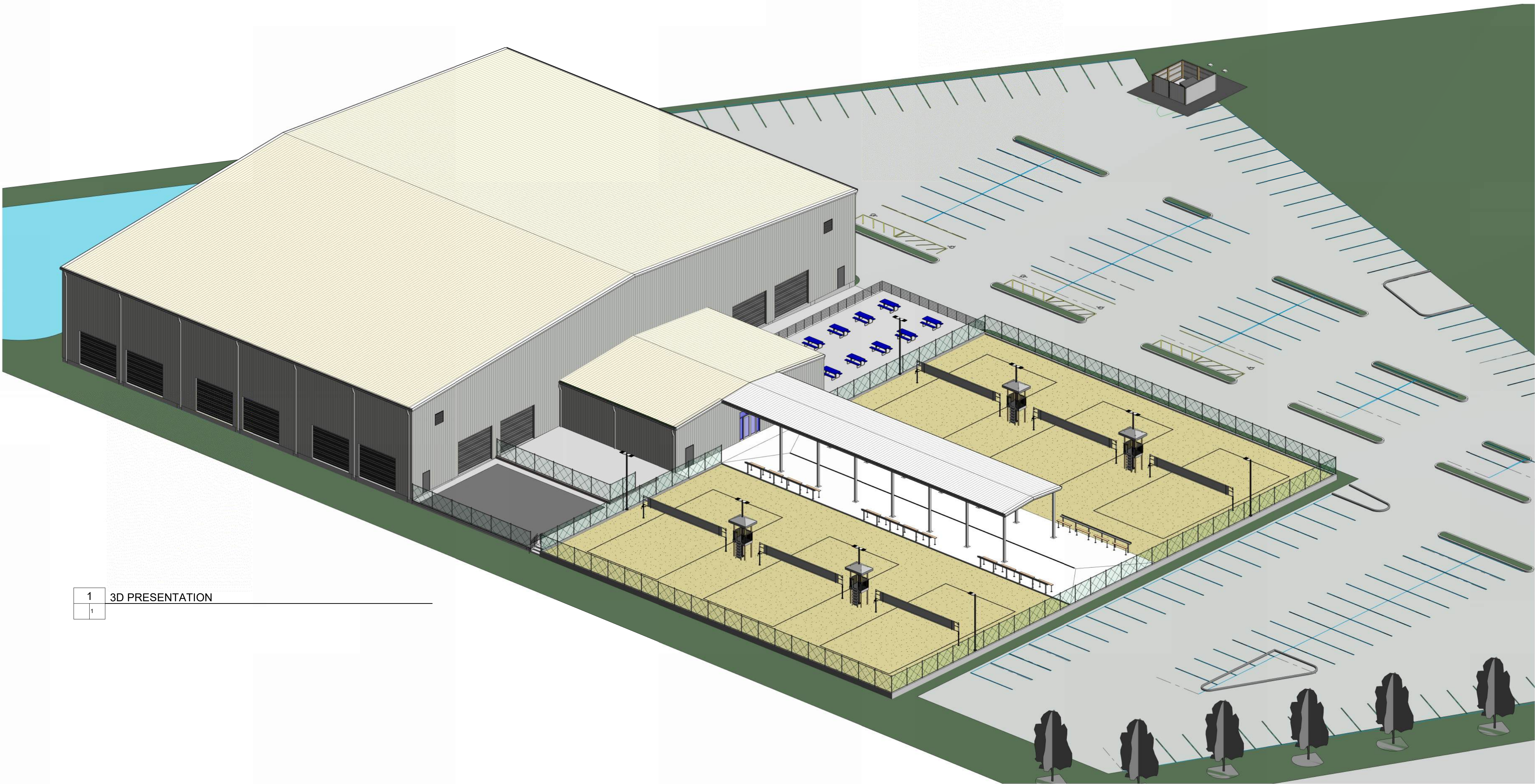




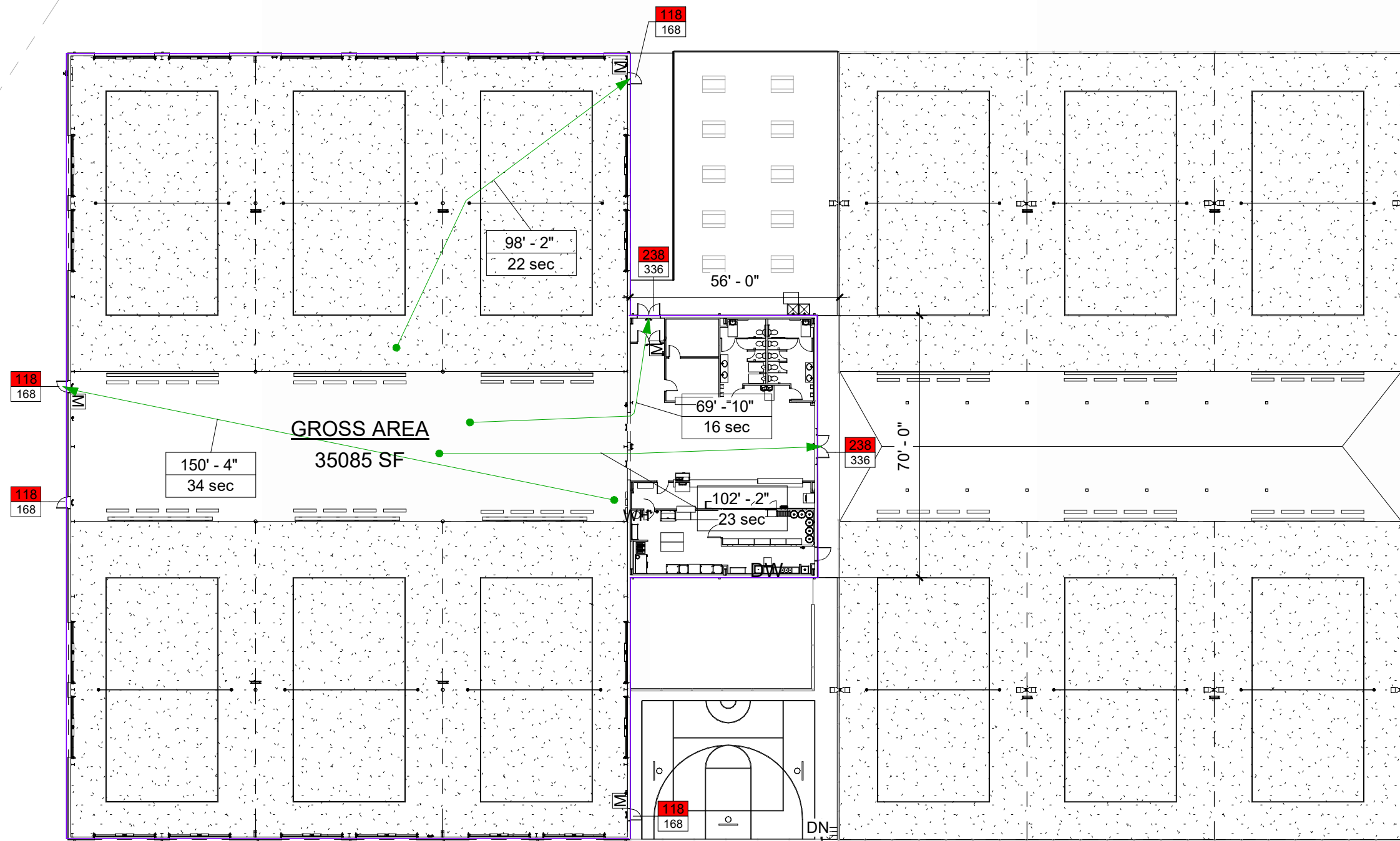


PROPOSED VOLLEYBALL SPORTS COMPLEX FOR:  
**CINCINNATI SAND VOLLEYBALL CLUB**

508 ROUND BOTTOM RD.  
UNION TOWNSHIP  
CLERMONT COUNTY



1 3D PRESENTATION



4 GROSS AREA & EGRESS PLAN  
1/32\"/>



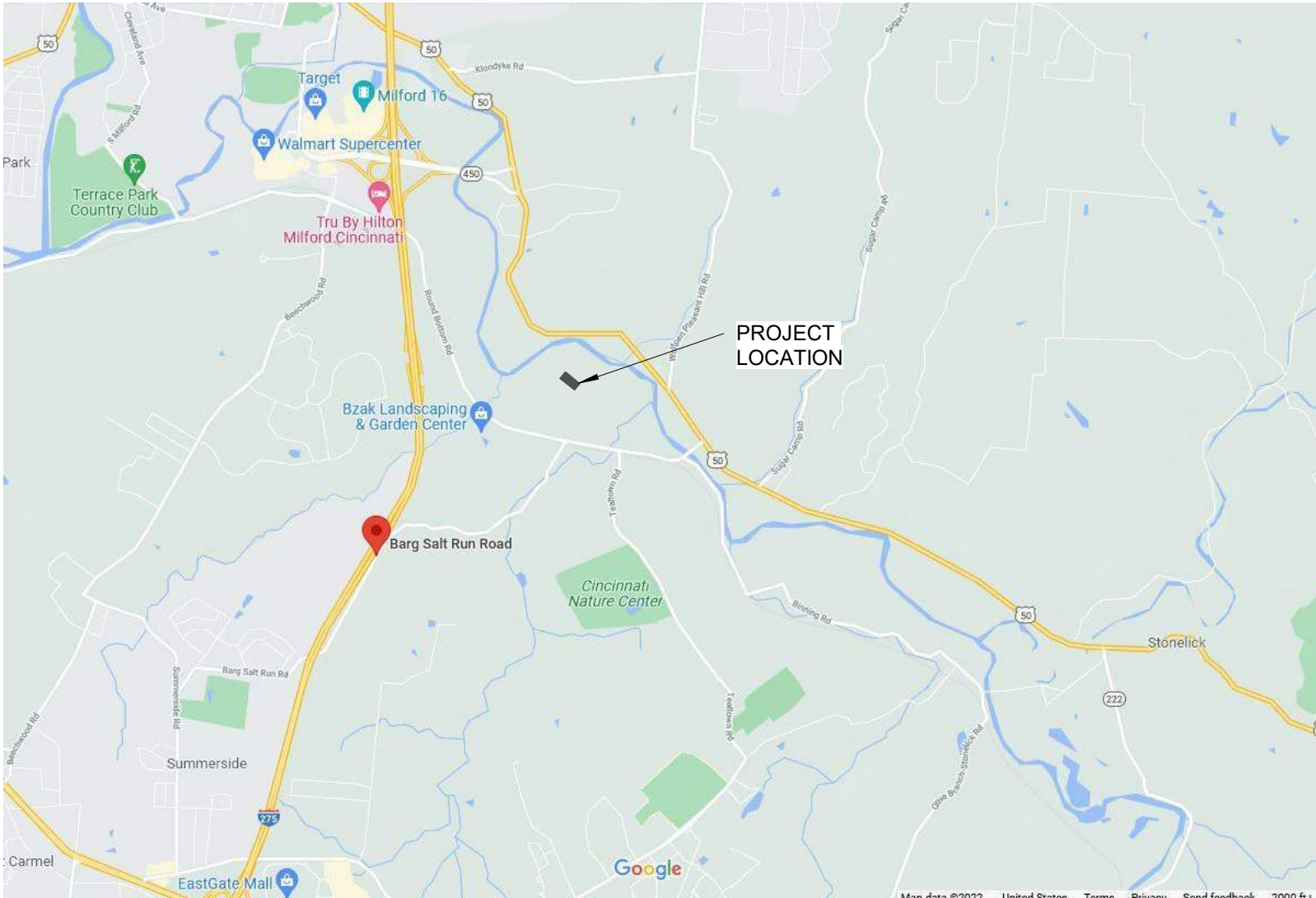
FLOOR PLAN LEGEND

- FE-1 FIRE EXTINGUISHER - WALL MOUNTED
- FE-K FIRE EXTINGUISHER - TYPE K
- EM-1 EMERGENCY LIGHT - 90 MIN. DURATION BATTERY BACKUP
- EL-1 EXIT LIGHT - WALL MOUNTED 90 MIN. BATT. BACKUP DURATION
- PERSONS TO EXIT EXIT CAPACITY

INDEX TO DRAWINGS

Sheet Number	Sheet Name
1	TITLE SHEET - SITE PLAN
A001	GENERAL LEGEND - ABBREVIATIONS
A101	OVERALL FLOOR PLAN
A102	ENLARGED FLOOR PLANS
A103	ROOF PLAN
A110	REFLECTED CEILING PLAN
A111	CEILING DETAIL PLAN - CONCESSION
A201	EXTERIOR ELEVATIONS
A301	BUILDING CROSS SECTIONS
A302	WALL SECTIONS
A401	DETAILS
A402	CONCESSION INTERIOR ELEVATIONS
A601	SCHEDULES - DOOR & ROOM FINISH
L01	DUMPSTER ENCLOSURE
L-1	LANDSCAPE PLAN
S101	FOUNDATION PLAN
S102	FOUNDATION DETAILS - SCHEDULES
1/1	PRELIMINARY PROPERTY SPLIT
C-4	GRADING PLAN
C-5.1	SWPPP NOTES & DETAILS
C-1	TITLE SHEET - GENERAL NOTES
C-1.1	SITE CONSTRUCTION DETAILS
C-2	EXISTING CONDITIONS & DEMO PLAN
C-3	EXISTING CONDITIONS & DEMO PLAN
C-3.1	UTILITY SERVICE PLAN
C-5	SWPPP

Keynote Legend	
Key Value	Keynote Text



3 VICINITY MAP  
1/4\"/>



BUILDING CODE SUMMARY:

NAME OF PROJECT: CINCINNATI SAND VOLLEYBALL CLUB  
STREET ADDRESS: 508 ROUND BOTTOM ROAD, UNION TWP., OH, CLERMONT COUNTY  
PROPOSED USE: INDOOR SAND VOLLEYBALL COURTS WITH CONCESSION STAND AND SUPPORT OFFICES.

APPLICABLE CODES: 2017 OHIO BUILDING CODE  
2012 IECC and 2010 ANSI / ASHRAE / IES STANDARD 90.1 ENERGY CODES  
2017 OHIO MECHANICAL CODE  
2017 OHIO PLUMBING CODE  
2017 NFPA 70, NATIONAL ELECTRIC CODE  
2017 OHIO FIRE CODE  
2009 ICC A117.1 ACCESSIBLE & USEABLE BUILDINGS & FACILITIES CODE  
2015 INTERNATIONAL FUEL GAS CODE  
2016 NFPA 13, STANDARD INSTALLATION OF SPRINKLER SYSTEMS, 13R & 13D  
2016 NFPA 72, NATIONAL FIRE ALARM CODE

MIXED OCCUPANCIES: THIS BUILDING IS DESIGNED PER OBC SECTION 508 FOR MIXED OCCUPANCIES, SECTION 508.2 FOR ACCESSORY OCCUPANCIES AND SECTION 508.3 FOR NON-SEPARATED OCCUPANCIES. FIRE SEPARATION IS NOT REQUIRED BETWEEN THE PRIMARY OCCUPANCIES (B & S-1) EXCEPT AS REQUIRED BY OTHER CODE PROVISIONS.

BUILDING OCCUPANCIES: A-4, ASSEMBLY, INDOOR SPORTING EVENTS; B - BUSINESS  
USE GROUPS

ALLOWABLE AREA: UNLIMITED, PER OBC 507.4, EXCEPTION #2; EXIT DOORS PROVIDED FROM PARTICIPANT SPORTS AREAS AND FIRE ALARM SYSTEM PROVIDED.  
(TABULAR) A-4, 15,500 SF (TABULAR) + OPEN PERIMETER = 15,500 SF + 50% = 14,250 SF OBC T506.2

ACTUAL AREA: CONCESSION STAND / OFFICE = 3500 SF GROSS  
PEMB = 30,058 SF GROSS

TYPE OF CONSTRUCTION: IIB, NON COMBUSTIBLE, PRE-ENGINEERED METAL BUILDING WITH LOAD BEARING FRAMES;

FIRE PROTECTION: STRUCTURAL FRAME: 0 HR  
ROOF CONSTRUCTION: 0 HR  
EXTERIOR NONBEARING WALLS: 0 HR  
EXTERIOR BEARING WALLS: 0 HR  
INTERIOR BEARING WALLS: 0 HR  
INTERIOR NON-BEARING WALLS & PARTITIONS: 0 HR  
FLOOR CONSTRUCTION: 0 HR

AUTOMATIC SPRINKLERS: SPORTS AREA: NOT REQUIRED PER OBC 903.2.1.4 EXCEPTION, PARTICIPANT SPORTS AREA AT GRADE  
SUPPORT AREAS: NFPA 13 PROVIDED IN SUPPORT APPENDAGE  
FIRE EXTINGUISHERS PROVIDED PER THROUGHOUT BUILDING. SEE PLANS.

FIRE ALARM SYSTEM: FIRE ALARM PROVIDED PER OBC 507.4 EXCEPTIONS #2.1, 2.2.

EXITS REQUIRED: 2, PER OBC 1006.2.1  
EXITS PROVIDED: 4  
MIN. CORRIDOR WIDTH: 44"

DEFERRED SUBMITTALS:

THE FOLLOWING SUBMITTALS ARE TO BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE AUTHORITY HAVING JURISDICTION FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION. THE GENERAL CONTRACTOR IS TO DETERMINE ALL REQUIREMENTS FOR THE SUBMITTAL PROCESS AS WELL AS SUBMIT, TRACK AND REPORT SUBMITTAL STATUS TO THE CONSTRUCTION MANAGER THROUGH THE FINAL APPROVAL AND ISSUANCE OF PERMIT.  
FIRE SUPPRESSION SYSTEM IN CONCESSION  
FIRE ALARM SYSTEM

NUMBER OF EXITS OR EXIT ACCESS DOORS REQUIRED: 2

EXIT ACCESS TRAVEL DISTANCE: 200' FOR "A" OCCUPANCY PER OBC TABLE 1017.2 FOR NON-SPRINKLERED BUILDINGS.  
NOTE: THE DISTANCE FROM ANYWHERE IN THE BUILDING TO AN EXIT DISCHARGE IS LESS THAN 200 FEET.

COMMON PATH OF TRAVEL: 75' FOR "A" OCCUPANCY (ASSEMBLY) PER OBC T1006.2.1.  
CORRIDOR FIRE RESISTANCE: NOT APPLICABLE

OCCUPANCY LOAD FACTORS:  
MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT PER 2017 OBC TABLE 1004.1.2:  
1. BUSINESS: (TABULAR) BUSINESS 100 SF NET = 3500 / 100 = 35 OCC.  
1. ASSEMBLY: (TABULAR) SPORTS 50 GROSS = 30,085 SF / 50 = 702 OCC.  
EQUAL MEN AND WOMEN

2. COMPUTED: 6 INDOOR VOLLEYBALL COURTS, 6 PER TEAM X 2 TEAMS = 6 X 6 X 2 = 72 OCC.  
FULL TIME STAFF = 8 OCC.  
2 REFEREES PER COURT = 12 OCC.  
6 OUTDOOR COURTS, 6 PER TEAM X 2 TEAMS = 6 X 6 X 2 = 72 OCC.  
12 ADDITIONAL SPECTATORS PER COURT = 72 OCC.  
ANTICIPATED TOTAL OCCUPANTS = 236 OCC.

PLUMBING FIXTURE REQUIREMENTS:

TOTALS FROM #2 = 236 OCC. 60% MEN / 40% WOMEN

OCCUPANCY	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	OTHER
MEN 236 X .6 = 142 MEN	@1/75 MEN = 142/75 = 2	142/200 = 2		
WOMEN 236 X .4 = 95 WOMEN	@1/40 WOMEN = 95/40 = 3	95/150 = 1	1	1 SERVICE SINK



BC3D DESIGN - ARCHITECTS  
2092 S. STATE ROUTE 123  
LEBANON, OHIO 45036  
(513) 934-5533  
FAX (513) 934-5536  
www.BC3Ddesign.com



NO.	REVISIONS & CLARIFICATIONS PER ZONING	DATE
1	MISC. REVISIONS & CLARIFICATIONS PER ZONING	05/27/23
REVISION SCHEDULE		

PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:

**CINCINNATI SAND VOLLEYBALL CLUB**

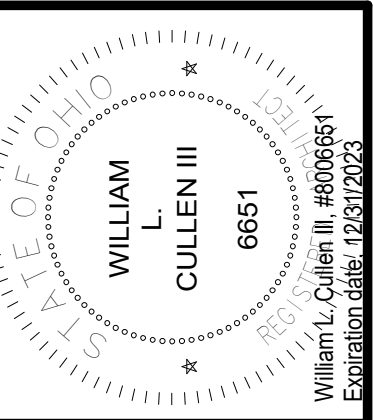
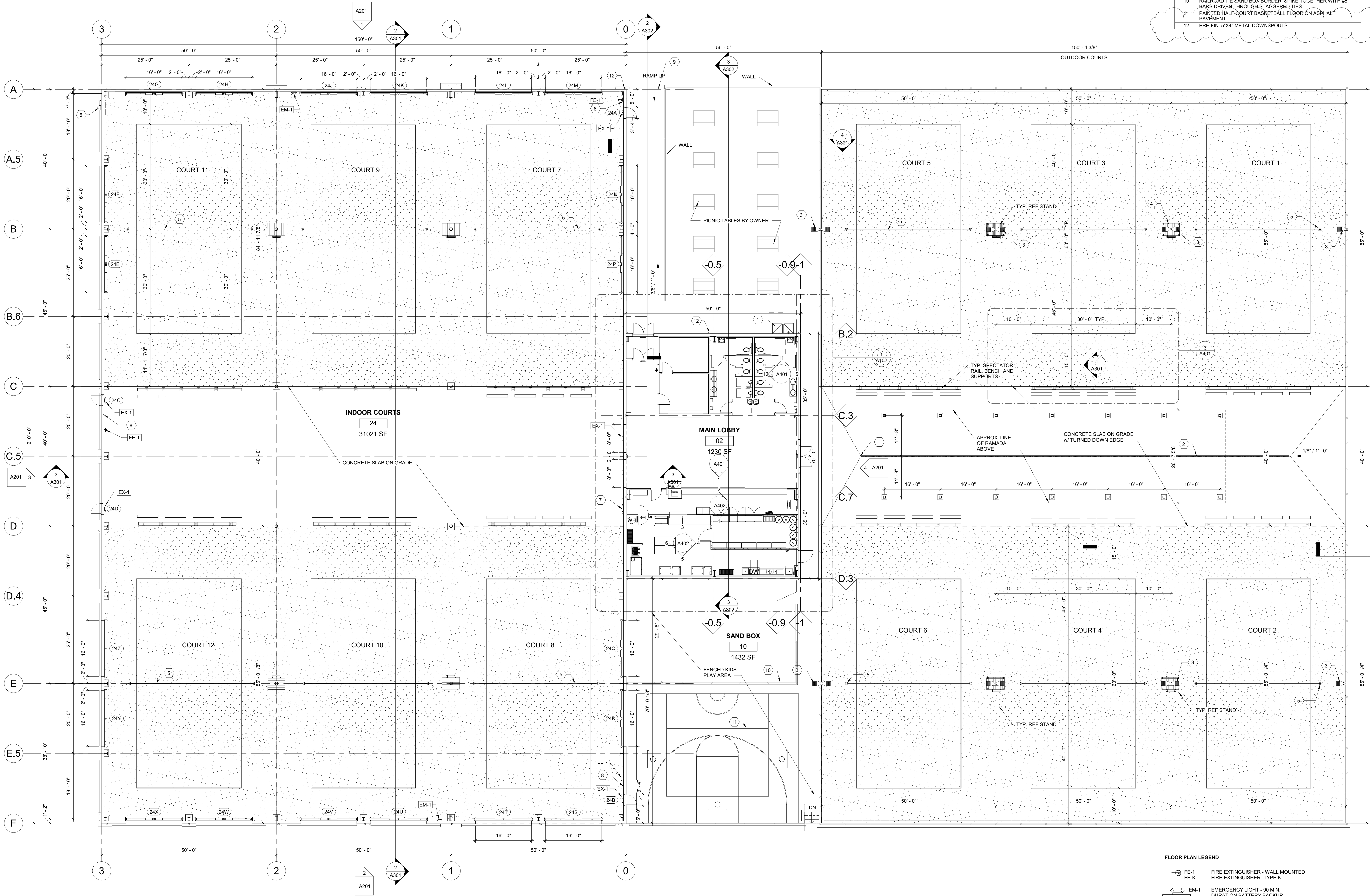
508 ROUND BOTTOM RD.  
MILFORD, OHIO 45150  
UNION TWP.  
CLERMONT COUNTY

TITLE SHEET - SITE PLAN	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BC
1	
Scale	As indicated





Keynote Legend	
Key Value	Keynote Text
1	DEPRESSED PORTION OF SLAB FOR 3'X3' FOOT SHOWER; PROVIDE SAND TRAP BY PLUMBING CONTRACTOR
2	PREFAB TRENCH DRAIN TO STORM SEWER SYSTEM
3	NEW POLE MTD. LED AREA LIGHT FIXTURE
4	PRESSURE TREATED WOOD REFEREE STAND WITH METAL ROOFING & WOOD LADDER TO RAISED PLATFORM; FURNISHED AND INSTALLED BY OWNER
5	VOLLEYBALL NET AND SUPPORTS
6	ELECTRIC METER LOCATION PER UTILITY CO.
7	ELECTRIC DISTRIBUTION PANELS
8	FIRE ALARM PULL STATION
9	ACCESSIBLE ROUTE
10	RAILROAD TIE SAND BOX BORDER, SPIKE TOGETHER WITH #5 BARS DRIVEN THROUGH STAGGERED TIES
11	PAINTED HALF-COURT BASKETBALL FLOOR ON ASPHALT PAVEMENT
12	PRE-FIN. 5'X4' METAL DOWNSPOUTS



REVISION SCHEDULE	
NO.	REVISION
1	MISC. REVISIONS & CLARIFICATIONS PER ZONING
2	DATE

PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:  
**CINCINNATI SAND VOLLEYBALL CLUB**  
508 ROUND BOTTOM RD.  
MILFORD, OHIO 45150  
UNION TWP.  
CLERMONT COUNTY

OVERALL FLOOR PLAN	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BC
<b>A101</b>	
SHEET	2 of 2
Scale	As indicated



[illegible]

**CINCINNATI SAND VOLLEYBALL CLUB**

508 ROUND BOTTOM RD.  
MILFORD, OHIO 45150  
UNION TWP.  
CLERMONT COUNTY

ROOF PLAN	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG
A103	
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PRELIMINARY FOR ZONING





WILLIAM  
L.  
CULLEN III  
6651

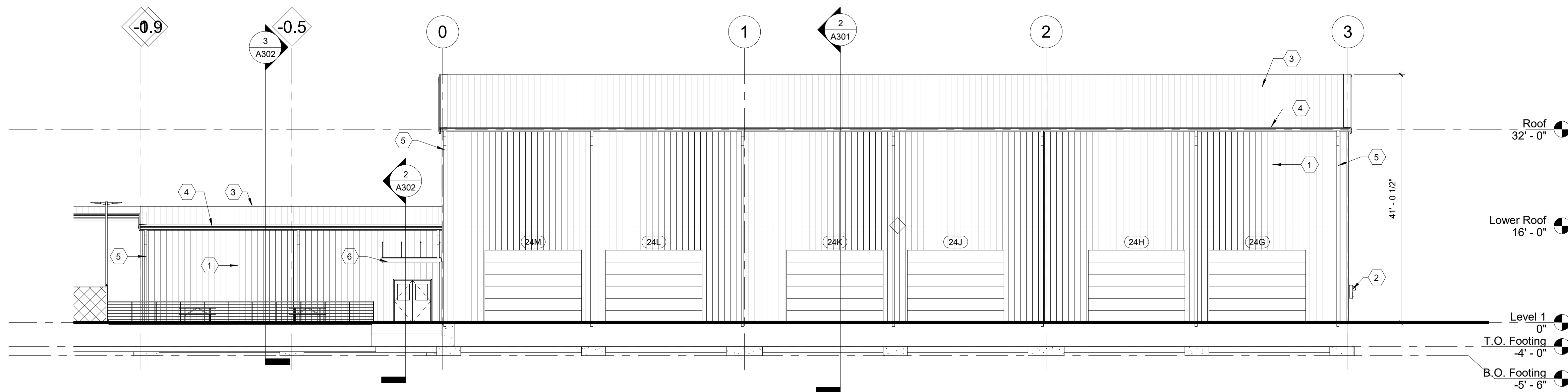
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508 ROUND BOTTOM RD.  
MILFORD, OHIO 45150  
UNION TWP.  
CLERMONT COUNTY

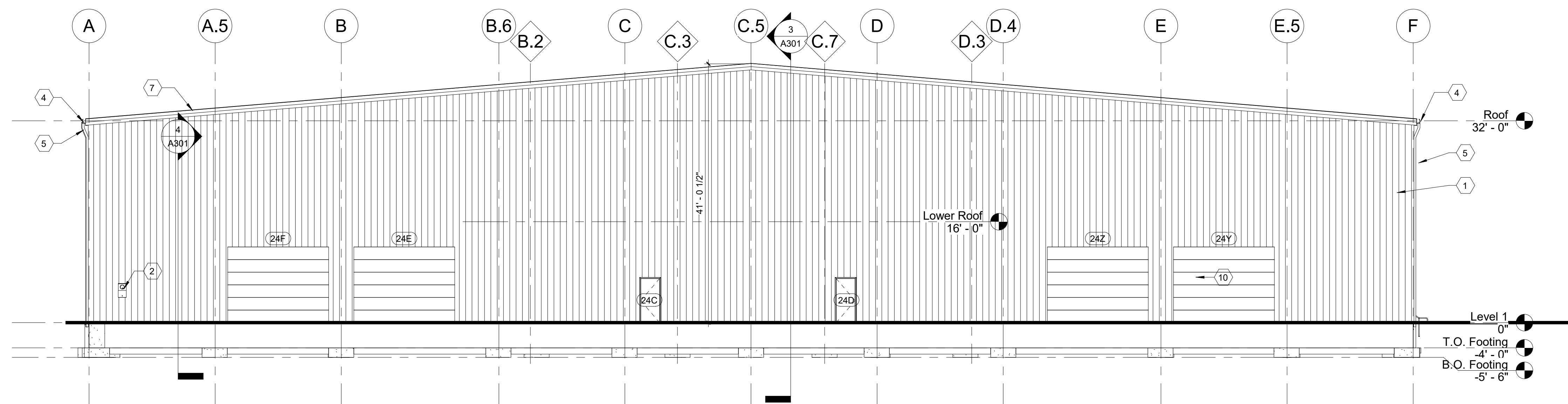
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Issue Date	06/09/23
Drawn by	WC
Checked by	BG
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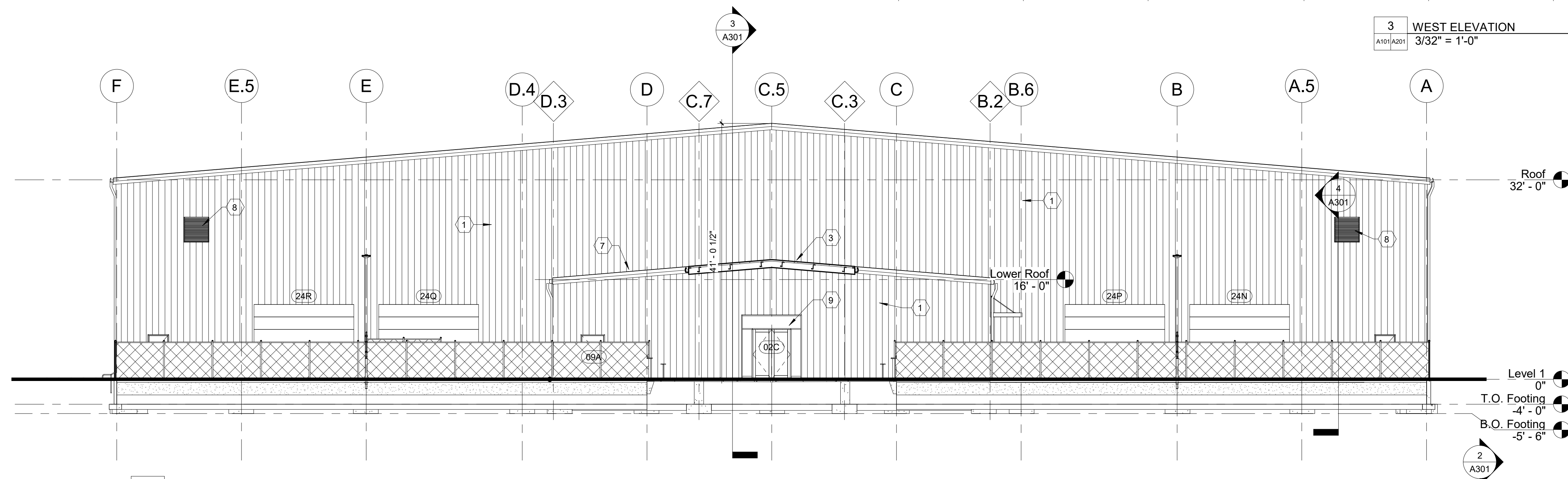
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2	ELECTRIC METER LOCATION PER UTILITY CO.
3	24 GA. STANDING SEAM METAL ROOF PANELS
4	PRE-FIN. METAL GUTTERS
5	PRE-FIN. 5"x4" METAL DOWNSPOUTS
6	PRE-FAB ALUM. ENTRANCE CANOPY WITH DIAG. ROD SUPPORTS
7	PRE-FIN. PEMB RAKE
8	EXTERIOR, PRE-FIN. OPERABLE LOUVERED VENTILATION AIR FAN; REFER MECHANICAL DRAWINGS
9	STOREFRONT GLAZING SYSTEM
10	OVERHEAD SECTIONAL VERTICAL LIFT INSULATED DOOR



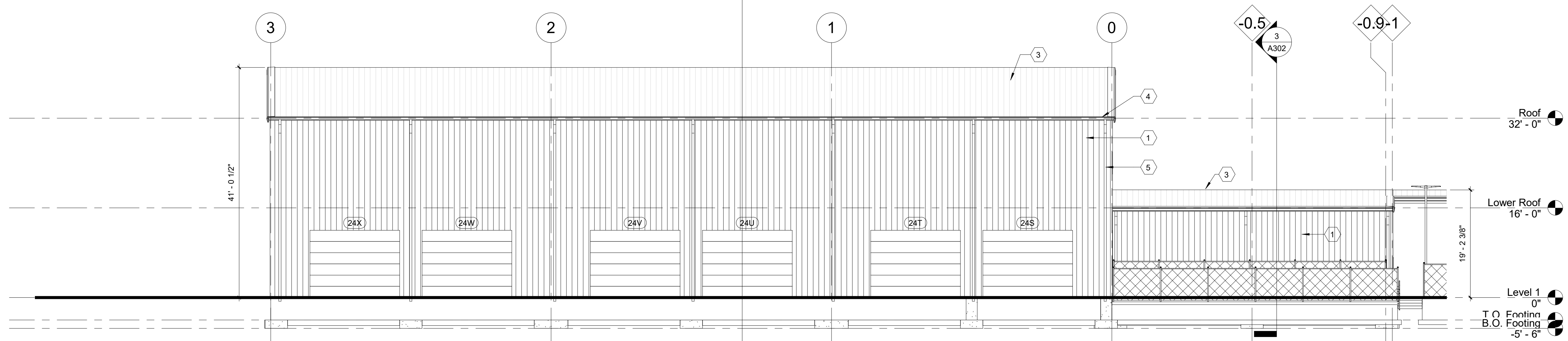
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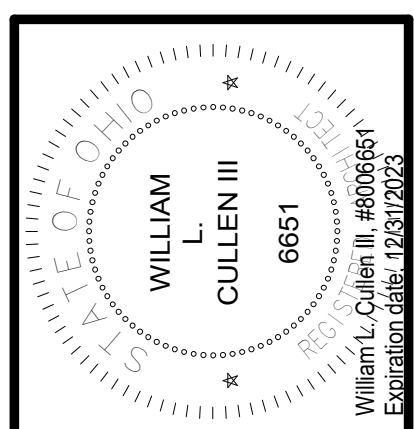
**3 WEST ELEVATION**  
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**4 EAST ELEVATION**  
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**2 SOUTH ELEVATION**  
A101/A201 3/32" = 1'-0"



REVISION SCHEDULE	
NO.	REVISION
1	MISC. REVISIONS & CLARIFICATIONS PER ZONING DEPARTMENT
DATE	06/09/23

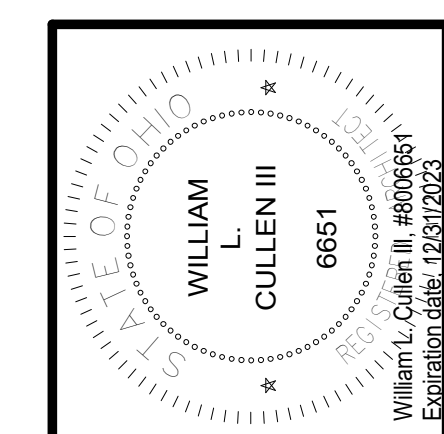
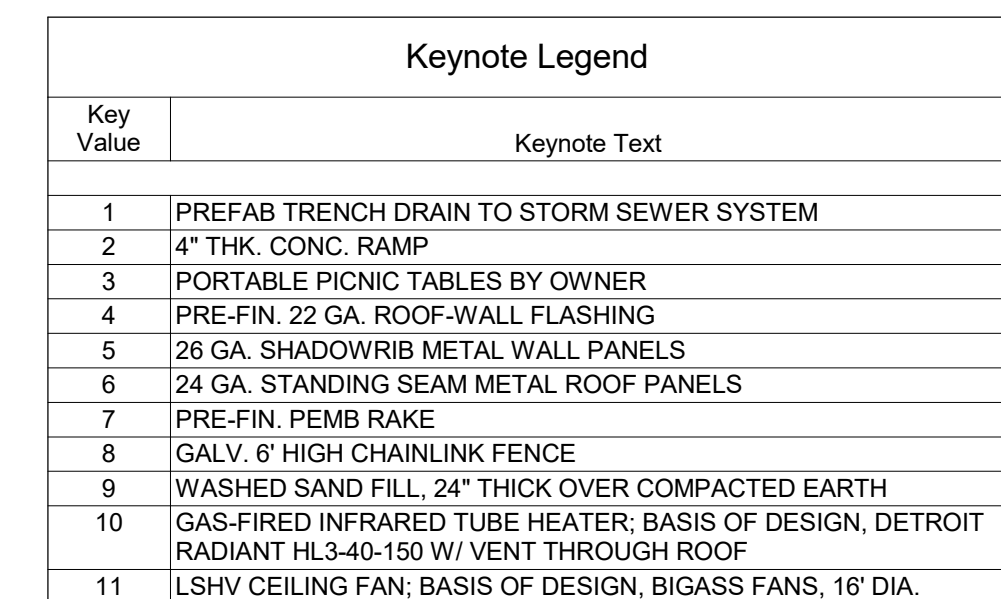
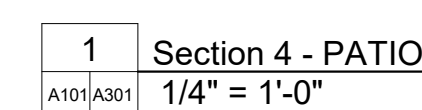
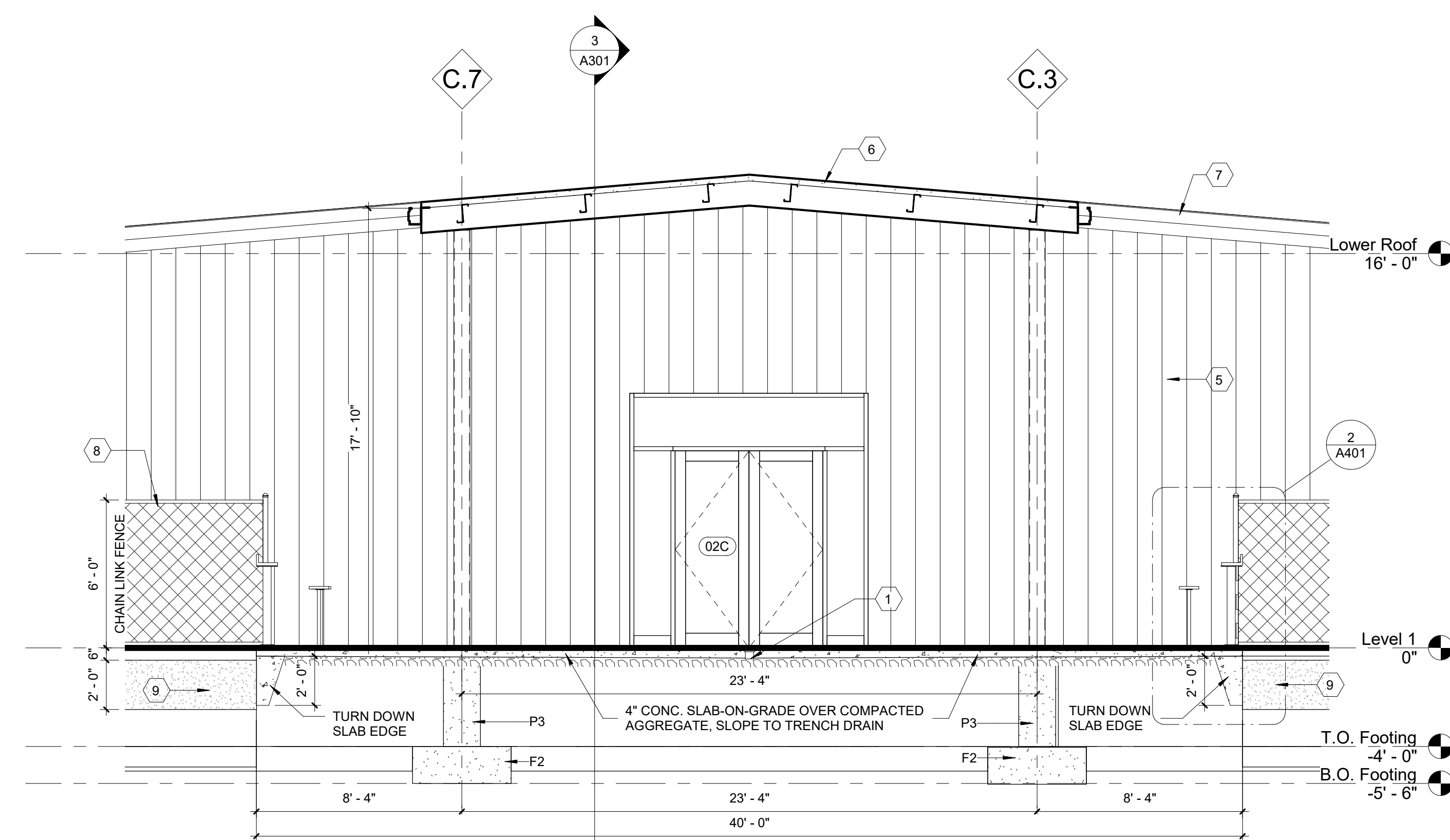
PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:

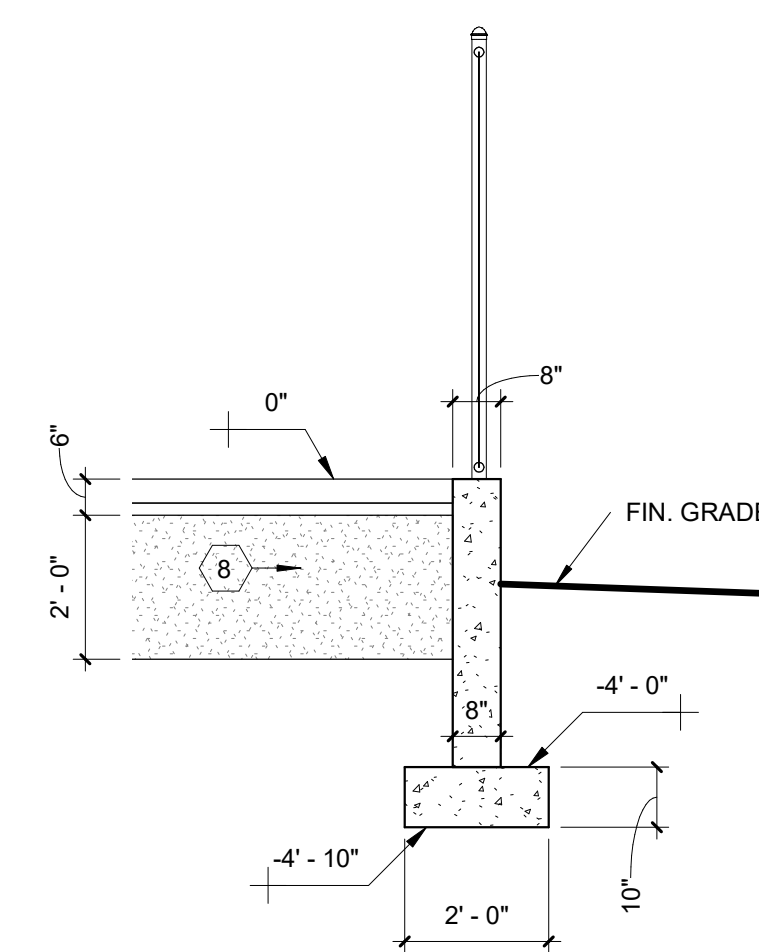
**CINCINNATI SAND VOLLEYBALL CLUB**

508 ROUND BOTTOM RD.  
MILFORD, OHIO 45150  
UNION TWP.  
CLERMONT COUNTY

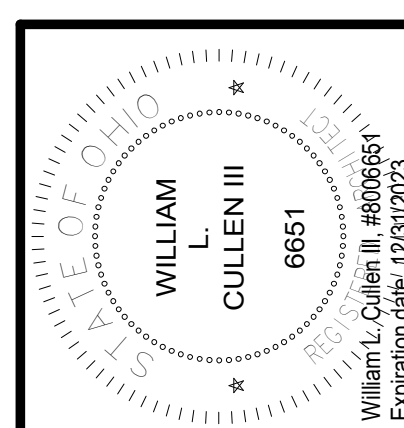
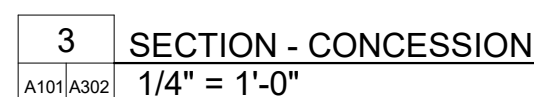
EXTERIOR ELEVATIONS	
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Issue Date	06/09/23
Drawn by	WC
Checked by	BC
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[illegible]



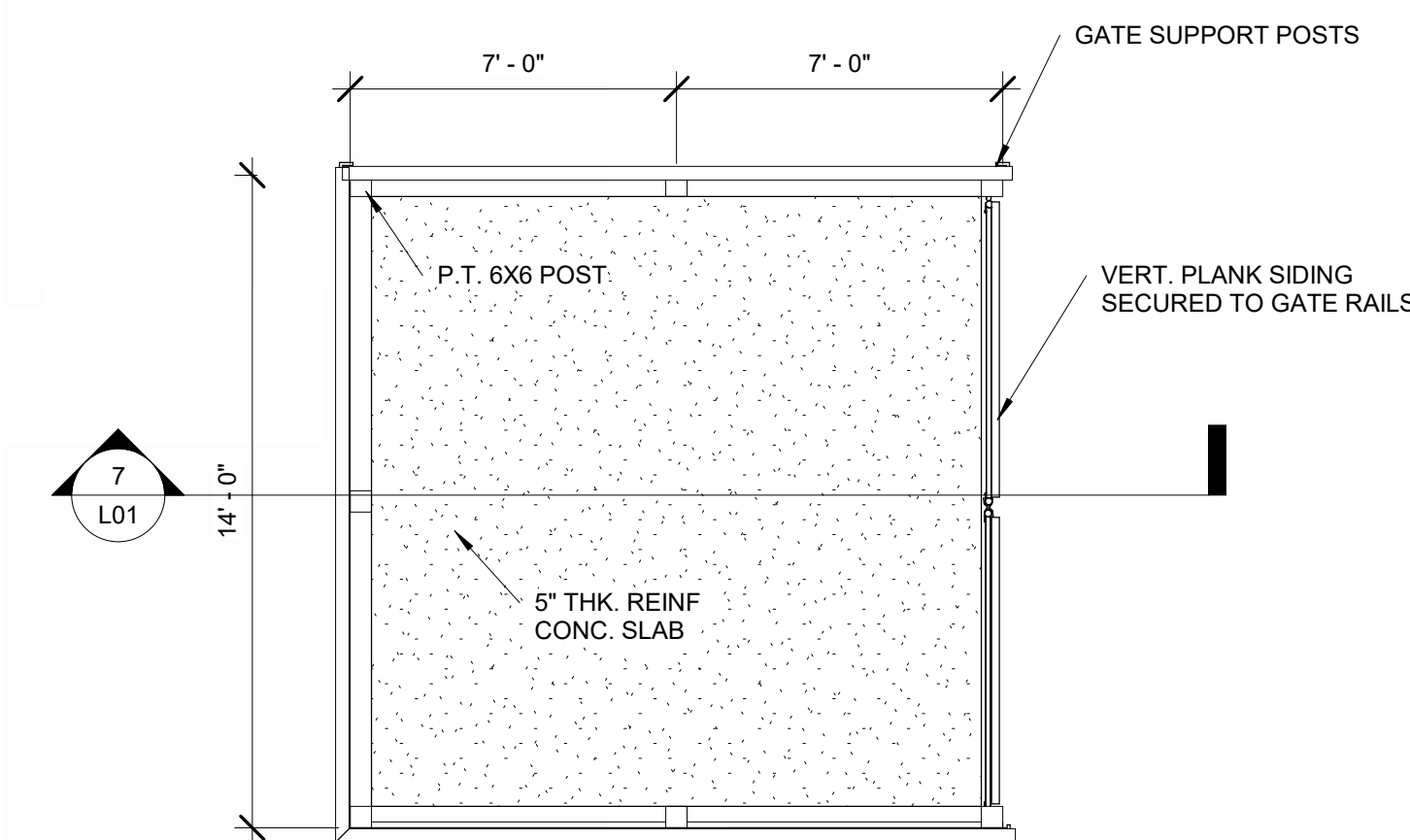
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[illegible]

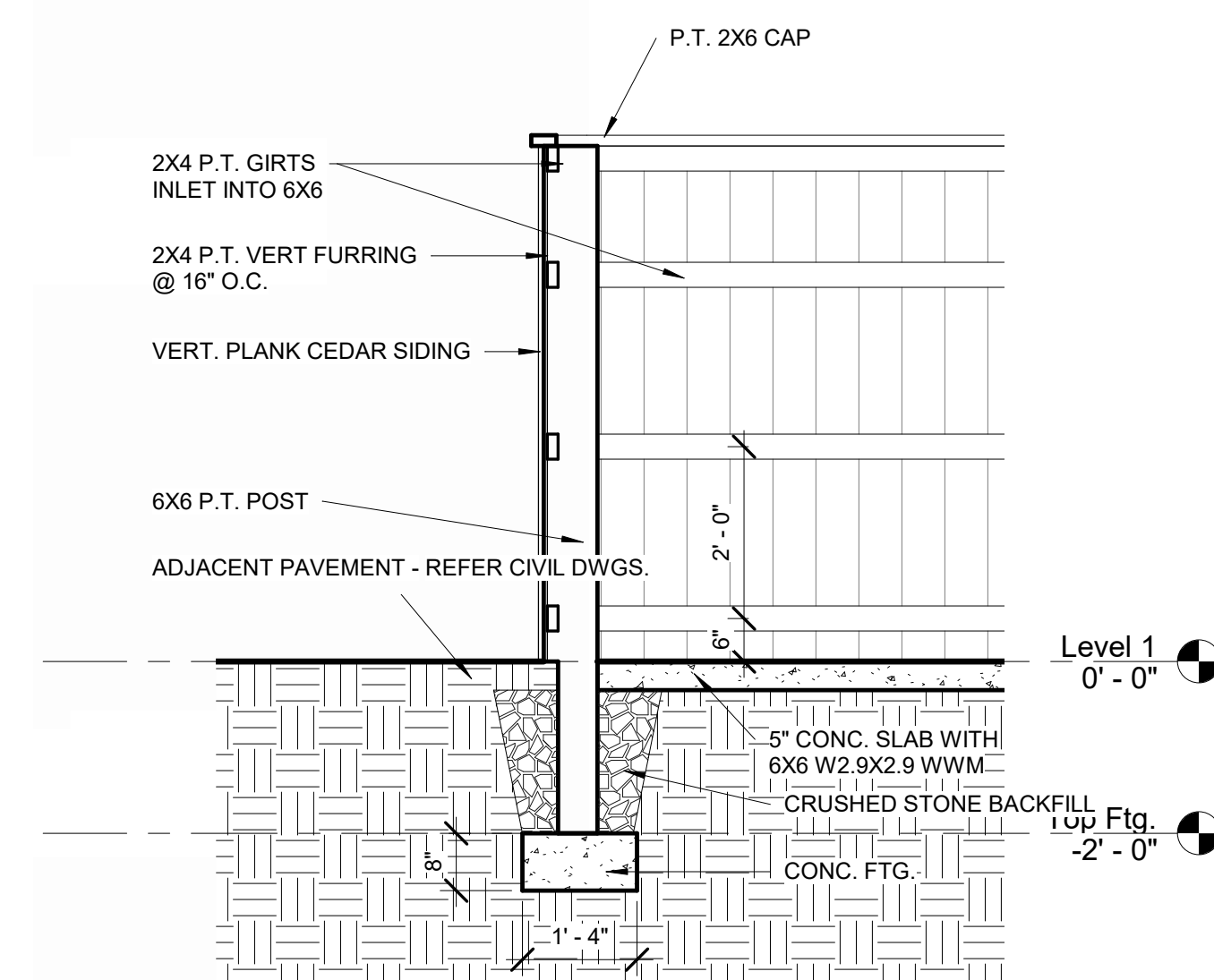
508 ROUND BOTTOM RD.  
MILFORD, OHIO 45150  
UNION TWP.  
CLERMONT COUNTY

WALL SECTIONS	
Project number	2241
Issue Date	06/09/23
Drawn by	WC
Checked by	BG
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Scale	As indicated

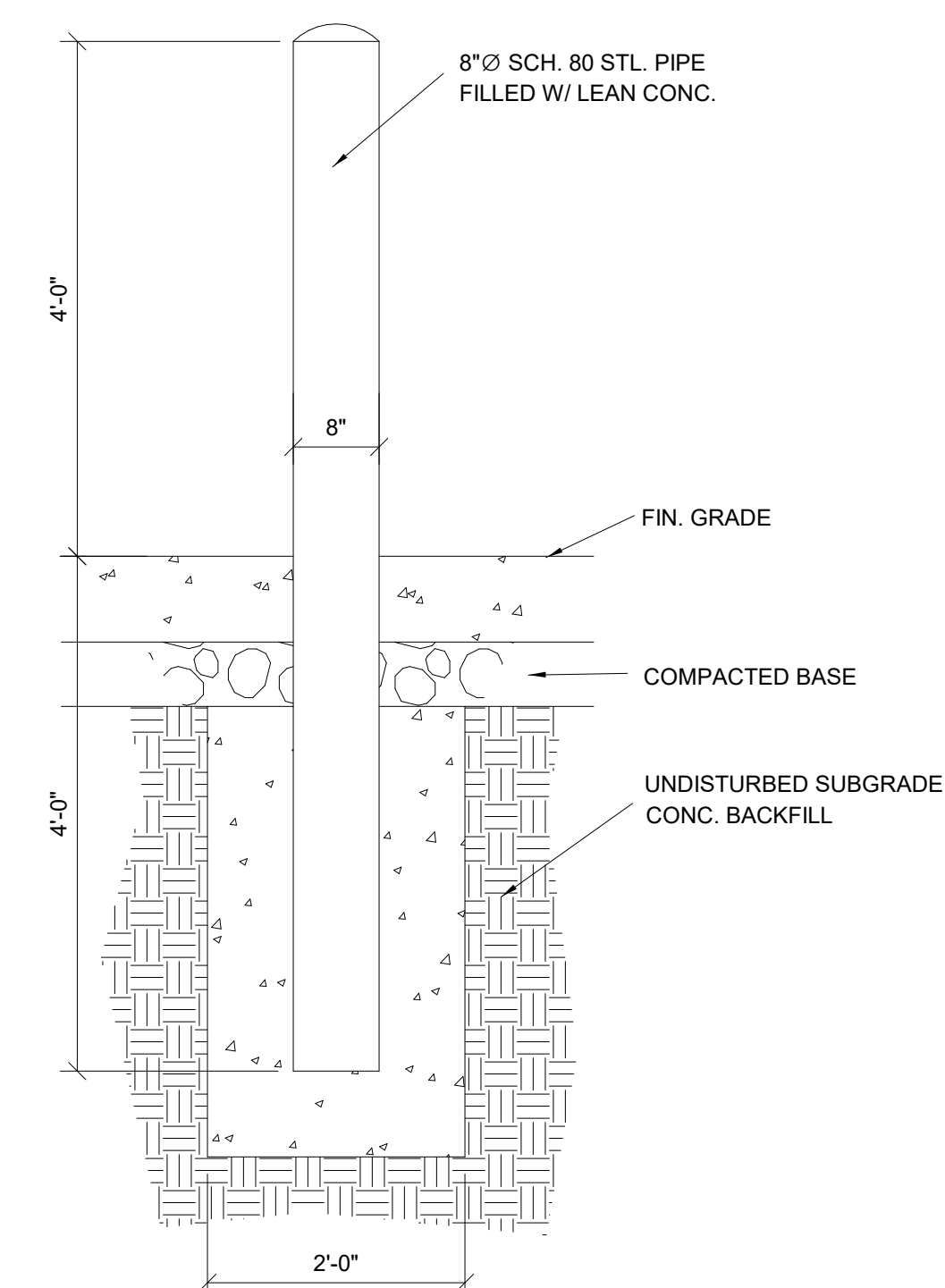




### 1 3D VIEW OF ENCLOSURE

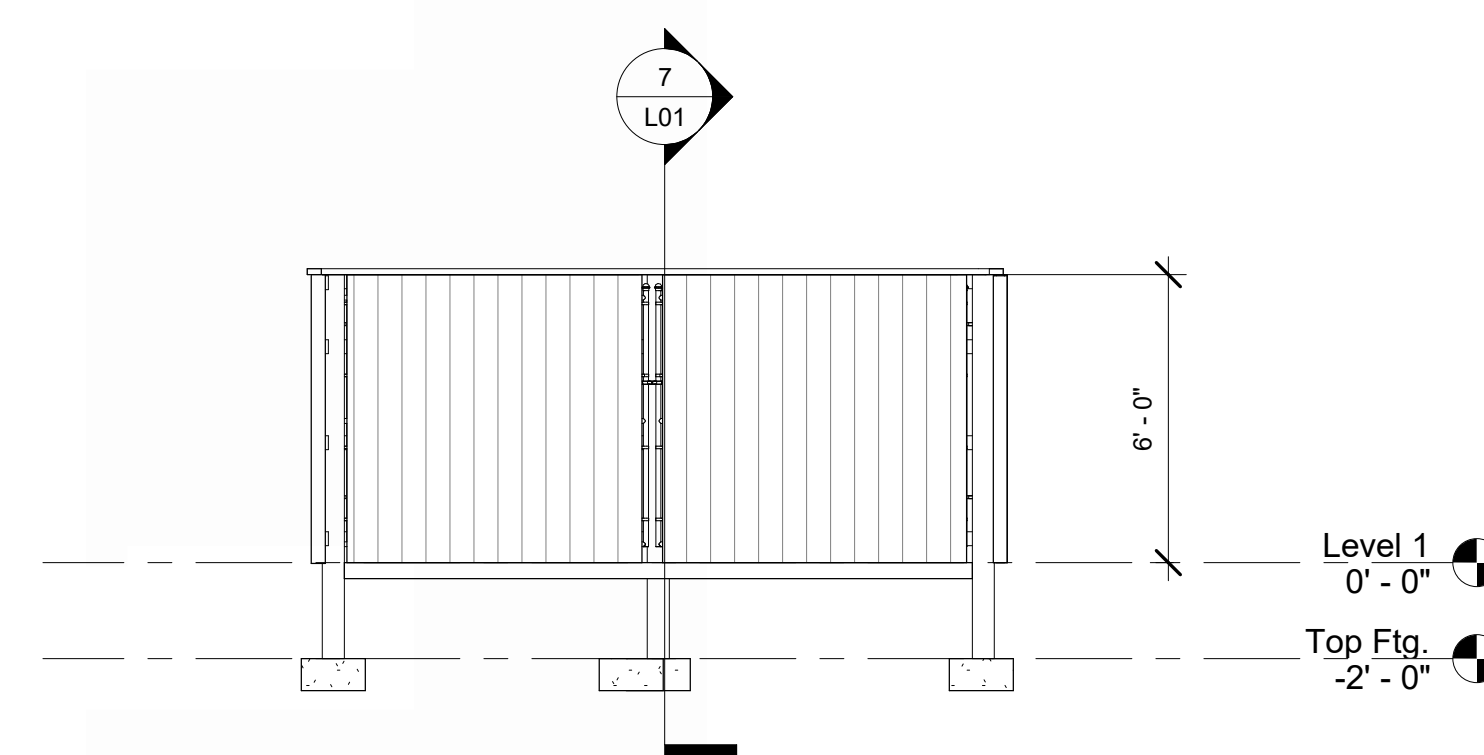


7 Section 1 - DUMPSTER  
1/2" = 1'-0"

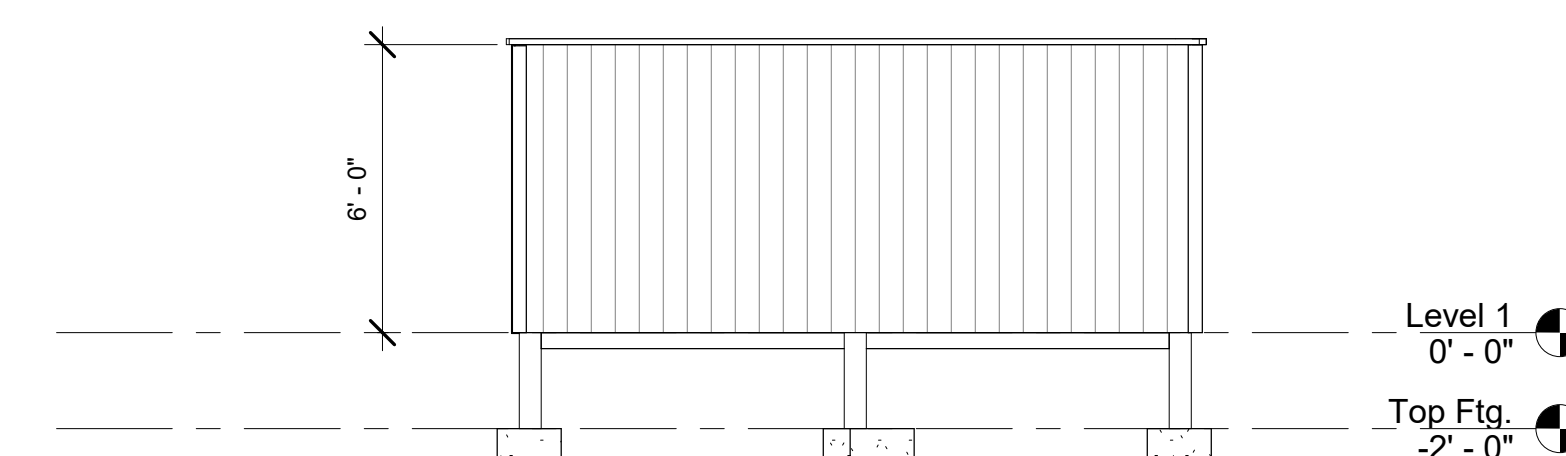


## BUMP POST DETAIL

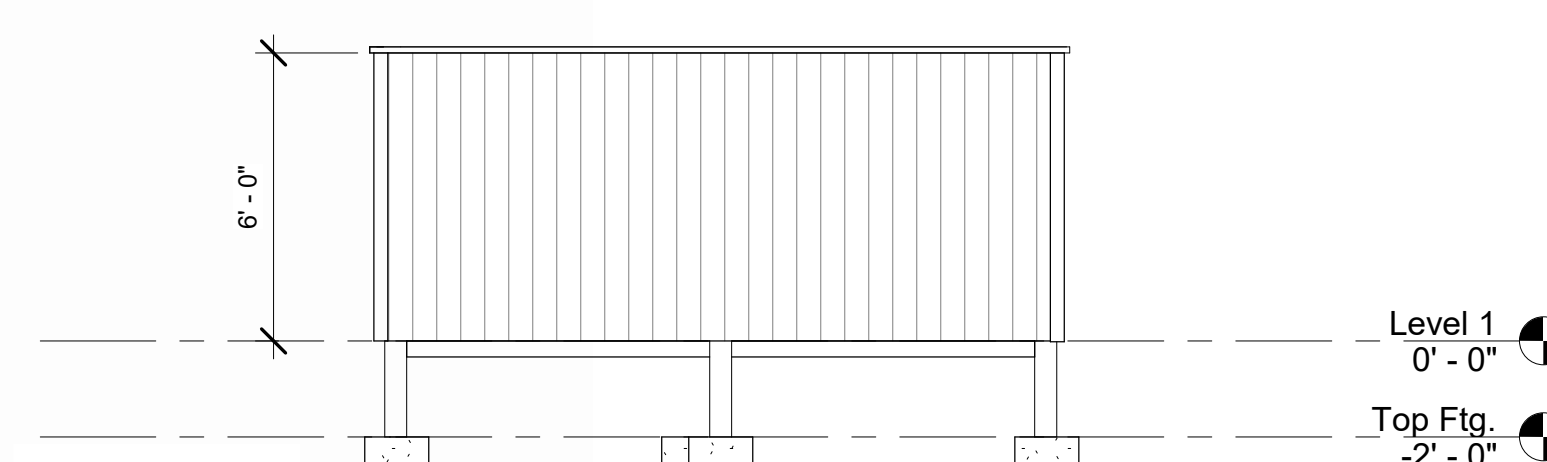
8 BUMP POST  
3/4" = 1'-0"



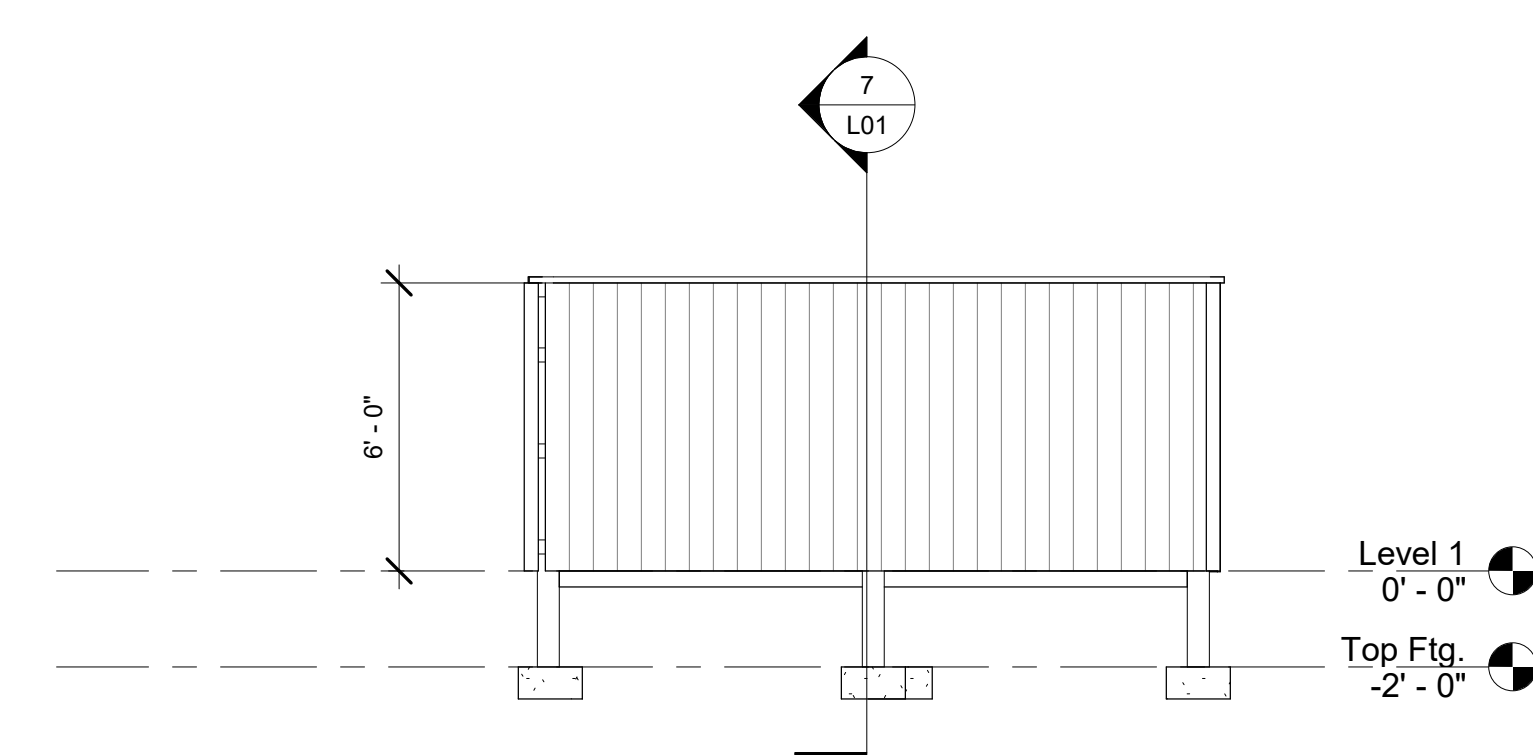
③ East  
1/4" = 1'-0"



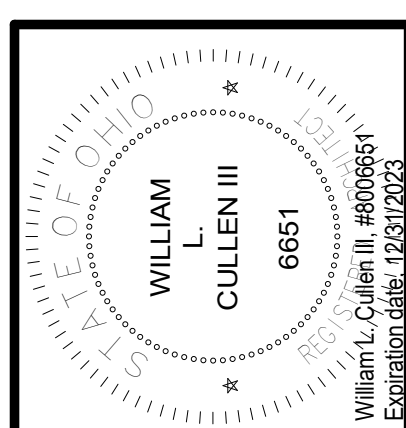
④ North  
1/4" = 1'-0"



5 South  
1/4" = 1'-0"



⑥ West  
1/4" = 1'-0"

[illegible]

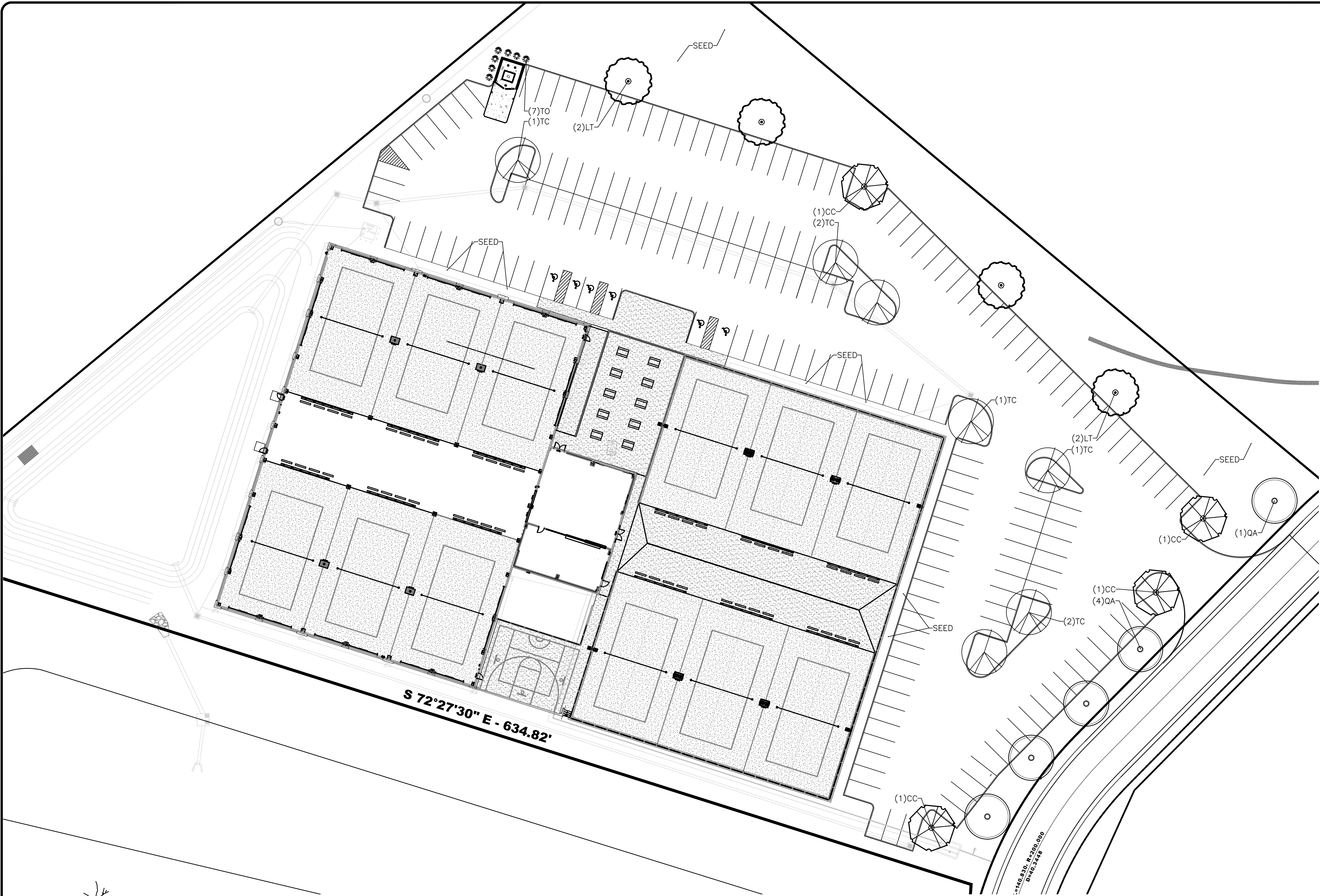
PROPOSED INDOOR SAND VOLLEYBALL COURTS FOR:

**CINCINNATI SAND VOLLEYBALL CLUB**

508 ROUND BOTTOM RD.  
MILFORD, OHIO 45150  
UNION TWP.  
CLERMONT COUNTY

DUMPSTER ENCLOSURE	
Project number	2241
Issue Date	06/04/23
Drawn by	Author
Checked by	Checker
L01	
Scale	As indicated



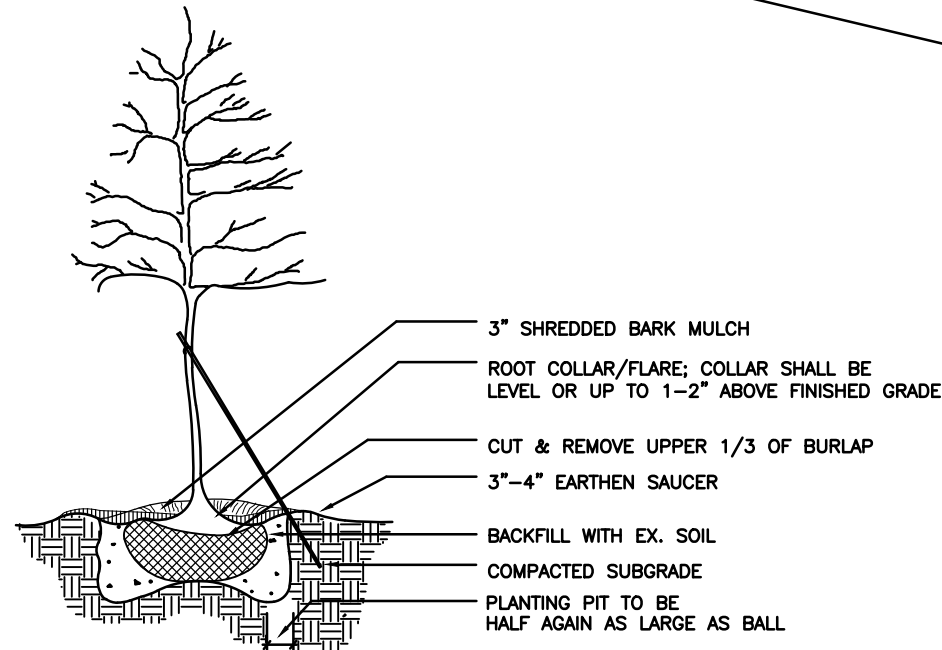


LANDSCAPE NOTES:

- ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PLANTING BEDS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL AND TILL WITH LOOSE SUBGRADE. GRADE PLANTING BEDS TO A SMOOTH, UNIFORM GRADE.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF SPECIFIED.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING.

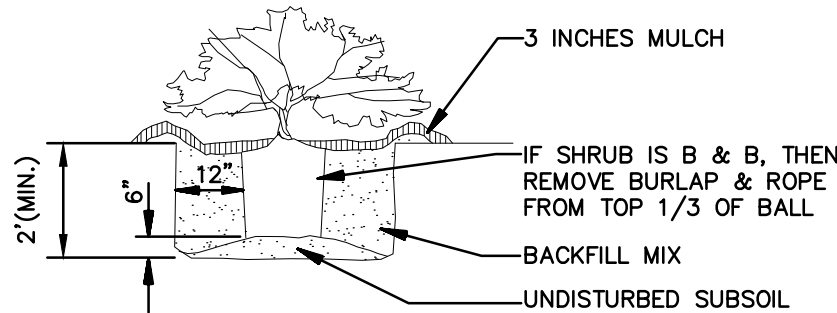
PERMANENT SEEDING

- ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEEDED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURE'S WRITTEN RECOMMENDED RATE.
- TILL AREAS TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREAS TO REMOVE DEBRIS 1" OR LARGER. PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH EROSION CONTROL FIBER MESH.
- PROTECT SEEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1" OVER SEEDED AREAS.



TREE PLANTING

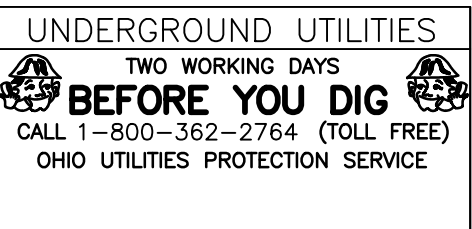
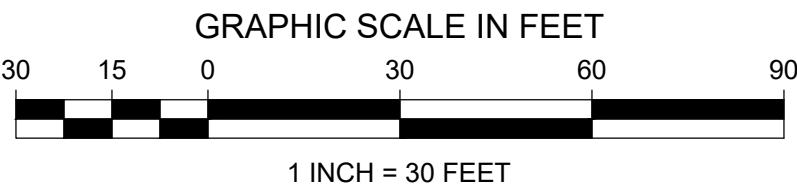
NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
CANOPY TREES						
CC	4	Carpinus caroliniana	American Hornbeam	2.0" cal.	B&B	Straight Central Leader
LT	4	Liriodendron tulipifera	Tulip Tree	2.0" cal.	B&B	Straight Central Leader
QA	5	Quercus alba	White Oak	2.0" cal.	B&B	Straight Central Leader
TC	7	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.0" cal.	B&B	Straight Central Leader
SHRUBS						
TO	7	Thuja occidentalis 'Emerald'	Emerald Green Arborvitae	4' ht.	B&B	



REVISION NUMBER	DATE	REMARKS

2kLA

2K Landscape Architecture  
3234 Harvest Avenue  
Cincinnati, Ohio 45213  
www.2klandscapearchitecture.com

LANDSCAPE PLAN

CINCY SAND VOLLEYBALL

508 ROUND BOTTOM ROAD  
UNION TWP., CLERMONT COUNTY, OH

OWNER:

PROJECT NO.: 2023-23

DATE: JUNE 9, 2023

DRAWN BY: KTC

CHECKED BY: KTC

SCALE: 1" = 30'

SHEET:

L-1



CLOSURE

546.81' N 50°20'05" E, Delta X = 420.9270, Delta Y = 349.0296  
497.45' S 50°05'53" E, Delta X = 381.6155, Delta Y = -319.1021  
RAD=220' ARC 22.29'  
CH=22.28' S 47°42'56" W, Delta X = -16.4831, Delta Y = -14.9902  
172.49' S 44°48'46" W, Delta X = -121.5696, Delta Y = -122.3667  
RAD=220' ARC 155.53'  
CH=152.31' S 24°33'37" W, Delta X = -63.3077, Delta Y = -138.5297  
54.77' N 4°18'30" E, Delta X = 4.1145, Delta Y = 54.6152  
634.82' N 72°27'30" W, Delta X = -605.2996, Delta Y = 191.3343

X=0.00' Y=0.01'

TC PROPERTIES OF OKI, LLC  
Parent Parcel I.D. 403108C010  
O.R. BOOK 1872, Pg. 562

SURVEYOR'S NOTES

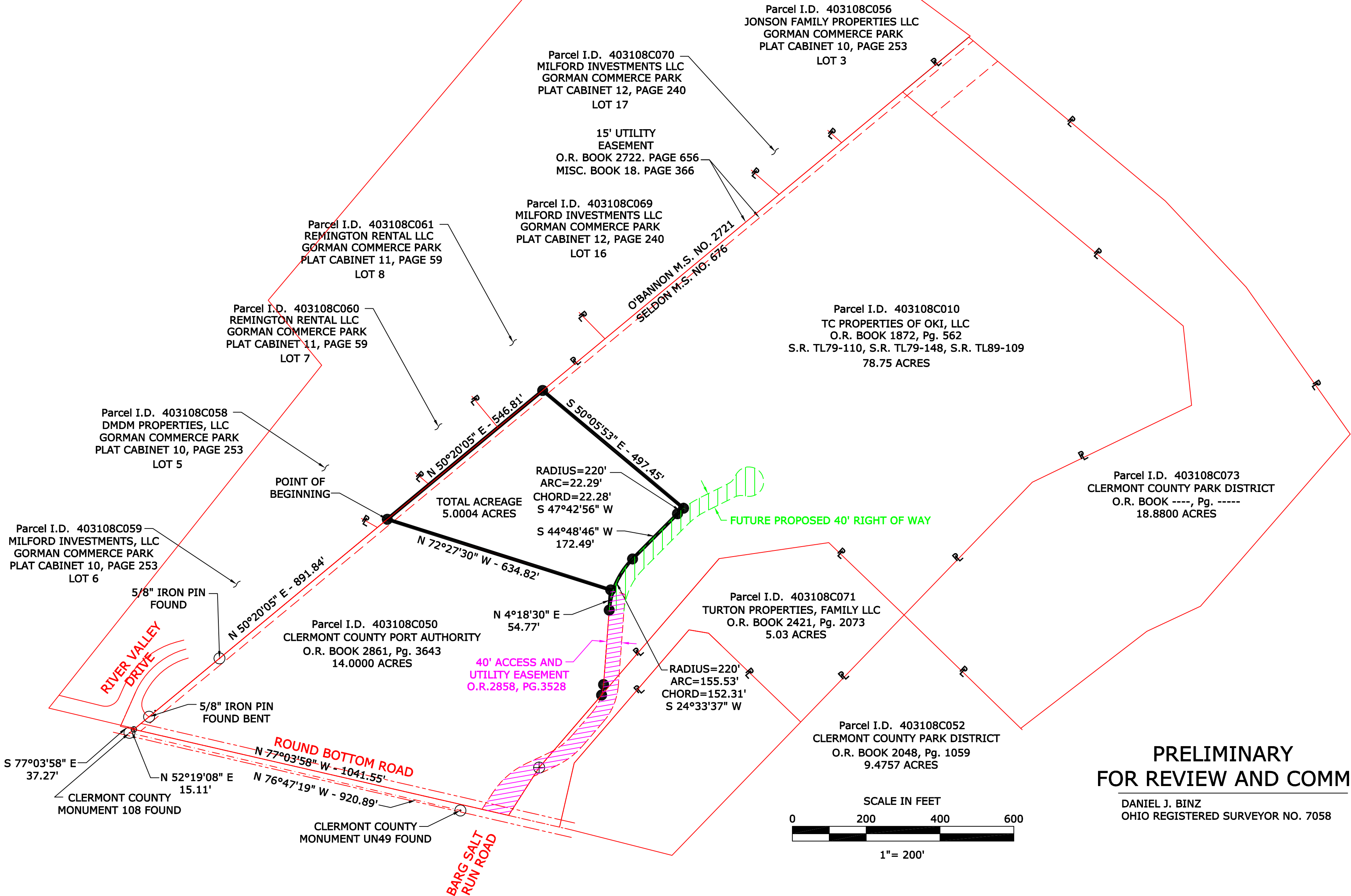
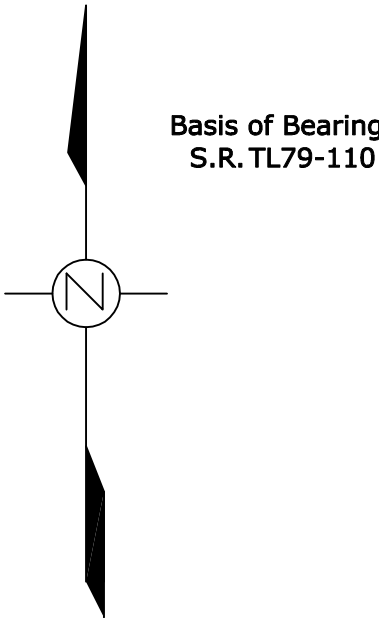
1) Pertinent Documents and Sources of Data Used:

O.R. BOOK 1872, Pg. 562 O.R. BOOK 2421, Pg. 2073  
S.R. TL79-110, S.R. TL79-148, S.R. TL89-109  
S.R. TL95-110  
GORMAN COMMERCE PARK  
PLAT CABINET 10, PAGE 253  
PLAT CABINET 11, PAGE 59  
PLAT CABINET 12, PAGE 240

2) This plat is a result of a present field survey.  
3) In general, the property matches adjacent properties and survey records.  
4) Monumentation set as shown.

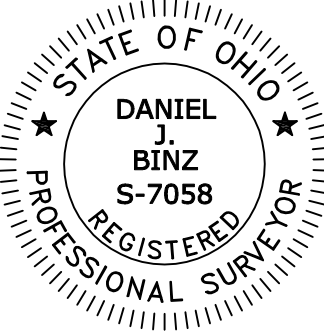
LEGEND

○ 5/8" Iron Pin Found or as Noted  
● 5/8" Iron Pin With Cap Set  
⊕ Mag Nail Set



PRELIMINARY  
FOR REVIEW AND COMMENT

DANIEL J. BINZ  
OHIO REGISTERED SURVEYOR NO. 7058



Property Survey  
Situated In  
Union Township, Clermont County, Ohio  
Seldon's M. S. No. 676

Job Number  
23005.03

Revisions

Date  
6/2/2023

Sheet Number  
1  
1

Binz Surveying, LLC  
OHIO - INDIANA - KENTUCKY  
• ALTA/ACSM SURVEY • MORTGAGE LOCATION SURVEY • PROPERTY SURVEY  
• CONSOLIDATION SURVEY • GPS • TOPOGRAPHIC SURVEY  
• CONSTRUCTION LAYOUT (binzsurveying@gmail.com 513-367-0055)



GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF UNION TWP. SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ROUND BOTTOM RD., RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM UNION TWP.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 666.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE ([HTTP://WWW.AGRI.OHIO.GOV/EAB/](http://www.agri.ohio.gov/EAB/)).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH SURVEYING BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES IMPACTING HIS WORK. BY LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT OHIO811.ORG, 8-1-1 OR 1-800-362-2764 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS (EXCLUDING WEEKENDS AND LEGAL HOLIDAYS) BEFORE BEGINNING ANY DIGGING.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR. STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE A (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPIGOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

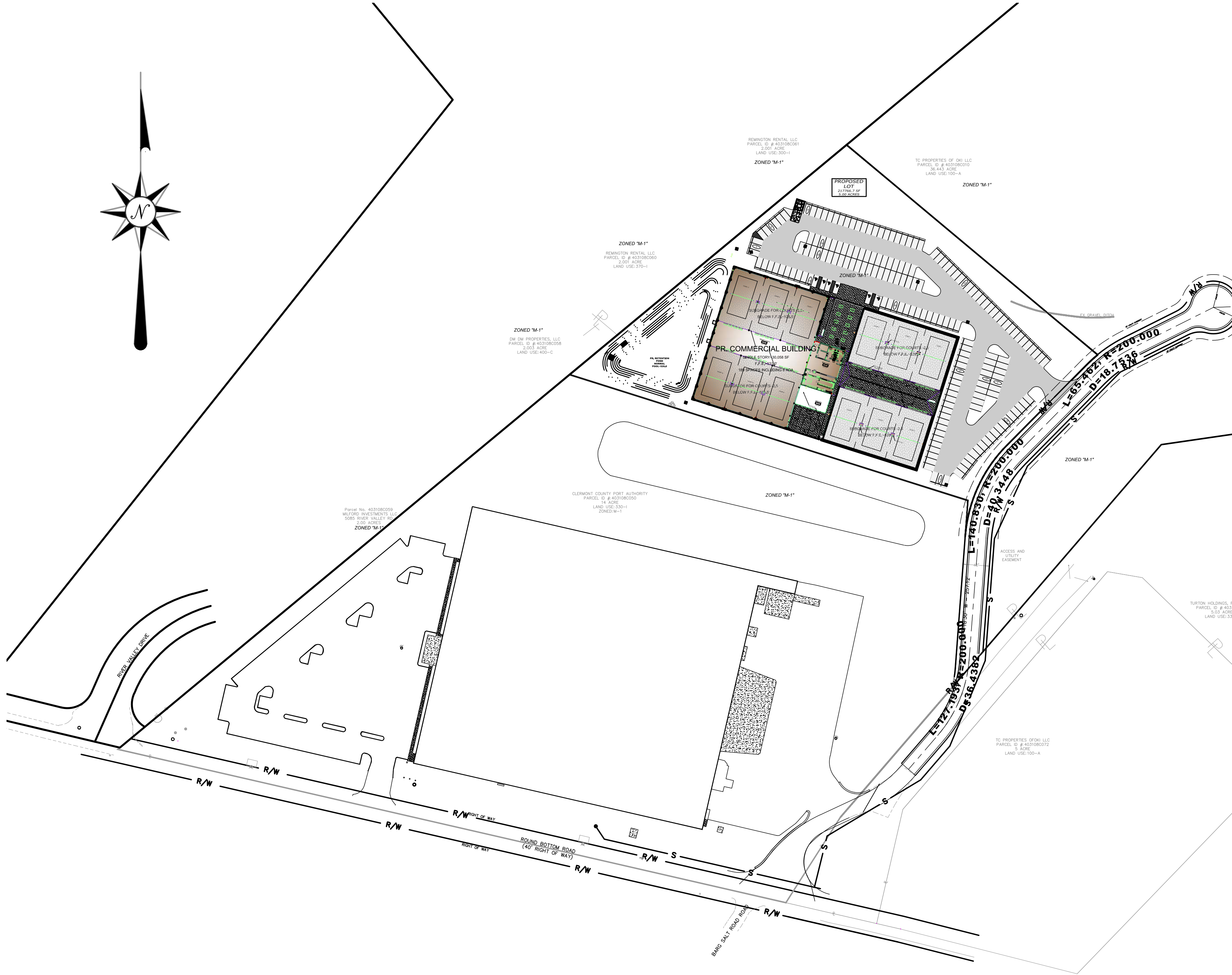
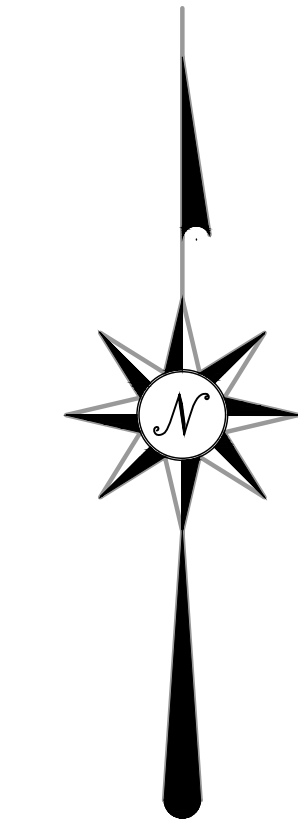
CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS. (SEE DETAIL SHEET).

DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL.

SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL



DEPARTMENT/ UTILITY TABLE:

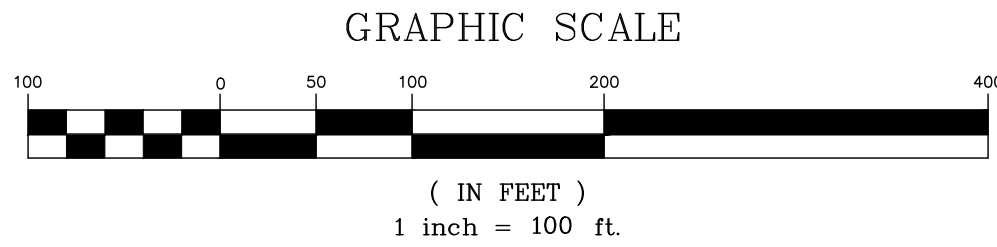
UNION TOWNSHIP PLANNING &  
ZONING DEPARTMENT  
4350 AICHOLTZ ROAD  
CINCINNATI, OH 45245  
TEL: (513)-753-2300

CLERMONT COUNTY BUILDING DEPT  
2275 BAUER RD.  
BATAVIA, OH 45103  
TEL: 513-732-7213

CLERMONT COUNTY ENGINEER  
2381 CLERMONT CENTER DR.  
BATAVIA, OH 45103  
TEL: (513)-732-8857

CLERMONT COUNTY WATER/SEWER  
4400 HASKELL LN.  
BATAVIA, OH 45103  
TEL: (513)-732-8864

DUKE ENERGY (GAS & ELECTRIC)  
TEL: 513-287-5631



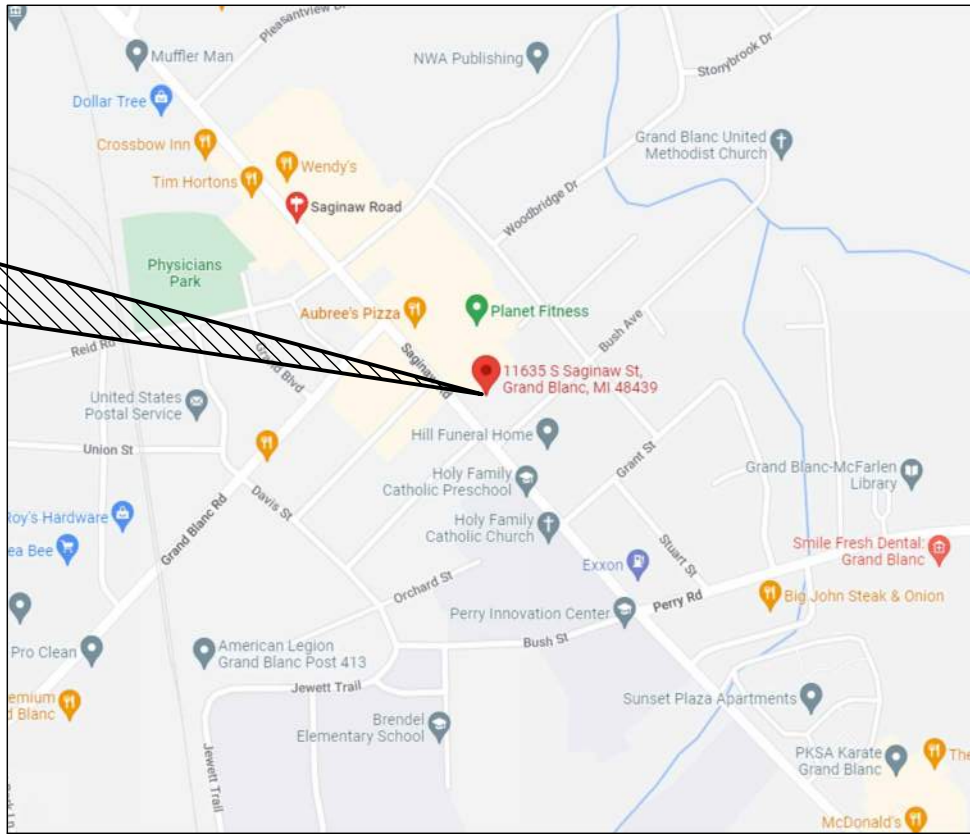
PLANS FOR THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING KNOWN AS:

# CINCI SAND VOLLEYBALL

ROUND BOTTOM RD., CLERMONT COUNTY, OHIO

APRIL, 2023

PROPOSED SITE



LOCATION MAP

OWNER:

TC PROPERTIES OF OKI LLC  
508 ROUND BOTTOM RD.  
UNION TWP., OH 45150

CIVIL ENGINEERING:

EVANS ENGINEERING  
4240 AIRPORT RD., SUITE 211  
CINCINNATI, OH 45226  
(513)-321-2168  
JONATHAN R. EVANS, P.E.

SURVEYING:

BINZ SURVEYING, LLC  
6547 BROOKS RD.  
HARRISON, OHIO 45030  
(513)-202-0525  
DANIEL BINZ

INDEX:

- |       |  |
|-------|--|
| C-1   | TITLE SHEET & GENERAL NOTES                  |
| C-1.1 | SITE CONSTRUCTION DETAILS                    |
| C-2   | EXISTING CONDITIONS & DEMO PLAN              |
| C-3   | SITE DIMENSION PLAN                          |
| C-3.1 | UTILITY SERVICE PLAN                         |
| C-4   | GRADING PLAN                                 |
| C-5   | STORMWATER POLLUTION PREVENTION PLAN (SWPPP) |
| C-5.1 | SWPPP NOTES & DETAILS                        |

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB-2-2A, 2-2B, 2-2C (7-16-2021) CATCH BASINS NOs 2-2A, B & C  
CB-2-3, 2-4 (7-16-2021) CATCH BASINS NO's 2-3 & 2-4  
CB-2-5, 2-6 (7-16-2021) CATCH BASINS NO's 2-5 & 2-6  
CB 3 (7-16-2021) CATCH BASIN NO. 3  
CB 3A (7-16-2021) CATCH BASIN NO. 3A  
MH 3 (7-16-2021) MANHOLE NO. 3  
BP-7.1 (7-17-2020) NEW CURB RAMPS  
HW-2.1 (7-20-2018) HALF-HEIGHT HEADWALLS

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

1. CONSTRUCT SITE CONSTRUCTION ENTRANCE
2. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
4. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
5. DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
6. INSTALL STORMWATER MANAGEMENT SYSTEMS.
7. TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
8. SITE CONSTRUCTION.
9. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
10. REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS  
NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CINCI SAND VOLLEYBALL  
TITLE SHEET & GENERAL  
NOTES

ROUND BOTTOM RD.,  
UNION TWP., CLERMONT COUNTY, OHIO

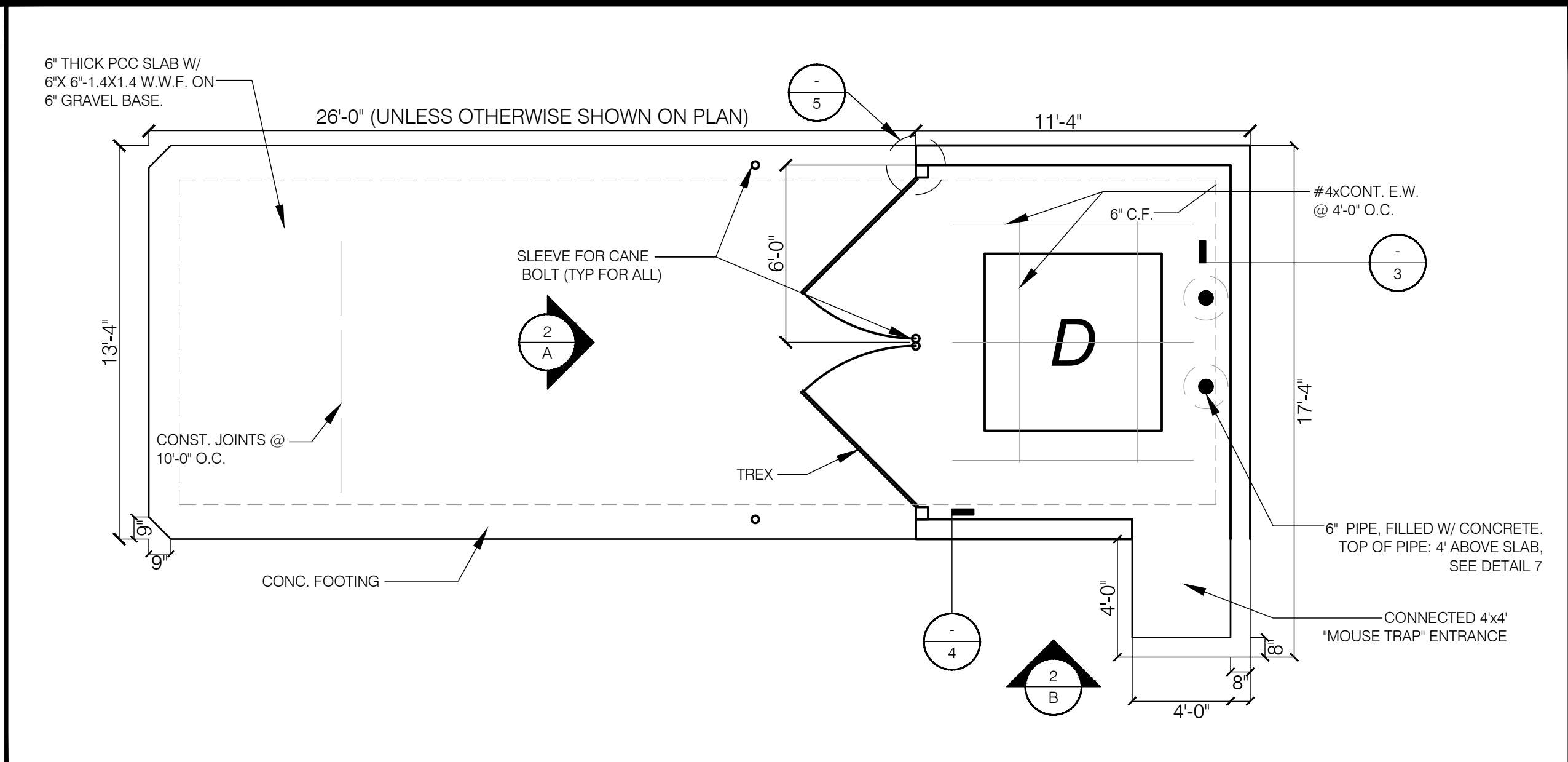
SCALE: HORIZ. VERT.  
1"=100' N/A

JOB NO. 23-104  
DATE Jun. 9, 2023

SHEET NO.

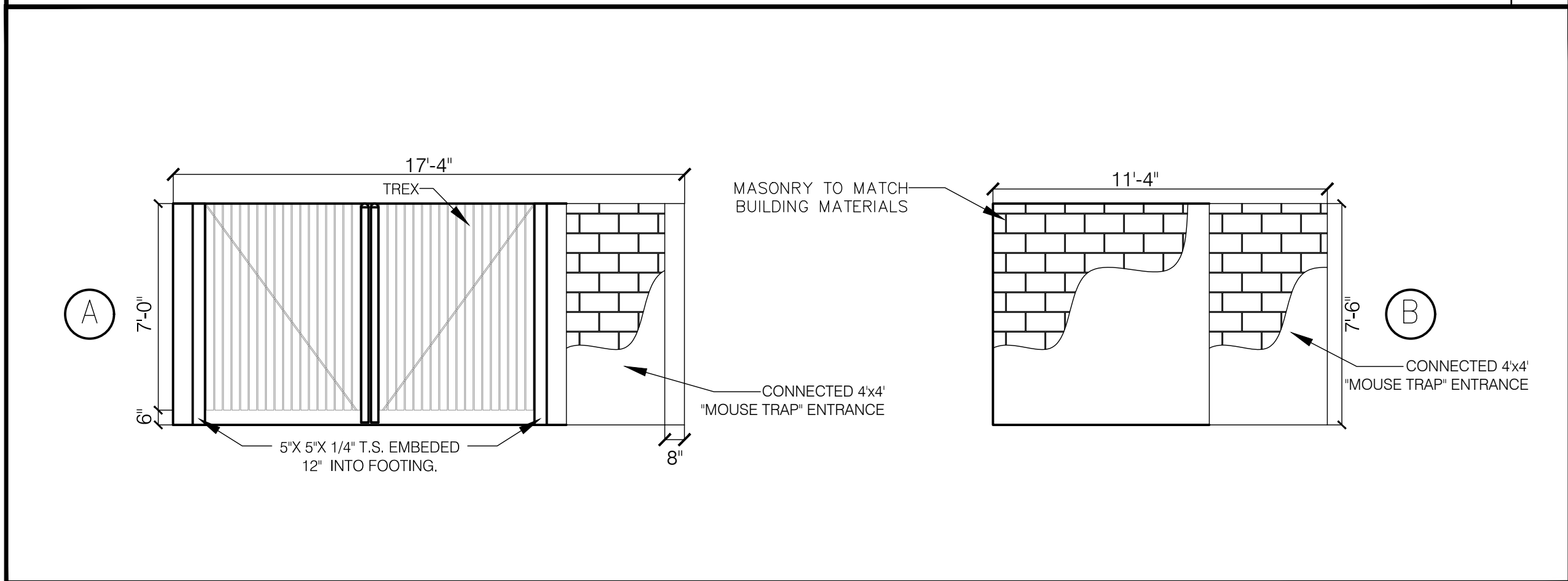
C-1





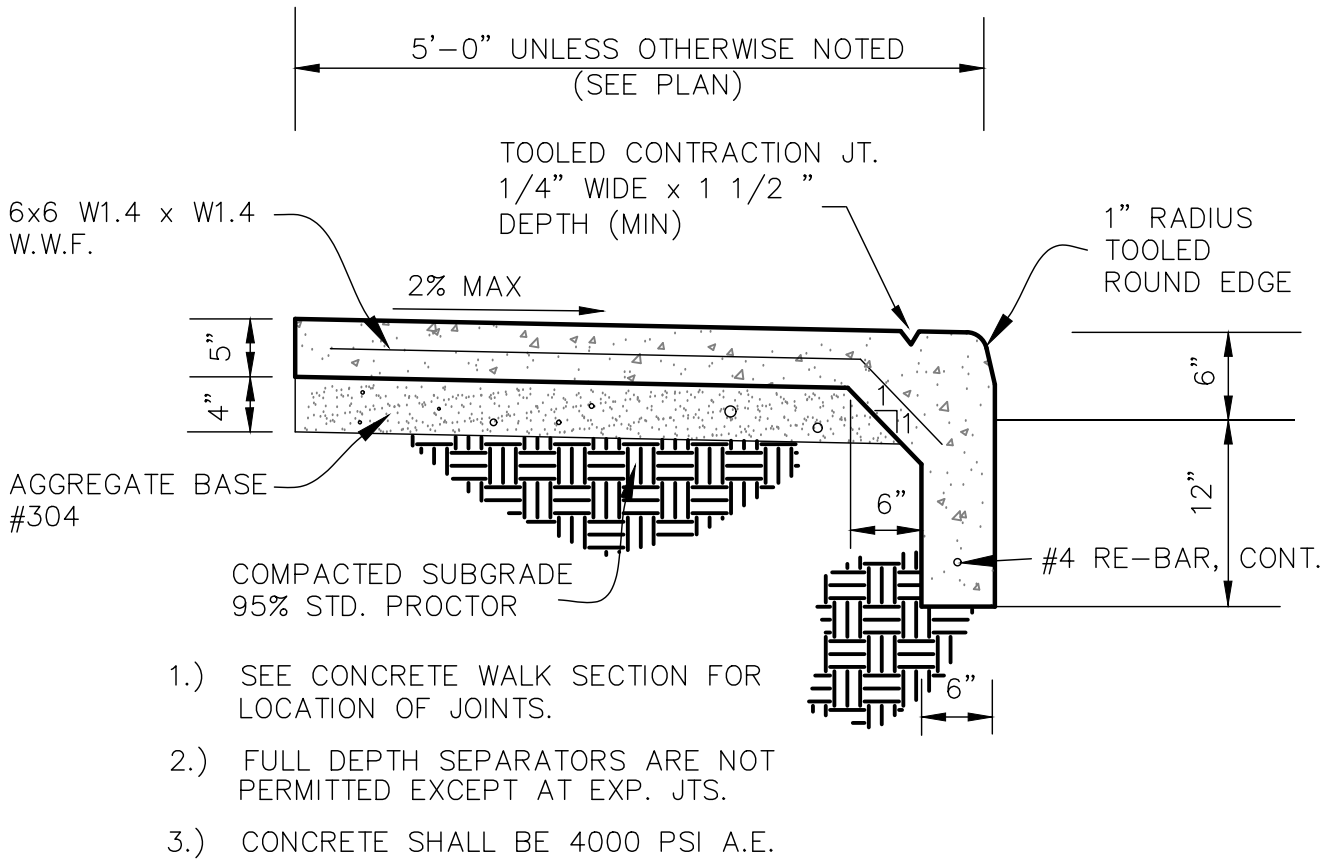
PLAN VIEW 1/4"=1'-0"

1

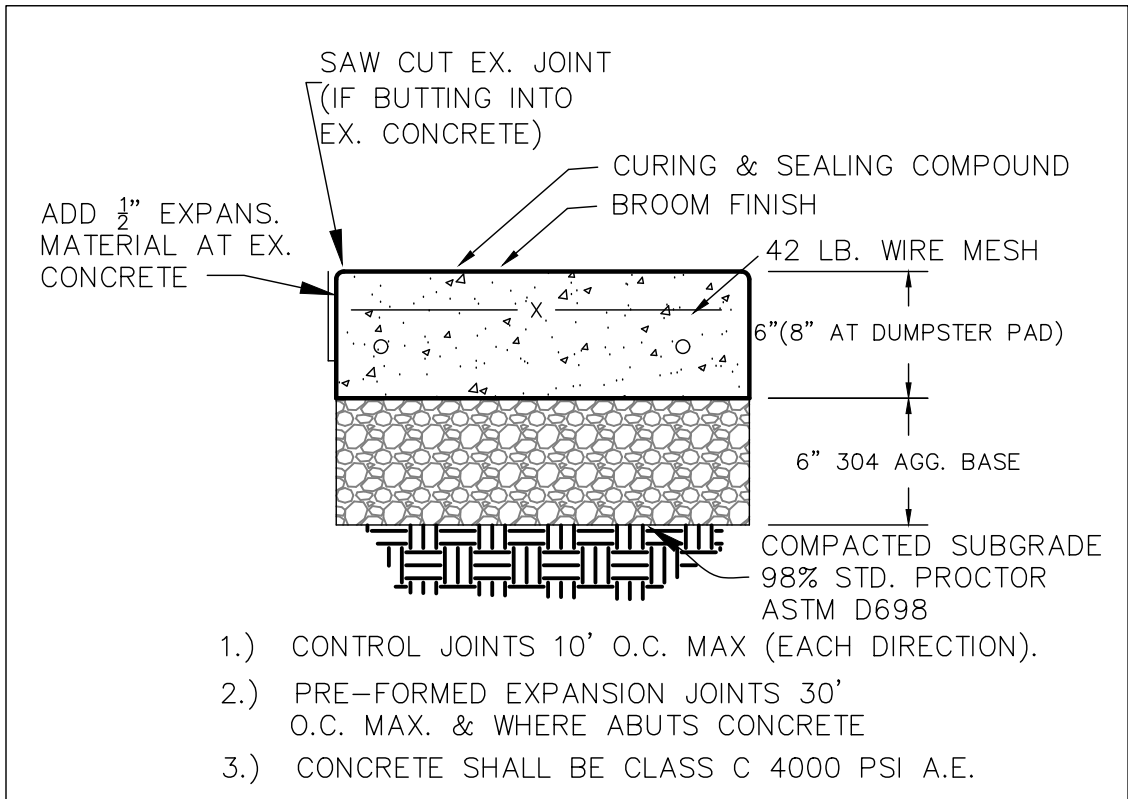


ELEVATION 1/4"=1'-0"

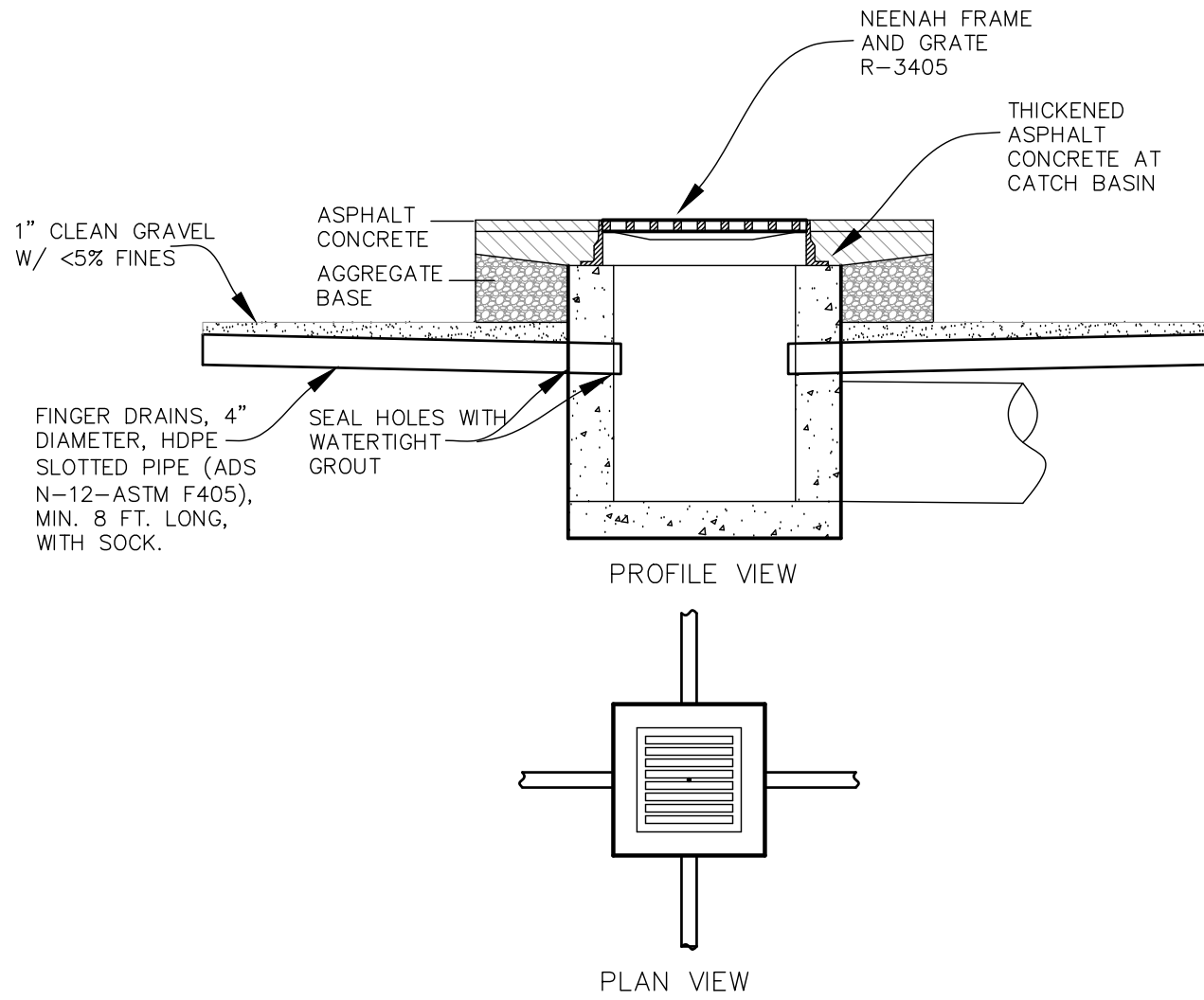
2



INTEGRAL WALK AND CURB  
NOT TO SCALE

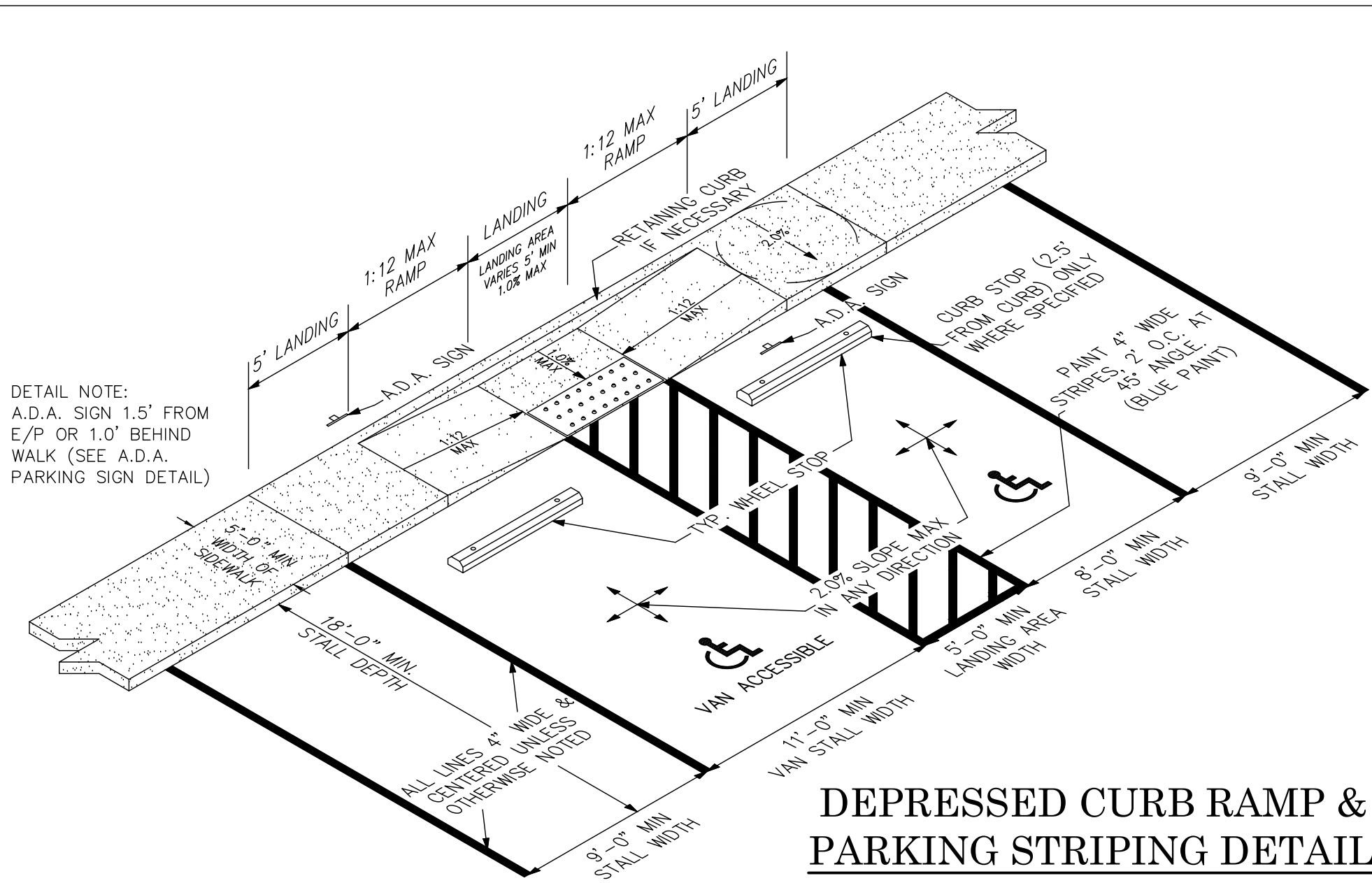


CONCRETE PAVING DETAIL  
NOT TO SCALE

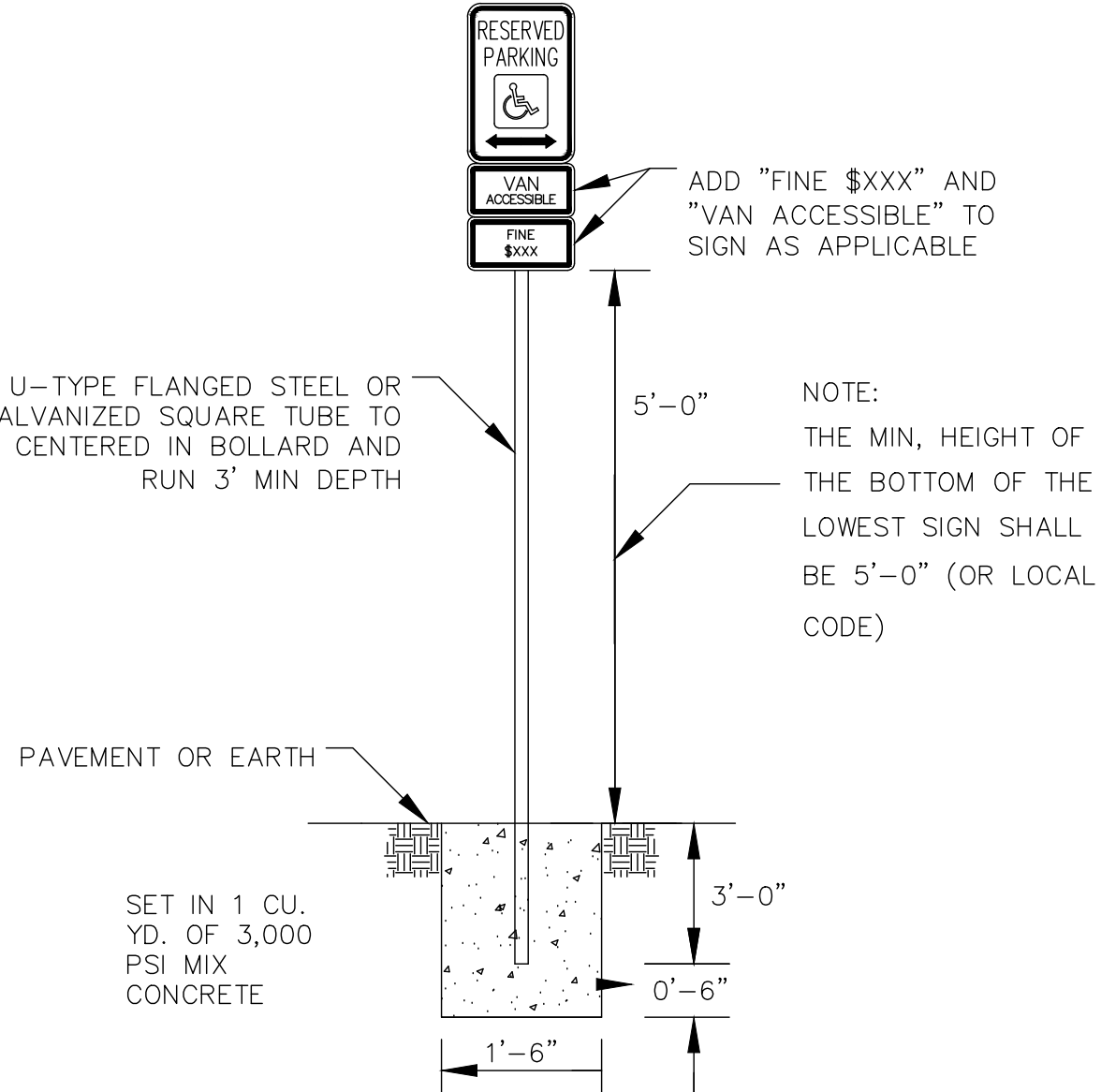


- NOTES:
1. PIPE TO BE HDPE SLOTTED—ADS N-12, ASTM F405 (OR EQUAL)
  2. SLOPE PIPE AND TRENCH BOTTOM FOR POSITIVE DRAINAGE TO INLET—2% RECOMMENDED.
  3. WRAP EACH SLOTTED PIPE IN FILTER SOCK.
  4. FRAME AND GRATE SHALL BE NEENAH R-3405. (HEAVY DUTY FRAME AND GRATE)
  5. FINGER DRAIN TO BE OMITTED WHEN THERE IS A CONFLICT BETWEEN INLET/OUTLET PIPE ELEVATIONS AND FINGER DRAIN.
  6. HOLE FOR FINGER DRAIN SHALL BE SEALED WITH WATERTIGHT GROUT.

DETAIL AT CATCH BASIN IN PAVEMENT  
NOT TO SCALE

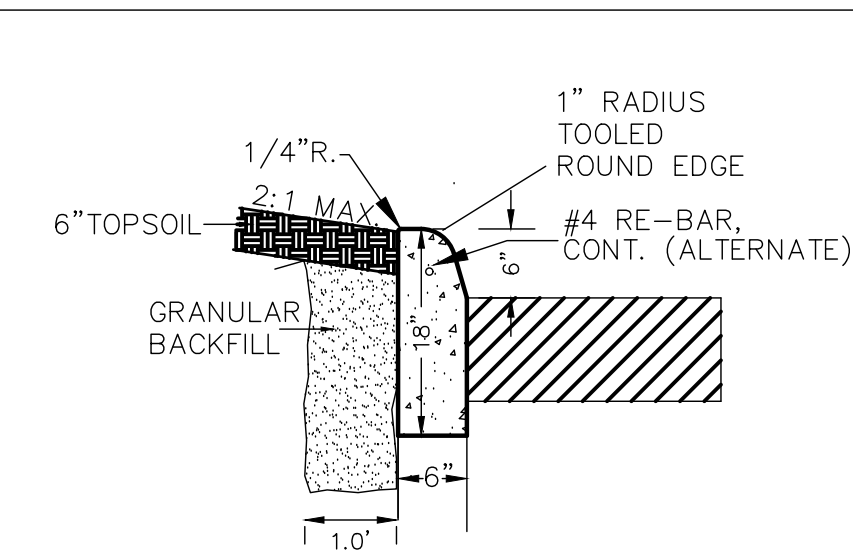


DEPRESSED CURB RAMP &  
PARKING STRIPING DETAIL  
NOT TO SCALE

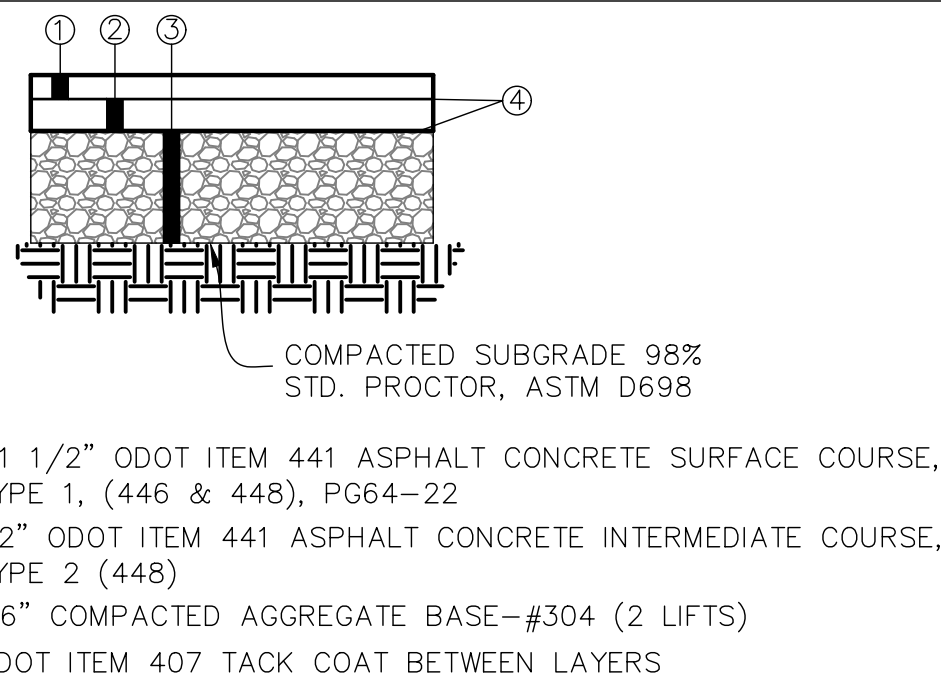


- NOTES:
1. A.D.A. SIGN TYPE: A. 18"x12" B. 9"x12"
  2. "FINE" AND "VAN ACCESSIBLE" SIGN TO BE INSTALLED BASED ON LOCAL CODE.
  3. ALL SIGNS SHALL COMPLY WITH U.S. ADMINISTRATIONS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," LOCAL CODES AND AS SPECIFIED, MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

ADA PARKING SIGN DETAIL  
NOT TO SCALE

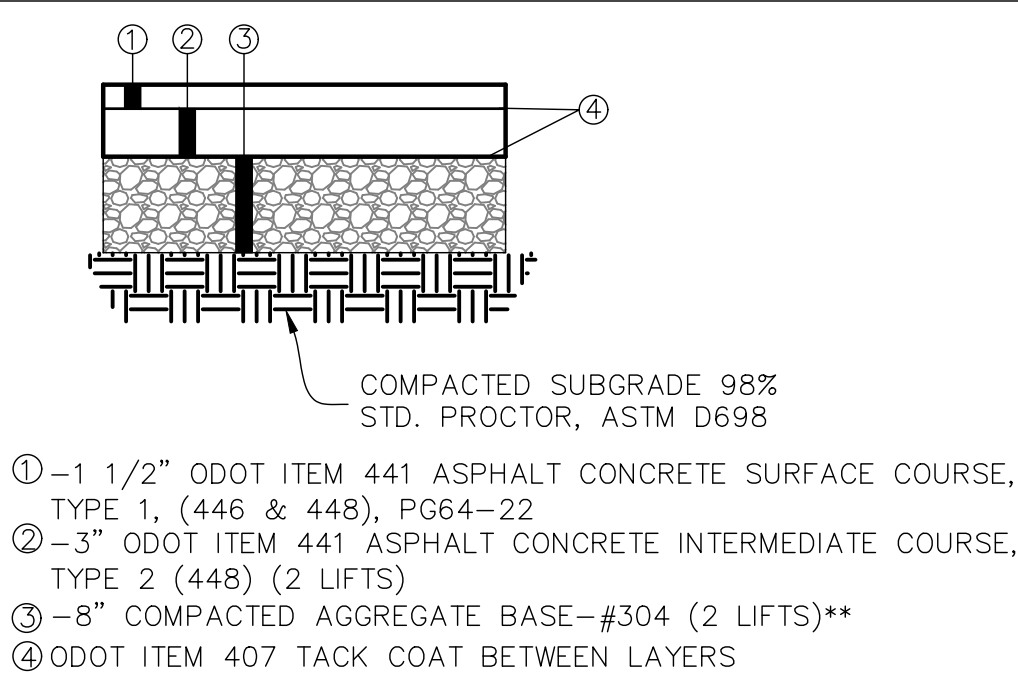


18" STRAIGHT CURB  
NOT TO SCALE

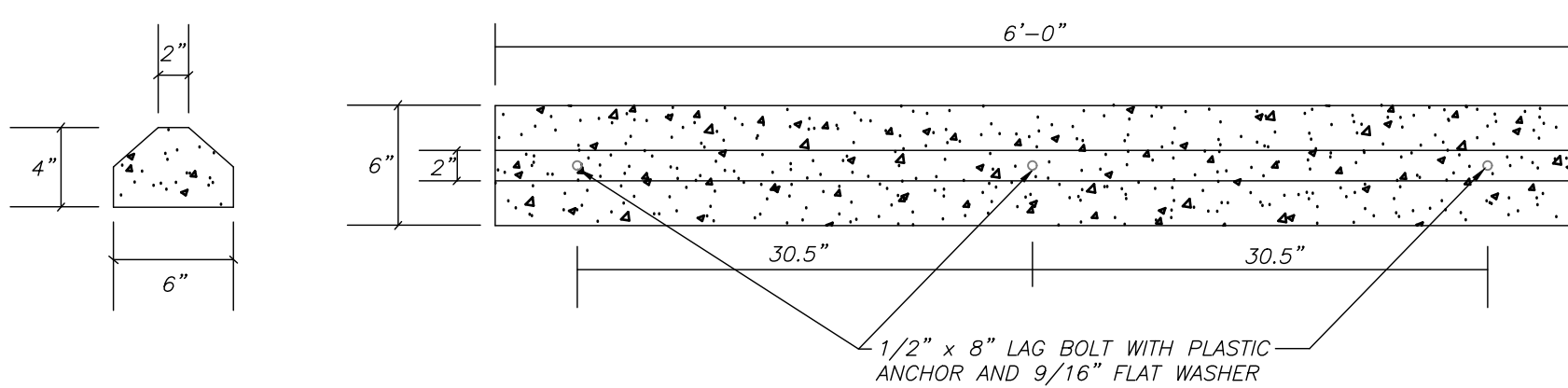


MEDIUM DUTY ASPHALT PAVING  
NOT TO SCALE

- ADDITIONAL PAVING NOTES:
- AFTER BITUMINOUS PAVEMENT HAS BEEN REPLACED, SAWCUT OR ROUTE JOINT BETWEEN EXISTING AND NEW PAVEMENT AND FILL WITH HOT POURED RUBBER JOINT SEALER PRODUCT. HOT POURED RUBBER JOINT SEALER SHALL BE ONE OF THE FOLLOWING OR AN APPROVED EQUAL:
- 1) ROADSAVER 221; CRAFTCO INC.
  - 2) PRODUCT #9005 OR #9030; KOCH MATERIAL COMPANY
  - 3) SEALTIGHT HI-SPEC; W.R. MEADOWS, INC.



HEAVY DUTY ASPHALT PAVING  
NOT TO SCALE



WHEEL STOP DETAIL  
NOT TO SCALE

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CINCINNATI VOLLEYBALL  
SITE CONSTRUCTION  
DETAILS

ROUND BOTTOM RD.  
UNION TWP., CLERMONT COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=X'	N/A

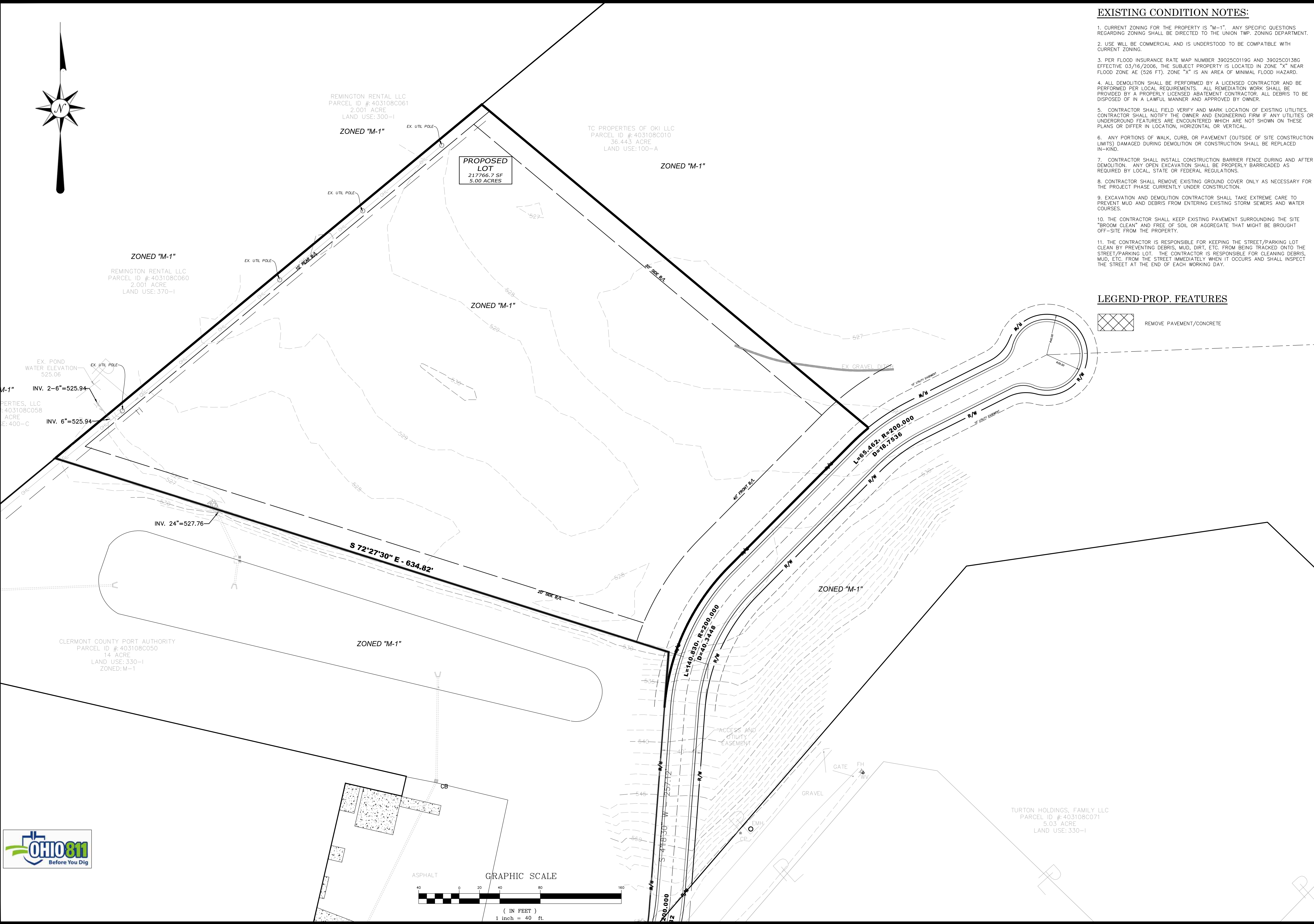
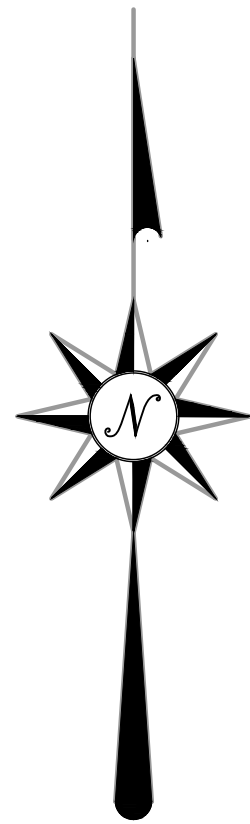
JOB NO.	23-104
DATE	Jun. 9, 2023

SHEET NO.

C-1.1



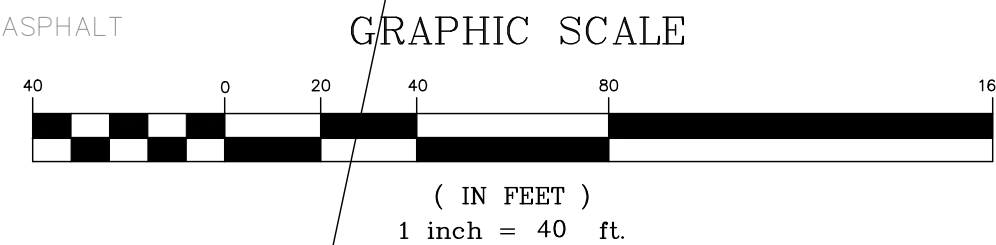




EXISTING CONDITION NOTES:

- 1. CURRENT ZONING FOR THE PROPERTY IS "M-1". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE UNION TWP. ZONING DEPARTMENT.
- 2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.
- 3. PER FLOOD INSURANCE RATE MAP NUMBER 39025C0119Q AND 39025C0138Q EFFECTIVE 03/16/2006, THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" NEAR FLOOD ZONE AE (526 FT). ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD.
- 4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
- 5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.
- 6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-KIND.
- 7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
- 8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
- 9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
- 10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE PROPERTY.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

LEGEND-PROP. FEATURES



PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS		
NO.	BY	DESCRIPTION

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CINCINNATI VOLLEYBALL  
EXISTING CONDITIONS &  
DEMO PLAN  
ROUND BOTTOM RD.,  
UNION TWP., CLERMONT COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=40'	N/A
JOB NO.	23-104	
DATE	Jun. 9, 2023	

SHEET NO.



LEGEND-PROP. FEATURES

- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT  
CONCRETE PAVEMENT
- NEW PORTLAND CEMENT  
CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

PARKING TABLE:

PROPOSED PARKING=	183
ADA ACCESSIBLE =	6
TOTAL PARKING	189 SPACES (MIN. 9' X 18')

IMPERVIOUS SURFACE RATIO:

LOT SIZE =	217,767 SF (5.0 ACRES)
IMPERVIOUS AREA =	142,144 SF
PERVIOUS AREA=	75,623 SF
ISR=	0.65

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
4. ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
5. ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
6. ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
7. PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE PAVEMENT.

REMINGTON RENTAL LLC  
PARCEL ID #: 403108C061  
2.001 ACRE  
LAND USE: 300-I

ZONED "M-1"

TC PROPERTIES OF OKI LLC  
PARCEL ID #: 403108C010  
36.443 ACRE  
LAND USE: 100-A

ZONED "M-1"

PROPOSED  
LOT  
217766.7 SF  
5.00 ACRES

ZONED "M-1"

REMINGTON RENTAL LLC  
PARCEL ID #: 403108C060  
2.001 ACRE  
LAND USE: 370-I

ZONED "M-1"

DM DM PROPERTIES, LLC  
PARCEL ID #: 403108C058  
2.003 ACRE  
LAND USE: 400-C

PR. RETENTION  
POND  
NORMAL  
POOL-526.0

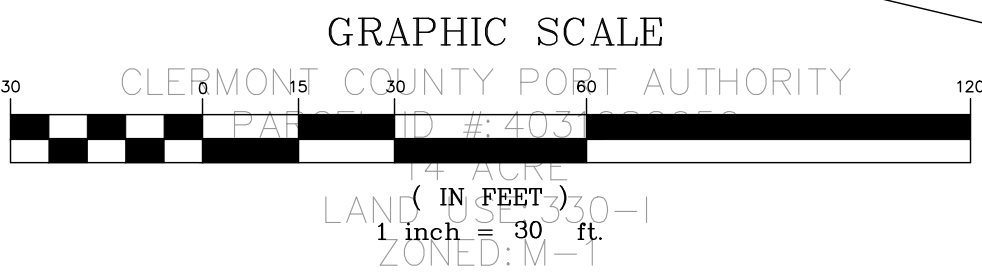
PR. COMMERCIAL BUILDING

SINGLE STORY-30,058 SF  
F.F.E.=531.0'  
189 SPACES INCLUDING 6 ADA

SUBGRADE FOR COURTS -2.5  
BELOW F.F.E.-528.5'

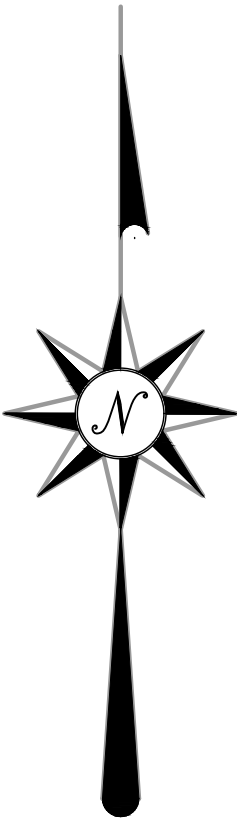
SUBGRADE FOR COURTS -2.5  
BELOW F.F.E.-528.5'

SUBGRADE FOR COURTS -2.5  
BELOW F.F.E.-528.5'



ZONED "M-1"

ZONED "M-1"



PRELIMINARY  
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EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CINCINNATI SAND VOLLEYBALL  
SITE DIMENSION PLAN  
ROUND BOTTOM RD.,  
UNION TWP., CLERMONT COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=30'	N/A

JOB. NO.	23-104
DATE	Jun. 9, 2023

SHEET NO.

C-3





UTILITY NOTES:

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BINZ SURVEYING.
2. ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
3. FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL PLANS PRIOR TO STARTING CONSTRUCTION.
4. THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
6. SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
7. COORDINATE WITH CLERMONT COUNTY FOR BUILDING SEWER AND WATER TAPS.
8. ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
10. SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER LOCATION.
11. A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
14. SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ECT. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
17. DOWNSPOUT DRAIN CONNECTION SHALL BE 2.0' MIN. BELOW FINISHED FLOOR ELEVATION. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECTURAL PLAN.
18. CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
19. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
20. WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
21. ALL DOMESTIC WATER PIPE SHALL BE TYPE K COPPER.
22. SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN.
23. CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS
24. GAS SERVICE TO BE INSTALLED BY DUKE ENERGY, FROM MAIN TO METER SETTING. IF CONTRACTOR ELECTS TO PAVE OR COVER AREA BEFORE SERVICE INSTALLED, CONTRACTOR SHALL INSTALL 4" OR 6" PVC WITH PULL STRING SO DUKE CAN PULL LINE THROUGH CONDUIT. COORDINATE WITH DUKE ENERGY BEFORE COMMENCING WORK.

LEGEND-PROP. FEATURES

- W — PROPOSED DOMESTIC WATER SERVICE (1.5" METER-INSIDE BUILDING; 2" LINE, TYPE K COPPER)  
SS — ALL WATER LINES TO HAVE A MINIMUM OF 48" OF COVER  
— PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 2.00% MIN.  
— PROPOSED STORM SEWER  
E — PROPOSED UNDERGROUND ELECTRIC SERVICE  
G — PROPOSED GAS SERVICE (SIZE TBD BY USE)  
— INSTALL 4" CONDUIT WITH PULL STRING AND LOCATOR WIRE (IF NEEDED) (24 BELOW)  
DS —PR. DOWNSPOUT  
RD —PR. 6" SDR 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

ZONED "M-1"

IGTON RENTAL LLC  
L ID #: 403108C060  
2.001 ACRE  
AND USE: 370-1

PROPOSED LOT  
217766.7 SF  
5.00 ACRES

PR. COMMERCIAL BUILDING

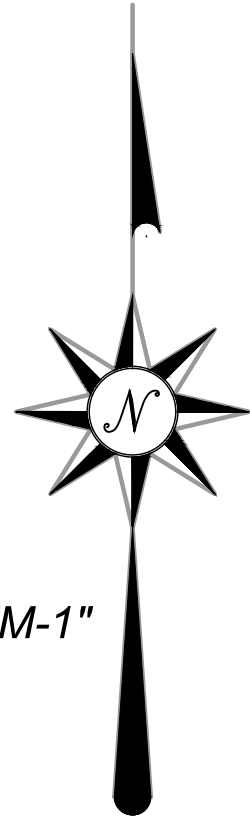
SINGLE STORY-30,058 SF  
F.F.E.=531.0'  
189 SPACES INCLUDING 6 ADA

CLERMONT COUNTY PORT AUTHORITY  
PARCEL ID #: 403108C050  
14 ACRE  
LAND USE: 330  
ZONED "M-1"

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



ZONED "M-1"

ZONED "M-1"

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION
BY	
DATE	

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



UTILITY SERVICE PLAN  
CINCINNATI VOLLEYBALL  
ROUND BOTTOM RD.,  
UNION TWP., CLERMONT COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=30'	N/A

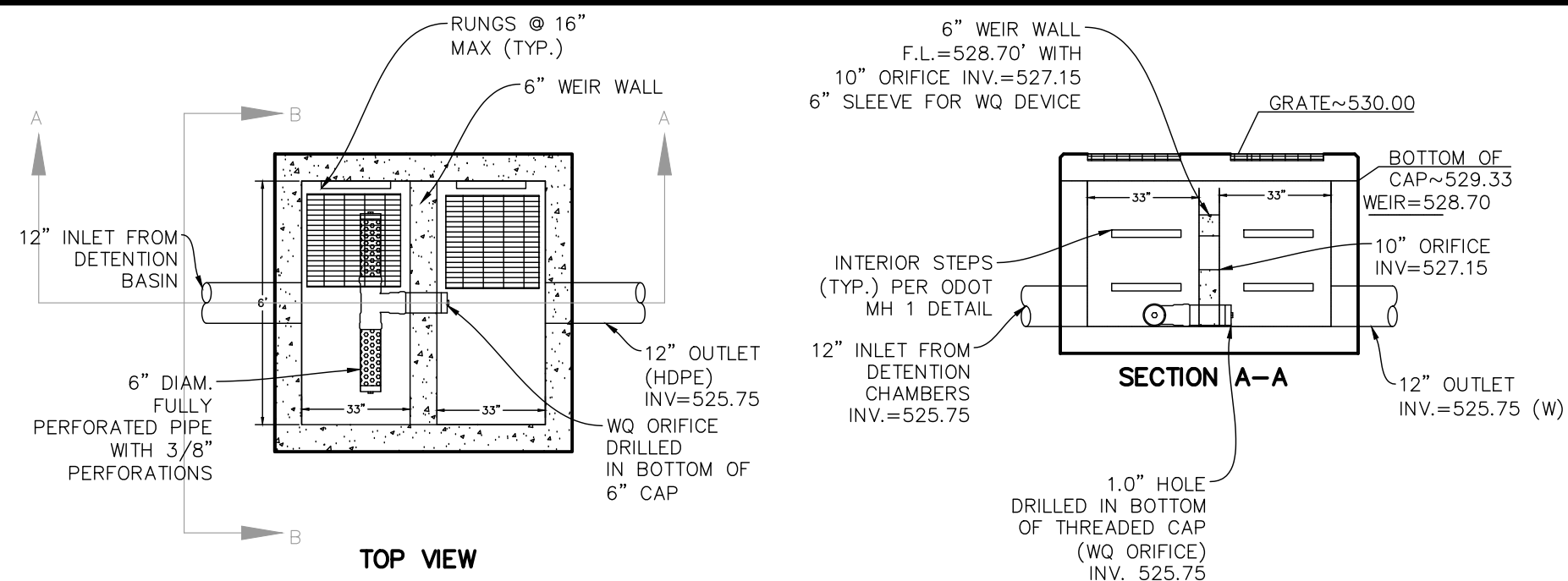
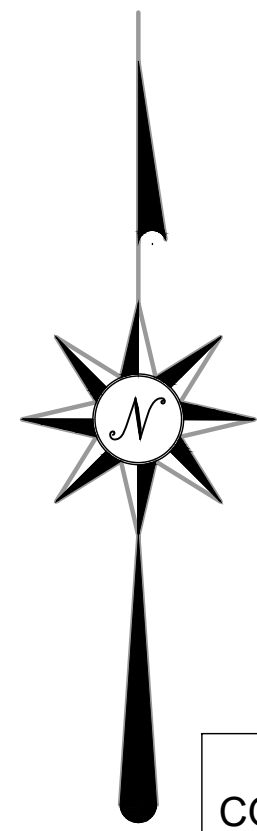
JOB NO.	23-104
DATE	Jun. 9, 2023

SHEET NO.

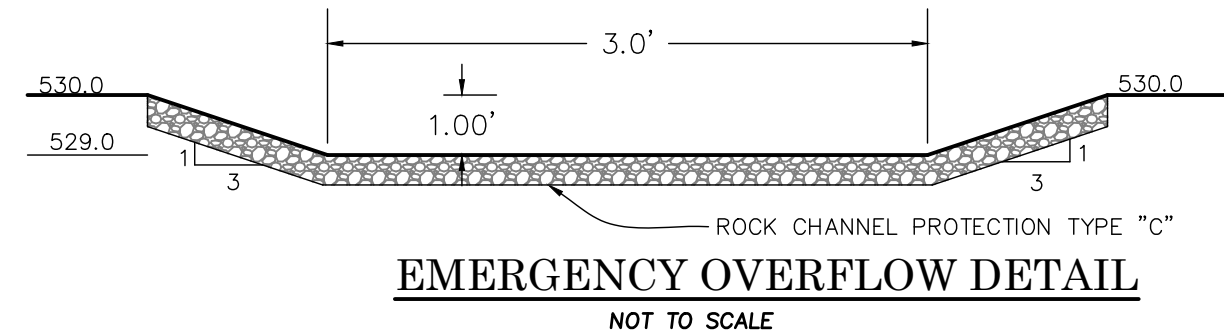
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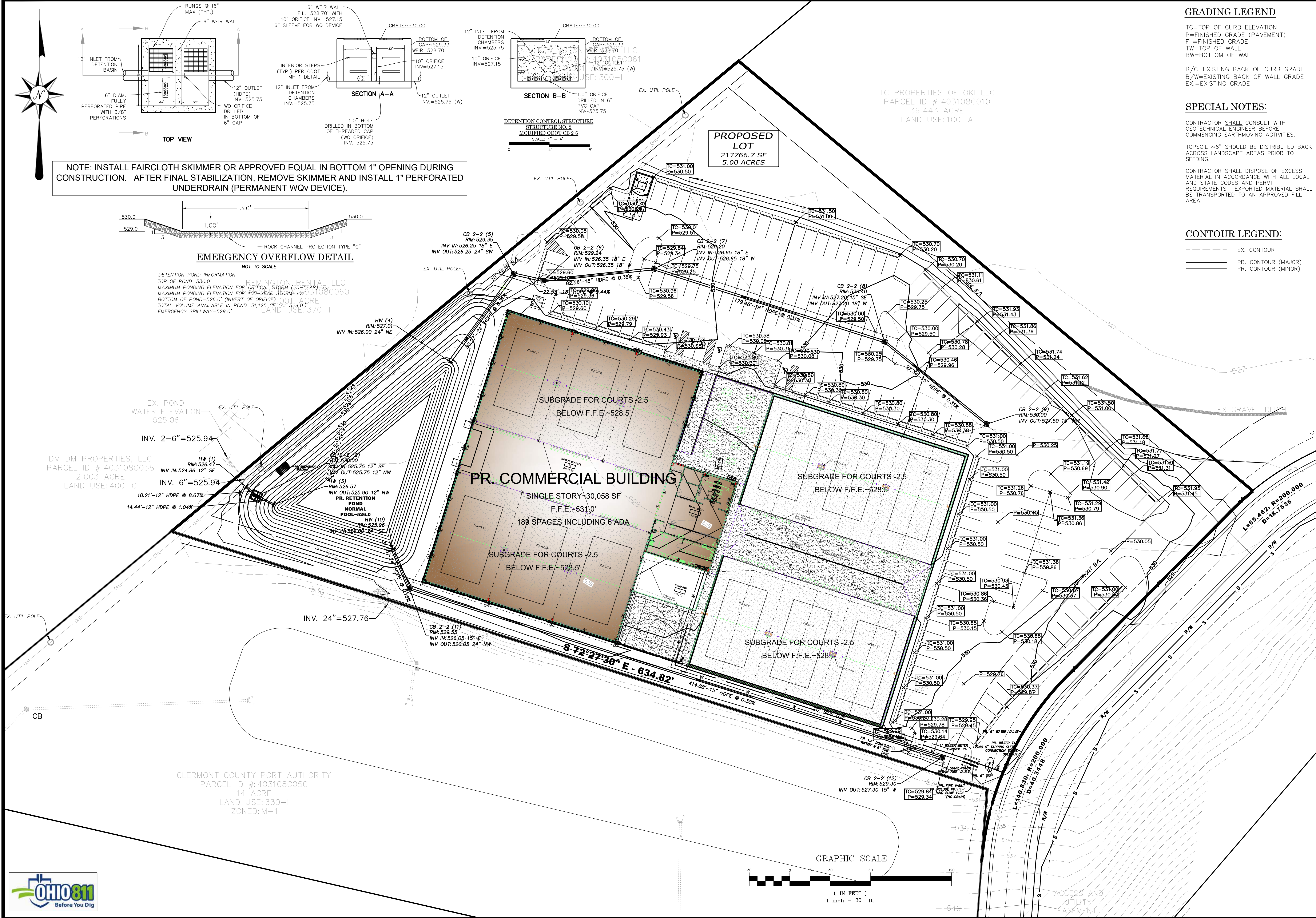




NOTE: INSTALL FAIRCLOTH SKIMMER OR APPROVED EQUAL IN BOTTOM 1" OPENING DURING CONSTRUCTION. AFTER FINAL STABILIZATION, REMOVE SKIMMER AND INSTALL 1" PERFORATED UNDERDRAIN (PERMANENT WQV DEVICE).



DETENTION POND INFORMATION  
TOP OF POND=530.0'  
MAXIMUM PONDING ELEVATION FOR CRITICAL STORM (25-YEAR)=532.0'  
MAXIMUM PONDING ELEVATION FOR 100-YEAR STORM=531.0'  
BOTTOM OF POND=526.0' (INVERT OF ORIFICE)  
TOTAL VOLUME AVAILABLE IN POND=31,125 CF (At 529.0')  
EMERGENCY SPILLWAY=529.0'



#### GRADING LEGEND

TC=TOP OF CURB ELEVATION  
P=FINISHED GRADE (PAVEMENT)  
F=FINISHED GRADE  
TW=TOP OF WALL  
BW=BOTTOM OF WALL  
B/C=EXISTING BACK OF CURB GRADE  
B/W=EXISTING BACK OF WALL GRADE  
EX=EXISTING GRADE

#### SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.  
TOPSOIL ~6" SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.  
CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.

#### CONTOUR LEGEND:

--- EX. CONTOUR  
--- PR. CONTOUR (MAJOR)  
--- PR. CONTOUR (MINOR)

**PRELIMINARY**  
NOT FOR CONSTRUCTION

REVISIONS

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DATE

**EVANS ENGINEERING**  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CINCINNATI VOLLEYBALL  
**GRADING PLAN**  
ROUND BOTTOM RD.  
UNION TWP., CLERMONT COUNTY, OHIO

SCALE: HORIZ. VERT.  
1"=30' N/A  
JOB NO. 23-104  
DATE Jun. 9, 2023

SHEET NO.

C-4





SITE NOTES:

PROJECT CONSISTS OF DEVELOPING A NEW COMMERCIAL BUILDING IN UNION TWP., OHIO.

TOTAL SITE AREA=5.0 ACRES  
DISTURBED AREA=4.5 ACRES

PRE-DEVELOPMENT RUN-OFF COEFFICIENT C=0.3  
(CALCULATED)  
POST-DEVELOPMENT RUNOFF COEFFICIENT C=0.7  
(CALCULATED)

SOIL TYPES ARE: SEE GEOTECHNICAL REPORT FOR DETAILED EVALUATION OF SOIL TYPES. COMMONLY, THE SOILS CONSIST OF HETEROGENEOUS MIXTURE OF CLAY, SILT, SAND AND SOME GRAVEL WITH SCATTERED COBBLES AND BOULDERS.

PRIOR & EXISTING USE: THE CURRENT USE OF THE PROPERTY IS VACANT COMMERCIAL GROUND.

CONSTRUCTION SCHEDULE: SEE SEQUENCE & CONTRACTOR'S SCHEDULE.

RECEIVING STREAM: EAST FORK LITTLE MIAMI RIVER

EROSION CONTROL LEGEND

SF SILT FENCE

D.B. DANDY BAG OR APPROVED EQUAL INLET PROTECTION FILTER

CONSTRUCTION ENTRANCE

C.W.O. CONCRETE WASHOUT

D.B.

ZONED "M-1"

REMINGTON RENTAL LLC  
PARCEL ID #: 403108C060  
2.001 ACRE  
LAND USE: 370-I

REMINGTON RENTAL LLC  
PARCEL ID #: 403108C061  
2.001 ACRE  
LAND USE: 300-I

ZONED "M-1"

TC PROPERTIES OF OKI LLC  
PARCEL ID #: 403108C010  
36.443 ACRE  
LAND USE: 100-A

ZONED "M-1"

ZONED "M-1"

DM DM PROPERTIES, LLC  
PARCEL ID #: 403108C058  
2.003 ACRE  
LAND USE: 400-C

PR. RETENTION POND  
NORMAL POOL-526.0

PR. COMMERCIAL BUILDING

SINGLE STORY-30,058 SF  
F.F.E.=531.0'  
189 SPACES INCLUDING 6 ADA

SUBGRADE FOR COURTS -2.5  
BELOW F.F.E.-528.5'

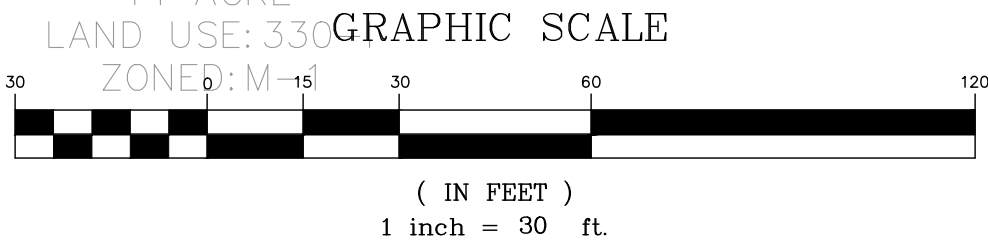
SUBGRADE FOR COURTS -2.5  
BELOW F.F.E.-528.5'

SUBGRADE FOR COURTS -2.5  
BELOW F.F.E.-528.5'

PR. CONSTRUCTION ENTRANCE

ZONED "M-1"

CLERMONT COUNTY PORT AUTHORITY  
PARCEL ID #: 403108C050  
14 ACRE  
LAND USE: 330  
ZONE: M



ZONED "M-1"



PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

NO. & DESCRIPTION

BY

DATE

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CINCI SAND VOLLEYBALL  
STORMWATER POLLUTION  
PREVENTION PLAN (SWPPP)

ROUND BOTTOM RD.,  
UNION TWP., CLERMONT COUNTY, OHIO

SCALE: HORIZ. VERT.  
1"=30' N/A

JOB NO. 23-104  
DATE Jun. 9, 2023

SHEET NO.

C-5